

GENERAL NOTES

GENERAL CONSTRUCTION NOTES

- THESE DRAWINGS ARE FOR INDIVIDUAL TENANT IMPROVEMENTS TO THE DESIGNATED BUILDING LEASE SPACE. UNLESS OTHERWISE NOTED, ALL BUILDING SYSTEMS, I.E.; MECHANICAL, FIRE PROTECTION, LIFE SAFETY, ETC, ARE BASED ON BUILDING STANDARDS.
- ALL WORK PERFORMED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL BUILDING CODES.
- CONTRACTORS SHALL FOLLOW RELEVANT STANDARDS IN CONFORMANCE WITH FEDERAL, STATE AND LOCAL LAWS, ORDINANCE AND BUILDING CODES REGARDING REMOVAL AND CONTAINMENT OF HAZARDOUS MATERIALS.
- GENERAL CONTRACTOR IS RESPONSIBLE TO SECURE ALL NECESSARY BUILDING PERMITS AND/OR WORK ORDERS AS REQUIRED TO PERFORM FULL SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, FOR ACCURACY AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION.
- ANY ERRORS, AMBIGUITIES AND OMISSIONS IN THESE DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT FOR CORRECTIONS BEFORE ANY PART OF THE WORK IS STARTED. UNLESS EXPRESSLY STIPULATED, NO ADDITIONAL ALLOWANCE WILL BE MADE IN THE CONTRACTOR'S FAVOR BY VIRTUE OF ERRORS.
- ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING. THE ARCHITECT WILL CONSIDER ITEMS IF IT EXPEDITES THE DELIVERY PROCESS OR PROVIDES A LOWER PRICE, WITH CREDIT PROVIDED TO THE TENANT WITHOUT SACRIFICING QUALITY, APPEARANCE OR FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT PROVIDE JUSTIFICATION FOR ACCEPTING OR REFUSING A SUBSTITUTION THAT IS OR IS NOT OF EQUAL QUALITY.
- CONTRACTORS SHALL AT ALL TIMES KEEP PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR OPERATIONS. AT THE COMPLETION OF THE WORK, CONTRACTOR WILL CLEAN ALL GLASS AND LEAVE THE SITE "BROOM CLEAN".
- IT IS THE INTENT THAT ALL AREAS OF THE PROJECT ARE CONSISTENT IN DESIGN APPEARANCE, QUALITY OF MATERIAL AND WORKMANSHIP. TO THAT END, MATERIALS, DIMENSIONS AND ALL OTHER CONDITIONS NOT OTHERWISE INDICATED IN THESE CONSTRUCTION DOCUMENTS SHALL BE INTERPRETED AS BEING CONSISTENT WITH THOSE CONDITIONS MOST SIMILARLY DETAILED AND MORE FULLY DEFINED ELSEWHERE WITHIN THESE DOCUMENTS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS RELATIVE TO "AS-BUILT" AND/OR FIELD CONDITIONS AND SHALL NOTIFY THE DESIGNER OF ANY VARIATION PRIOR TO THE PURCHASING OF MATERIALS, STARTING FABRICATION OR BEGINNING CONSTRUCTION. VERIFY AND COORDINATE ALL CONDITIONS RELATED TO WORK UNDER SEPARATE CONTRACT TO TENANT AND/OR REQUIREMENTS OF BUILDING OWNER. ONLY SPACES LOCATED WITHIN THE "SCOPE OF WORK" BOUNDARY SHALL BE A PART OF THIS CONTRACT, UNLESS NOTED OTHERWISE.
- DIMENSIONS ARE TO FINISHED FACE OF PARTITION OR NEW CONSTRUCTION. DIMENSIONS NOTED AS "CLEAR" OR "CLR" SHALL BE MEASURED FROM FINISHED FACE TO FINISHED FACE.
- "TYPICAL" OR "TYP" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED.
- ALL VERTICAL DIMENSIONS SHOWN ARE ABOVE FINISHED FLOOR (AFF).
- DIMENSIONS SHALL GOVERN THESE DRAWINGS. THESE DRAWING AND/OR REPRODUCTIONS THEREOF SHALL NOT BE SCALED.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EQUIPMENT AND REQUIRED CLEARANCES PRIOR TO CONSTRUCTION. VERIFY THAT AMPLE CLEARANCE ALONG PATH OF TRAVEL EXISTS TO PERMIT TRANSPORT OF EQUIPMENT FROM POINT OF DELIVERY TO DESIGNATED INSTALLATION SITE.
- ALL WOOD BLOCKING, GROUNDS, AND PLYWOOD BACKING INCORPORATED INTO CONSTRUCTION SHALL BE TREATED; FIRE RESISTIVE. PROVIDE PLYWOOD BLOCKING EXTENDING BETWEEN & ANCHORED TO METAL STUDS FOR INSTALLATION OF WALL MOUNTED EQUIPMENT, CABINETS AND FURNITURE OR EQUIPMENT ITEMS FURNISHED & INSTALLED UNDER SEPARATE CONTRACT TO TENANT. COORDINATE BLOCKING PLACEMENT WITH FURNITURE ITEM LOCATIONS. PROVIDE PLYWOOD BACKING EXTENDING BETWEEN & ANCHOR TO METAL STUDS FOR ANCHORAGE OF HANDRAILS, SMALL WALL-MOUNTED EQUIPMENT (E.G. FIRE EXTINGUISHERS, ETC.) & TOILET ACCESSORIES, SUCH AS OCCUR IN PROJECT AREA. PROVIDE BLOCKING OR BACKING FOR ANCHORAGE OF WALL MOUNTED FIXTURES OR EQUIPMENT FURNISHED & INSTALLED UNDER REQUIREMENTS OF MECHANICAL & ELECTRICAL.
- ALL FASTENERS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW, UNLESS OTHERWISE NOTED.
- COORDINATE LOCATIONS OF THERMOSTATS WITH FURNITURE, FIXTURES AND EQUIPMENT TO BE INSTALLED IN SPACE. THERMOSTATS SHALL BE LOCATED AS CLOSE TO AND ALIGN WITH LIGHT SWITCHES AS FEASIBLE. VERIFY THAT ALL THERMOSTAT LOCATIONS HAVE BEEN REVIEWED & APPROVED BY DESIGNER PRIOR TO INSTALLATION.
- LOCATIONS OF FIRE EXTINGUISHERS; PULL STATIONS, AND ANNUNCIATORS SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODES. LOCATION OF ANNUNCIATORS AND PULL STATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL OR STATE ACCESSIBILITY STANDARDS. VERIFY AND COORDINATE ALL LOCATIONS WITH DESIGNER PRIOR TO INSTALLATION, AS REQUIRED.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND PERFORM ALL NECESSARY OPERATIONS REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE AND NECESSARY INTERRUPTIONS TO BUILDING SYSTEMS WITH THE BUILDING OWNER.
- COORDINATE DELIVERY OF CONSTRUCTION MATERIAL AND REMOVAL OF DEBRIS WITH BUILDING OWNER. AS APPROPRIATE, CONFINE HOURS OF DELIVERY OR REMOVAL SO AS NOT TO INTERFERE WITH SITE OR LEASE ACCESS OF ADJACENT TENANTS.
- EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF ALL EXISTING FINISHES TO REMAIN AND/OR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISH. PROVIDE PROTECTIVE COVERINGS FOR ALL FLOOR, PARTITION AND CEILING FINISHED TO REMAIN IN THE PROJECT AREA AND FOR ALL FINISHES WHICH MAY BE SUBJECT TO TRAFFIC OR CONSTRUCTION ACTIVITY IN ADJACENT AREAS. PROVIDE MINIMUM 1/2" THICK TEMPERED HARDBOARD COVERING FOR WALLS IN CORRIDORS WHICH ARE SUBJECT TO FREQUENT CONSTRUCTION TRAFFIC AND DELIVERY OF MATERIALS ON DOLLIES OR HAND TRUCKS.
- CONTRACTORS SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION AND POST WARNING SIGNS AROUND THE WORK AREA TO ENSURE SAFETY OF EMPLOYEES AND GENERAL PUBLIC. THESE SIGNS MUST BE POSTED AROUND THE WORK AREA WHEN ANY EQUIPMENT, TOOLS, MATERIALS OR IF WORKERS ARE OBSTRUCTING ANY PART OF THE NORMAL OFFICE SPACE, CORRIDORS, ELEVATOR LOBBY, ETC.
- THE CONTRACTOR SHALL FIREPROOF, WITH APPROVED METHODS AND MATERIALS, AS REQUIRED BY CODE. ALL NEW PENETRATIONS GENERATED BY NEW WORK, AS WELL AS PENETRATIONS FROM PREVIOUS AND DEMOLITION WORK.
- CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FROM BUILDING OWNER AND NOTIFY BUILDING OCCUPANTS WHEN PERFORMING ANY CONSTRUCTION ACTIVITY WHICH MAY PRODUCE NOXIOUS OR IRRITATING ODORS (WOOD STAINING, VARNISHING, ETC). SCHEDULE SUCH ACTIVITIES AS DEEMED APPROPRIATE BY BUILDING OWNER. PROVIDE ADEQUATE SUPPLEMENTARY VENTILATION TO INSURE HEALTH AND SAFETY OF BUILDING OCCUPANTS AND WORKERS. CONTRACTOR SHALL PROVIDE CONSTRUCTION FILTERS FOR RETURN AIR OF AIR HANDLING UNITS, AND REPLACE THOSE FILTERS WITH NEW UPON COMPLETION OF CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL COORDINATE ALL NOISE-GENERATING ACTIVITY WITH BUILDING MANAGEMENT. LIMIT PERFORMANCE OF ALL NOISE-GENERATING CONSTRUCTION ACTIVITY CREATING IMPACT NOISE OR SOUND PRESSURE LEVELS IN EXCESS OF 90 DECIBELS DURING NORMAL WORKING HOURS AS FEASIBLE. SCHEDULE ADVANCE NOTIFICATION TO ADJACENT BUILDING OCCUPANTS. AS FEASIBLE, LIMIT THE USE OF POWER ACTUATED FASTENERS DURING BUSINESS HOURS.
- CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES TO LIMIT SPREADING OF DUST GENERATED BY SANDING OR OTHER CONSTRUCTION ACTIVITIES AS REQUIRED BY BUILDING MANAGEMENT OR BUILDING OCCUPANTS IN ADJACENT AREAS TO PROJECT. CONTRACTOR SHALL INSTALL DUST PARTITIONS OR EMPLOY OTHER MEASURES AS REQUIRED TO INSURE THAT DUST DOES NOT INFILTRATE ENVIRONMENTALLY SENSITIVE AREAS (COMPUTER ROOMS, TELEPHONE AND PATCH PANEL ROOMS, ETC.)
- CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT EACH SUBCONTRACTOR CLEANS UP AND REMOVES ANY & ALL DEBRIS GENERATED BY THEIR CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS. CONTRACTOR WILL BE RESPONSIBLE FOR FINAL CLEAN UP (INCLUDING NEW AND EXISTING GLAZING, DOORS AND FRAMES FOR SUCH), LEAVING SPACE IN "AS NEW" CONDITION.
- CONTRACTOR IS RESPONSIBLE FOR THE ACTIONS AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS' EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND IN THE BUILDING AND ITS VICINITY. USE OF ANY PLUMBING FIXTURE (SINK, FLOOR DRAIN OR TOILET) FOR DISPOSAL OF WASTE OR SPENT LIQUIDS, PAINT PRODUCTS, SOLVENTS OR THINNER IS STRICTLY PROHIBITED.
- BUILDING OWNER SHALL DESIGNATE SPECIFIC AREAS WHERE THE CONTRACTOR, HIS FORCES, SUBCONTRACTORS, VENDORS AND OTHERS MAY PARK. CONFINE PROJECT-RELATED PARKING TO THESE AREAS ONLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND PAYING FOR ALL REQUIRED INSPECTIONS.

FLORES MIXED USE

1334 S. FLORES
SAN ANTONIO, TX 78204

BUILT / PERMITTING

DESIGN TEAM

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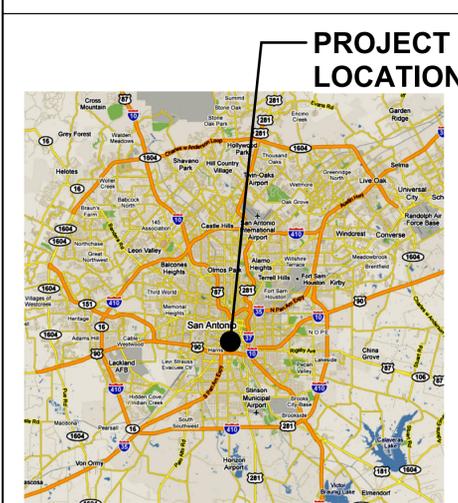
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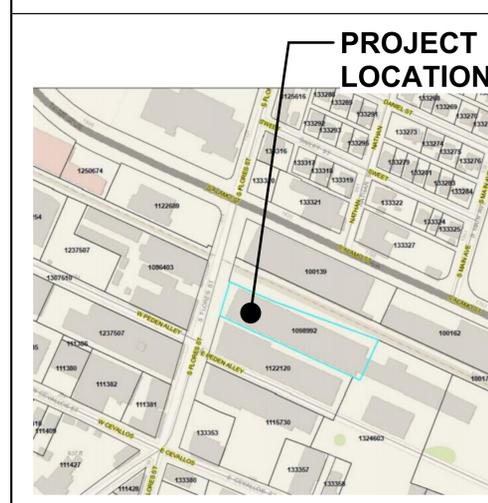
CIVIL ENGINEER

WGI
755 E. MULBERRY AVE., SUITE 501
SAN ANTONIO, TX 78212
TEL: 210.860.9224
CONTACT:
EMAIL:

VICINITY MAP



LOCATION MAP



G100-INDEX OF DRAWINGS

NUMBER	NAME	ADDEN #1	ADDEN #2	REV 1	REV 2
00 GENERAL					
G100	COVER SHEET				
05 ARCHITECTURAL					
A100 (E)	SITE PLAN - EXISTING				
A100	SITE PLAN - PROPOSED ENLARGED				
A101 (E)	FLOOR PLAN - EXISTING				
A101	FLOOR PLAN - NEW OVERALL				
A101A	EXISTING & PROPOSED PLAN - FRONT				
A105 (E)	EXTERIOR ELEVATIONS - EXISTING				
A105	EXTERIOR ELEVATIONS NEW				
A110	REFLECTED CEILING PLAN				
A601	DOOR SCHEDULES, DOOR TYPES AND WINDOW TYPES				



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APPROVAL OR PERMITTING
PURPOSES

Architect: Greg T. Shue
Seal No.: 17837
Date Issued: 02.19.2026

Open studio architecture

Revisions

Number	Description	Date

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1334 S. FLORES
SAN ANTONIO, TX 78204

project #: 25.130

date: 02.19.2026

drawn by: AMP
checked by: Checker
drawing title:

COVER SHEET

drawing number:

G100

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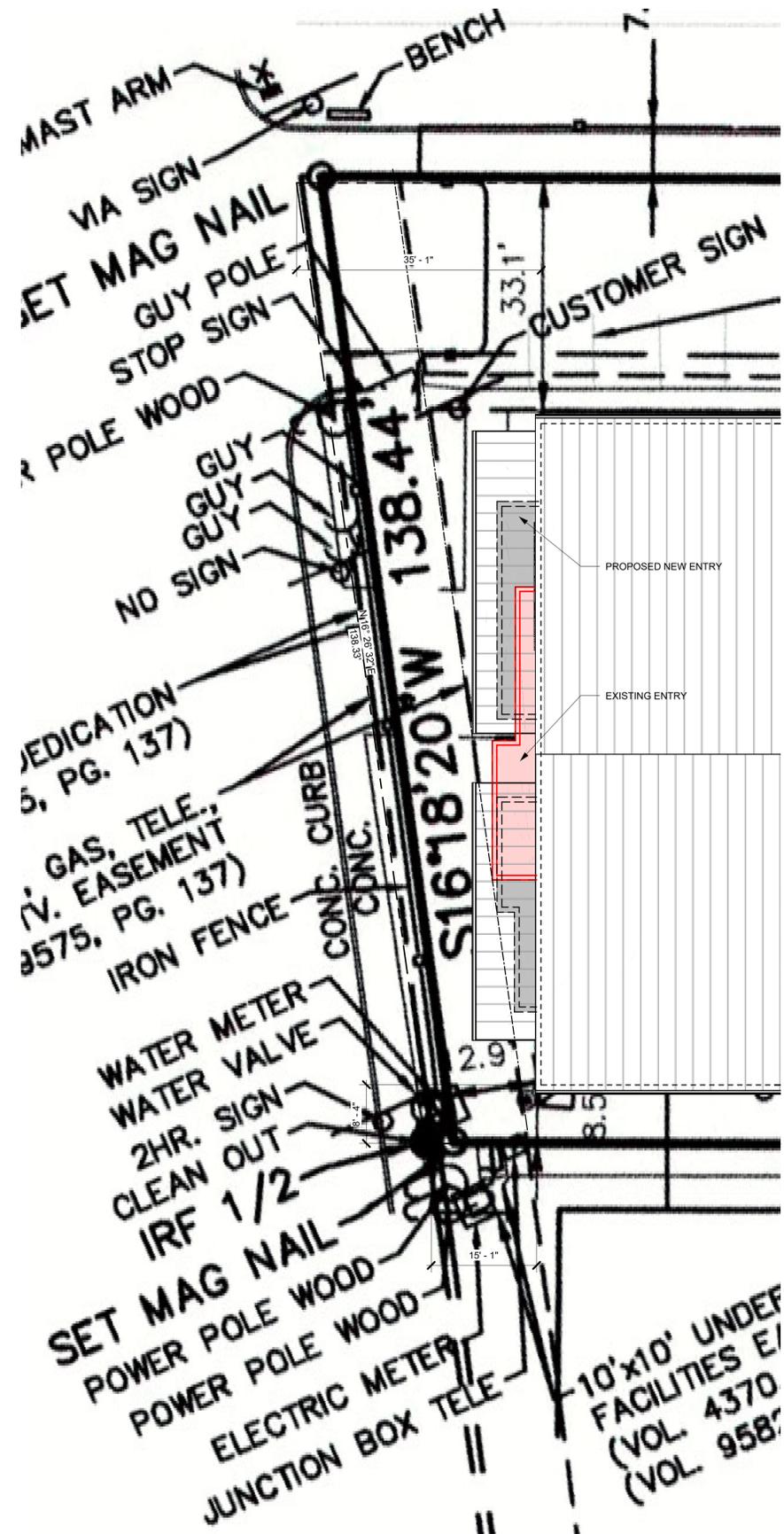
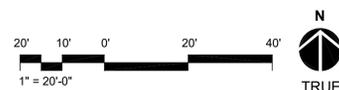
checked by: XX

drawing title:

**SITE PLAN - PROPOSED
ENLARGED**

drawing number:

A100



1 SITE PLAN - PROPOSED

SCALE: 3/32" = 1'-0"

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project #: 25.130

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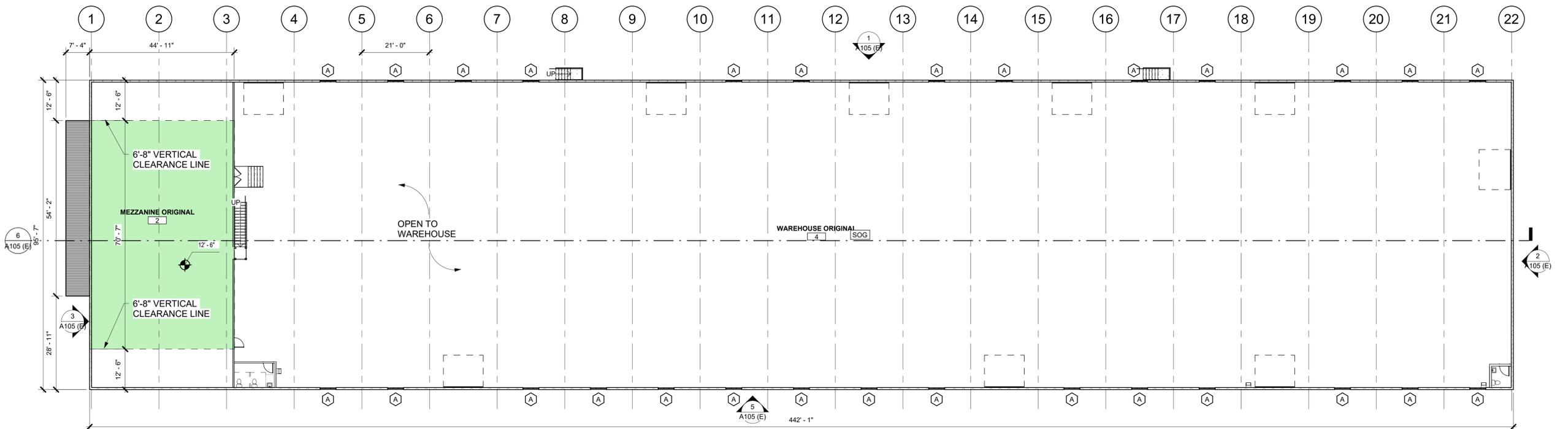
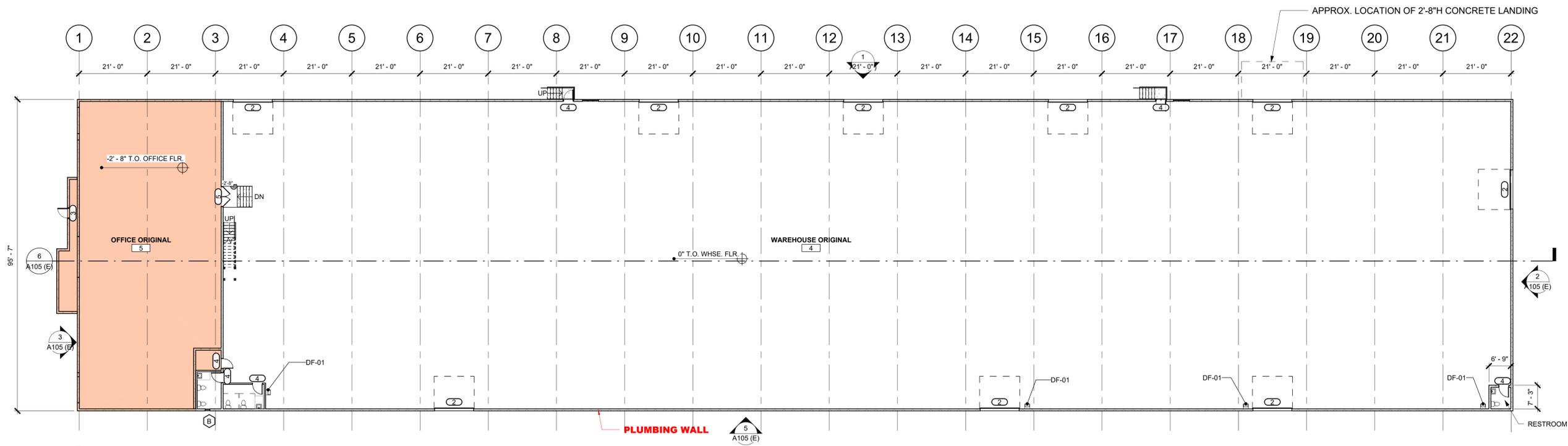
checked by: XX

drawing title:

**FLOOR PLAN -
EXISTING**

drawing number:

**A101
(E)**



WALL LEGEND	
	2 X 6 WALLS
	2 X 4 WALLS
	2 X 4 LOW WALL
	CMU BLOCK WALL
	NEW WALL / PARTITION
	EXISTING WALL / PARTITION
	MEZZANINE FLOOR
	OFFICE FLOOR
	WAREHOUSE FLOOR
	NOT IN SCOPE

AREA (SQ.FT.)	
BUSINESS	4,396 SF
MEZZANINE	3,193 SF
STORAGE 1	543 SF
STORAGE 2	543 SF
WAREHOUSE	38,073 SF
TOTAL SQ. FT.	46,749 SF

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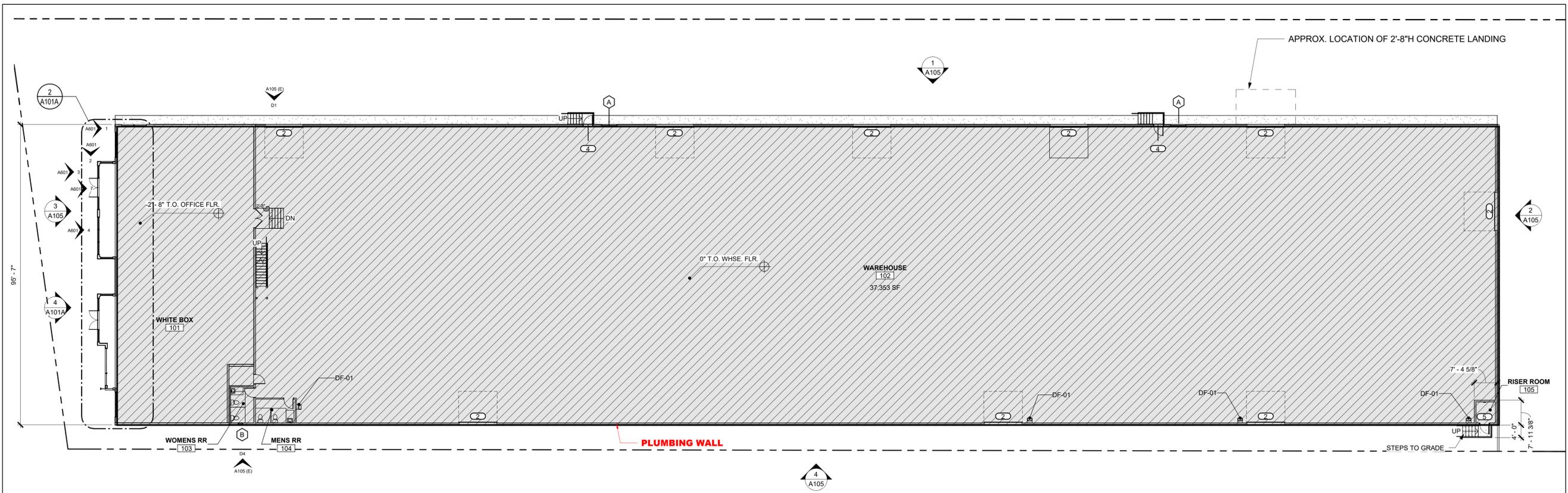
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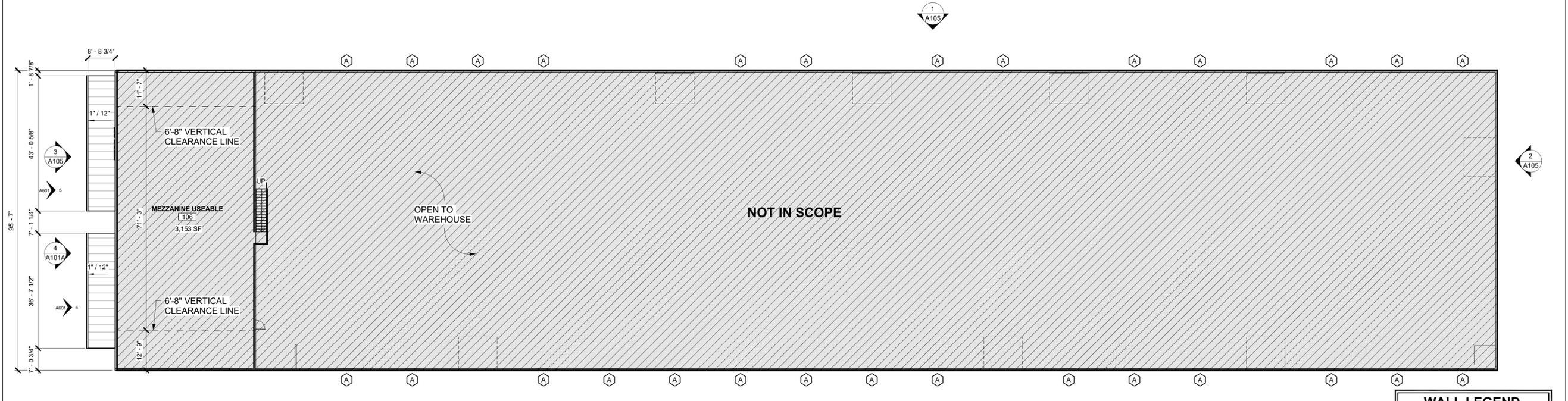
drawing title: **FLOOR PLAN - NEW OVERALL**

drawing number:

A101



1 OFFICE / WAREHOUSE PROPOSED PLAN - OVERALL
SCALE: 1/16" = 1'-0"



2 MEZZANINE PLAN PROPOSED - OVERALL
SCALE: 1/16" = 1'-0"

AREA (SQ.FT.)	
BUSINESS	4,396 SF
MEZZANINE	3,193 SF
STORAGE 1	543 SF
STORAGE 2	543 SF
WAREHOUSE	38,073 SF
TOTAL SQ. FT.	46,749 SF

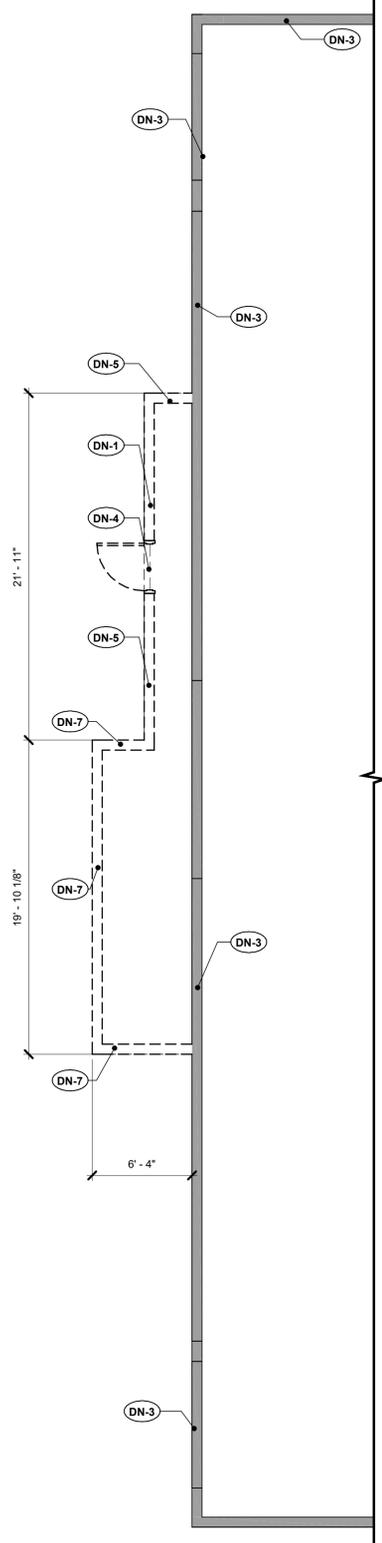
WALL LEGEND	
	2 X 6 WALLS
	2 X 4 WALLS
	2 X 4 LOW WALL
	CMU BLOCK WALL
	NEW WALL / PARTITION
	EXISTING WALL / PARTITION
	MEZZANINE FLOOR
	OFFICE FLOOR
	NOT IN SCOPE

GENERAL PRESERVATION NOTES:

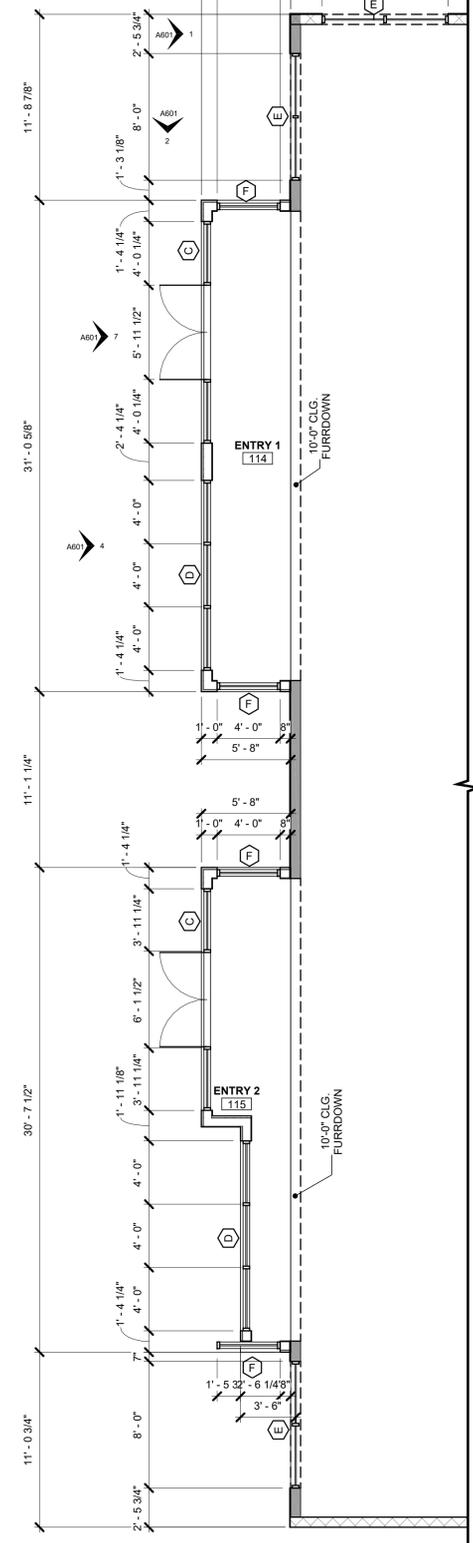
- ALL WORK SHALL COMPLY WITH THE CITY OF SAN ANTONIO HISTORIC DESIGN GUIDELINES AND THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION.
- NO ALTERATION TO PRIMARY ROOF HEIGHT OR OVERALL HISTORIC MASSING IS PROPOSED.
- EXISTING CHARACTER-DEFINING STRUCTURAL ELEMENTS SHALL REMAIN INTACT.
- ALL NEW WORK SHALL BE CLEARLY DIFFERENTIATED YET COMPATIBLE WITH HISTORIC MATERIALS.
- FINAL MATERIAL SAMPLES TO BE SUBMITTED TO OHP FOR APPROVAL PRIOR TO INSTALLATION.

NEW OPENING NOTES:

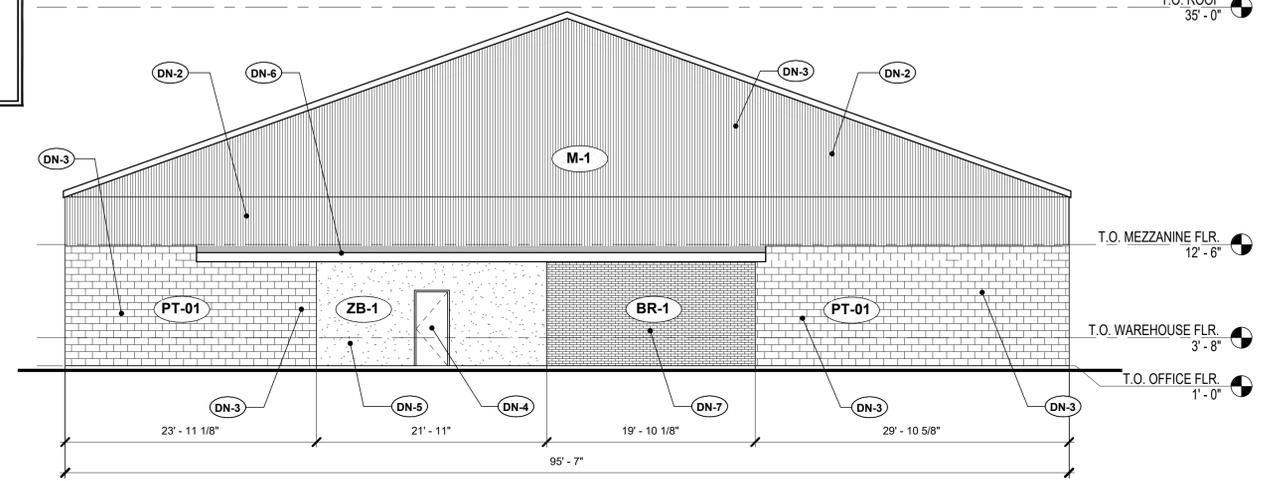
N-1: NEW STOREFRONT OPENING ALIGNED WITH STRUCTURAL BAY SPACING.
N-2: LINTEL CONCEALED WITHIN WALL ASSEMBLY; NO EXPOSED OVERSIZED STEEL ANGLE UNLESS APPROVED.
N-3: MASONRY RETURNS AT JAMBS TO MATCH ADJACENT CONDITIONS.



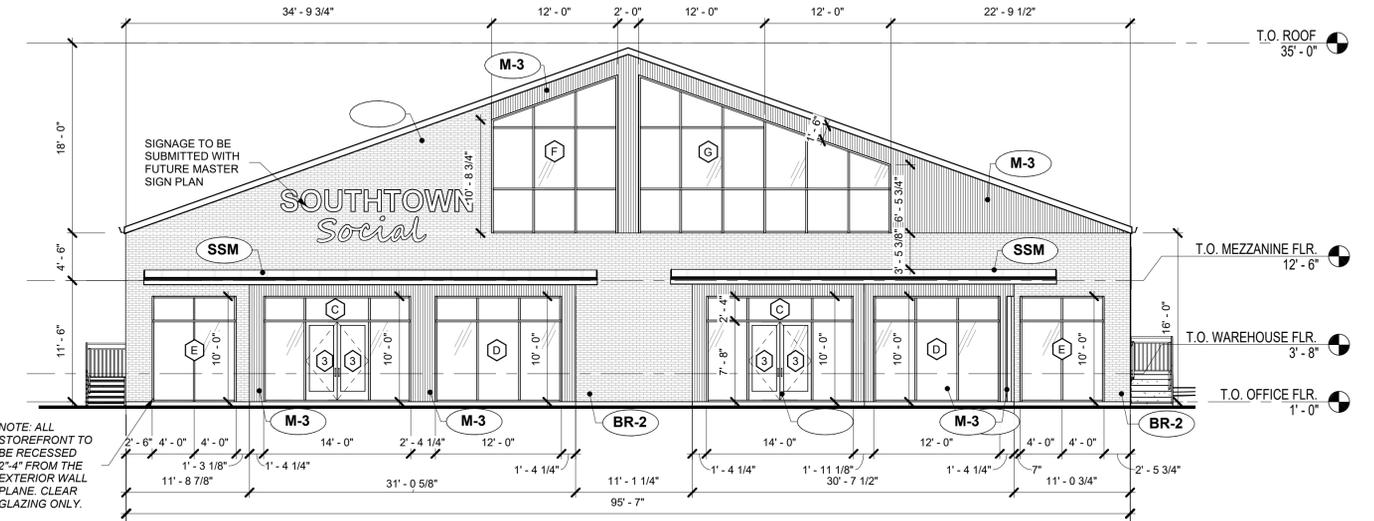
1 FRONT DEMO PLAN - ENLARGED
SCALE: 3/16" = 1'-0"



2 FRONT PROPOSED PLAN - ENLARGED
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION EXISTING
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"

METAL PANEL NOTES:

MP-1: REMOVE RUSTED CORRUGATED METAL SIDING. REPLACE WITH 24-GAUGE ARCHITECTURAL METAL PANEL SYSTEM.
MP-2: PROFILE DEPTH TO MATCH TRADITIONAL CORRUGATED SCALE.
MP-3: FACTORY MATTE FINISH IN CHARCOAL/DARK BRONZE/NEUTRAL INDUSTRIAL TONE.
MP-4: NO HIGH-GLOSS, METALLIC, OR REFLECTIVE FINISHES PERMITTED.
MP-5: PANEL SEAMS ALIGNED AND EVENLY SPACED; AVOID LARGE FLAT UNINTERRUPTED SURFACES.

BRICK VENEER NOTES:

B-1: MODULAR BRICK VENEER; NO OVERSIZED CONTEMPORARY BRICK UNITS.
B-2: RUNNING BOND PATTERN ONLY.
B-3: MORTAR TYPE N; NATURAL GRAY COLOR.
B-4: 3/8" CONCAVE TOOLED JOINTS.
B-5: BRICK RETURNS AT CORNERS; NO EXPOSED VENEER EDGE.
B-6: BRICK TERMINATION CLEAN AT STOREFRONT FRAMES.
B-7: NO DECORATIVE CORBELLING, HEAVY SOLDIER COURSES, OR CONTRASTING MORTAR WITHOUT OHP APPROVAL.

Key Value	Keynote Text
DN-1	REMOVE NON-HISTORIC WINDOW UNITS AT EXISTING OPENINGS.
DN-2	REMOVE DETERIORATED CORRUGATED METAL SIDING BEYOND REPAIR.
DN-3	SAWCUT NEW STOREFRONT OPENINGS ONLY IN NON-CHARACTER DEFINING WALL AREAS. PROTECT ADJACENT HISTORIC MATERIALS DURING CUTTING.
DN-4	REMOVE EXISTING DOOR AND FRAME.
DN-5	REMOVE EXISTING SHEATHING WALLS.
DN-6	REMOVE FLAT ROOF OVER BUMP OUT. (PREVIOUSLY APPROVED COA DATED 01.21.2026)
DN-7	REMOVE NON-HISTORIC BRICK AND ARTICULATION WALL.

WALL LEGEND	
[Pattern]	2 X 6 WALLS
[Pattern]	2 X 4 WALLS
[Pattern]	2 X 4 LOW WALL
[Pattern]	CMU BLOCK WALL
[Pattern]	NEW WALL / PARTITION
[Pattern]	EXISTING WALL / PARTITION
[Pattern]	MEZZANINE FLOOR
[Pattern]	OFFICE FLOOR
[Pattern]	NOT IN SCOPE

COLOR / MATERIAL SCHEDULE	
CMU	
[Color]	ST-1 EXISTING CMU, PAINTED
MASONRY	
[Color]	BR-1 EXISTING BRICK VENEER
[Color]	ZB-1 EXISTING ZIP BOARD
[Color]	BR-2 BRICK VENEER (PROPOSED-CHICAGO PINK RECYCLED) TYPE N MORTAR, NATURAL GRAY COLOR 3/8" CONCAVE TOOLED JOINTS, NO DECORATIVE MASONRY DETAILING
METAL PANEL	
[Color]	SSM STANDING SEAM METAL ROOF (EXISTING - TO REMAIN)
[Color]	M-1 EXISTING CORRUGATED METAL SIDING
[Color]	M-2 24 GA. METAL PANEL SOFFIT (WOOD LOOK)
[Color]	M-3 24 GA. METAL PANEL (MATTE FINISH - ZINC ALLOY, BERRIDGE HC-16 PANEL OR EQUAL)

FLASHING & WATER MANAGEMENT NOTE:

NOTE: ALL NEW WALL ASSEMBLIES SHALL INCLUDE PROPER FLASHING, WEEPS, AND MOISTURE BARRIER SYSTEMS CONCEALED WITHIN CONSTRUCTION. NO EXPOSED MEMBRANE EDGES PERMITTED AT FAÇADE.

FOR INTERIM REVIEW
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 Architect: Greg T. Shue
 Seal No.: 17837
 Date Issued: 02.19.2026
 Open studio architecture

Revisions		
Number	Description	Date

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FLORES MIXED USE
 1334 S. FLORES
 SAN ANTONIO, TX 78204

project #: 25.130
 date: 02.19.2026
 drawn by: AMP
 checked by: XX
 drawing title: EXISTING & PROPOSED PLAN - FRONT

drawing number: **A101A**

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Architect: Greg T. Shue
Seal No.: 17837
Date Issued: 02.19.2026
Open studio architecture

Revisions		
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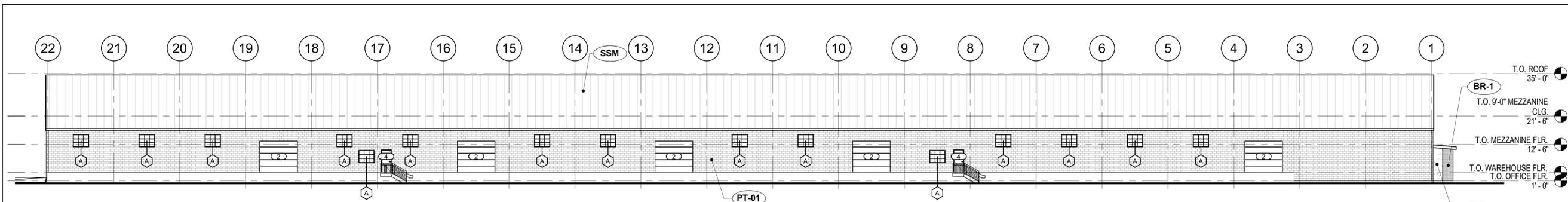
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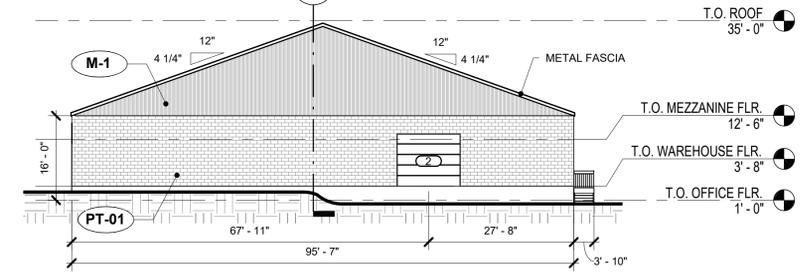
project #: 25.130
date: 02.19.2026
drawn by: AMP
checked by: Checker
drawing title: EXTERIOR ELEVATIONS - EXISTING

drawing number:

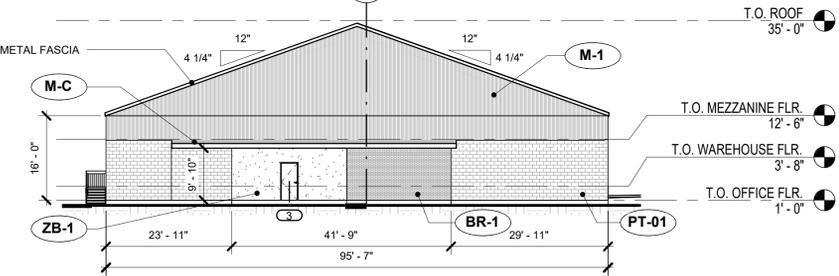
A105 (E)



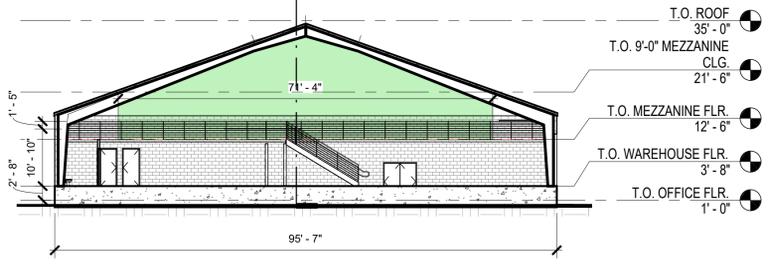
1 EXIST-NORTH ELEVATION
SCALE: 1/16" = 1'-0"



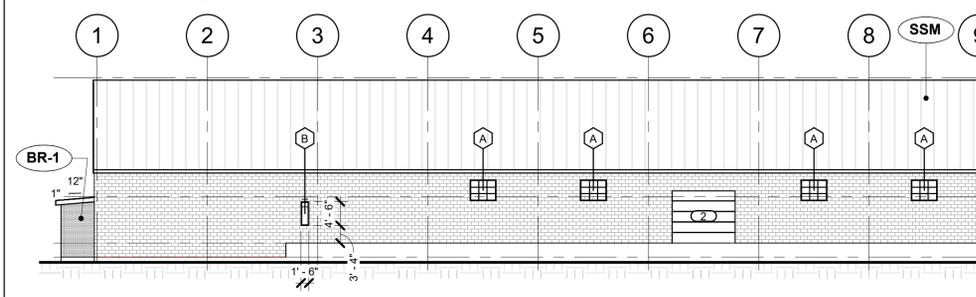
3 EXIST-WEST ELEVATION
SCALE: 1/16" = 1'-0"



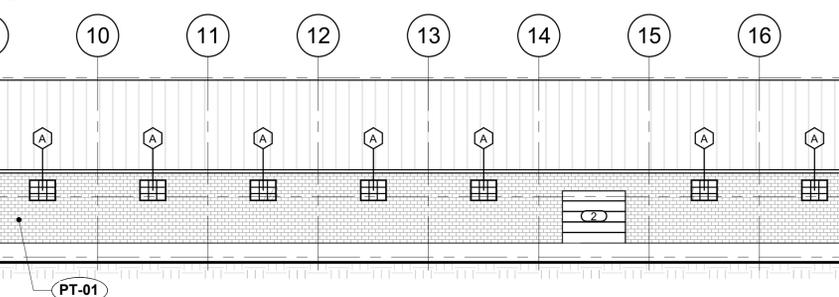
4 EXIST-OFFICE-MEZZANINE SECTION
SCALE: 1/16" = 1'-0"



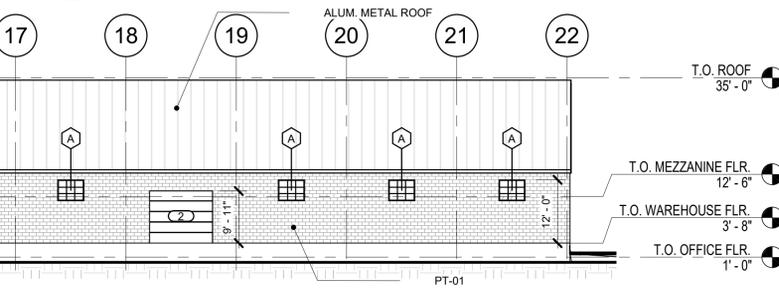
2 EXIST-EAST ELEVATION
SCALE: 1/16" = 1'-0"



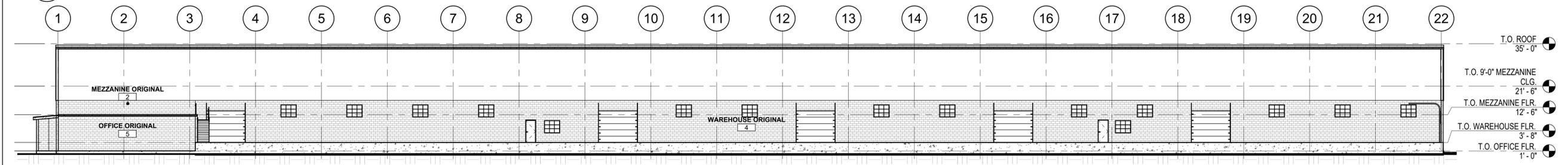
3 EXIST-WEST ELEVATION
SCALE: 1/16" = 1'-0"



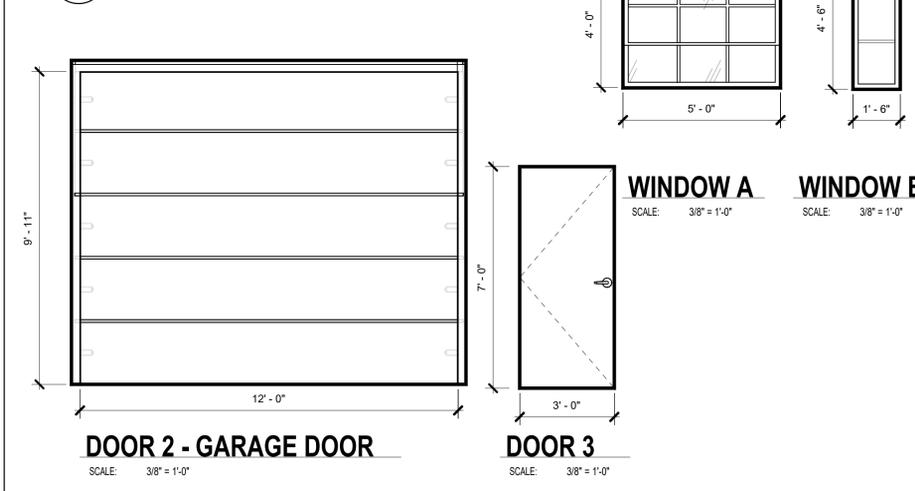
4 EXIST-OFFICE-MEZZANINE SECTION
SCALE: 1/16" = 1'-0"



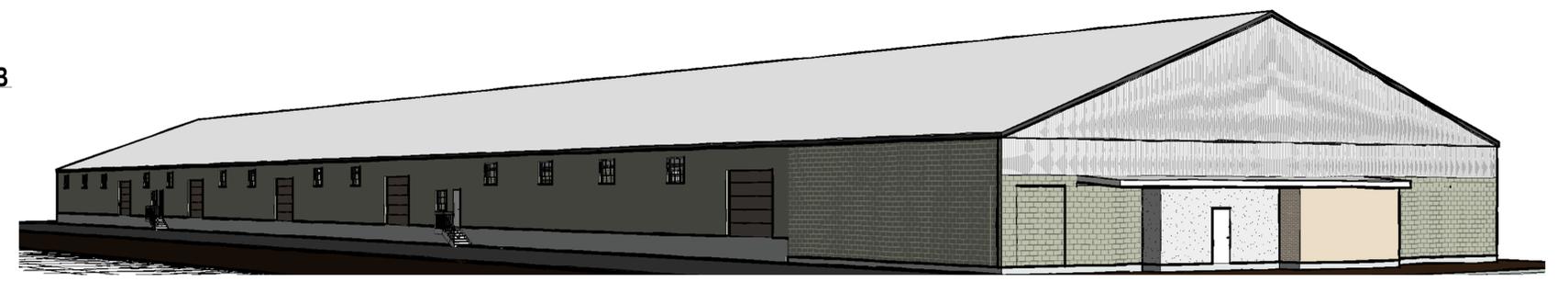
5 EXIST-SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



6 EXIST-LONG SECTION - OVERALL
SCALE: 1/16" = 1'-0"



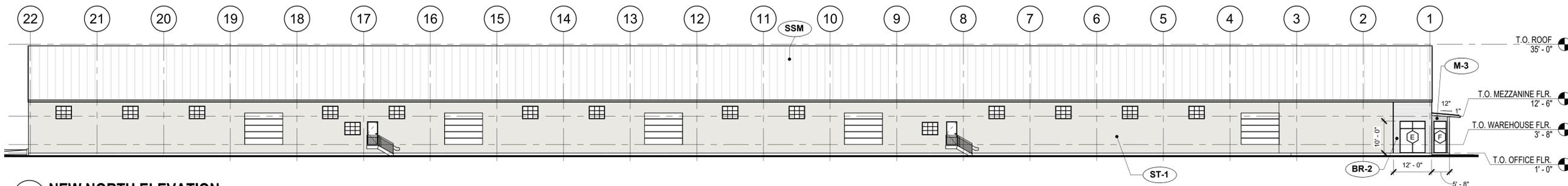
P1 3D PERSPECTIVE STUDY - EXISTING
SCALE: 3/8" = 1'-0"



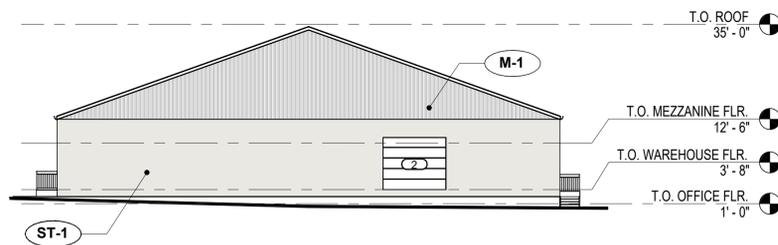
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Architect: Greg T. Shue
Seal No.: 17837
Date Issued: 02.19.2026
Open studio architecture

Revisions		
Number	Description	Date

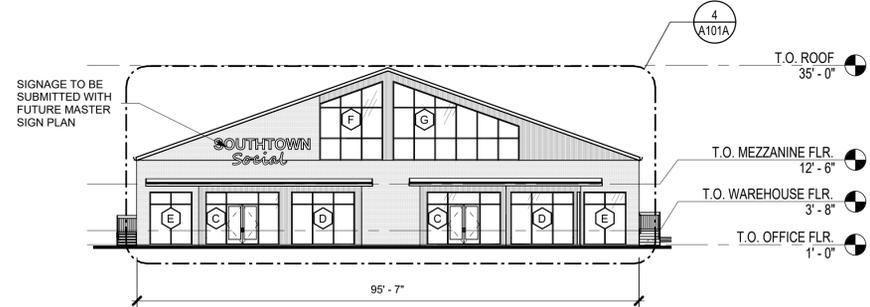
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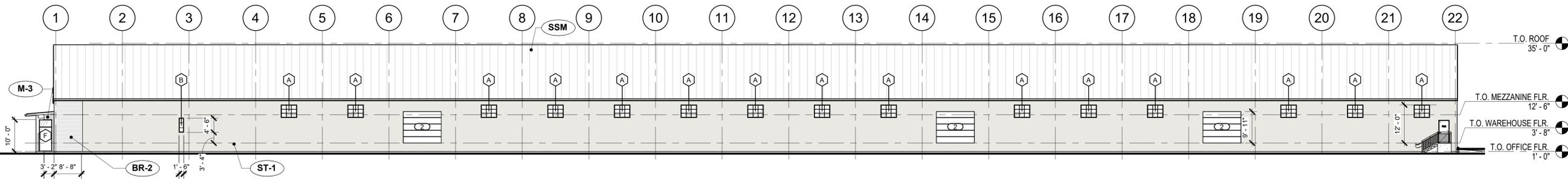
1 NEW NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 NEW EAST ELEVATION
SCALE: 1/16" = 1'-0"

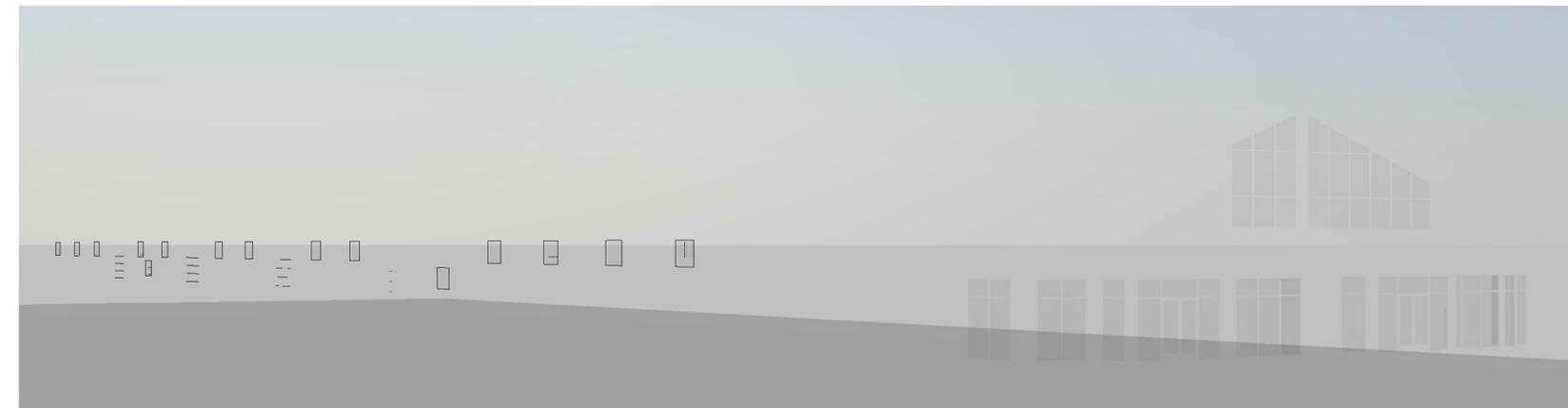


3 NEW WEST ELEVATION
SCALE: 1/16" = 1'-0"



4 NEW SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

COLOR / MATERIAL SCHEDULE	
CMU	
ST-1	EXISTING CMU, PAINTED
MASONRY	
BR-1	EXISTING BRICK VENEER
ZB-1	EXISTING ZIP BOARD
BR-2	BRICK VENEER (PROPOSED-CHICAGO PINK RECYCLED) TYPE N MORTAR, NATURAL GRAY COLOR 3/8" CONCAVE TOOLED JOINTS, NO DECORATIVE MASONRY DETAILING
METAL PANEL	
SSM	STANDING SEAM METAL ROOF (EXISTING - TO REMAIN)
M-1	EXISTING CORRUGATED METAL SIDING
M-2	24 GA. METAL PANEL SOFFIT (WOOD LOOK)
M-3	24 GA. METAL PANEL (MATTE FINISH - ZINC ALLOY, BERRIDGE HC-16 PANEL OR EQUAL)



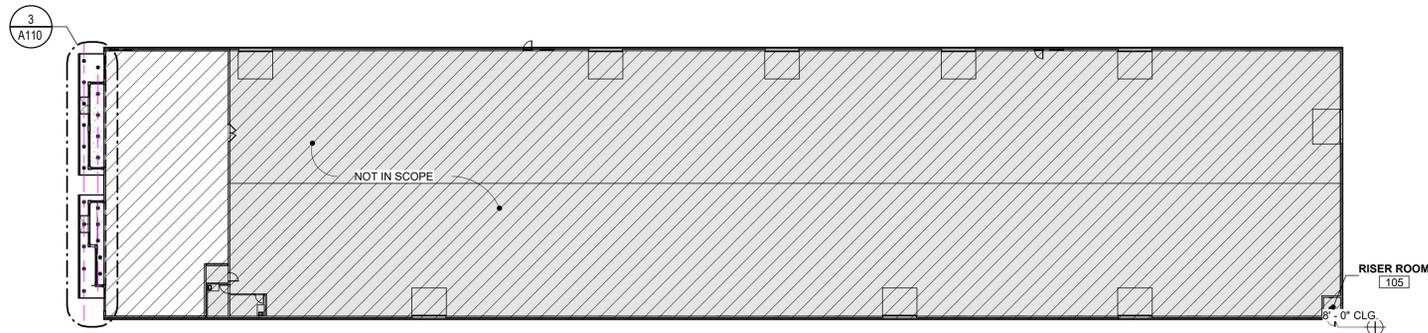
3D PERSPECTIVE STUDY
SCALE:

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SAN ANTONIO, TX 78204

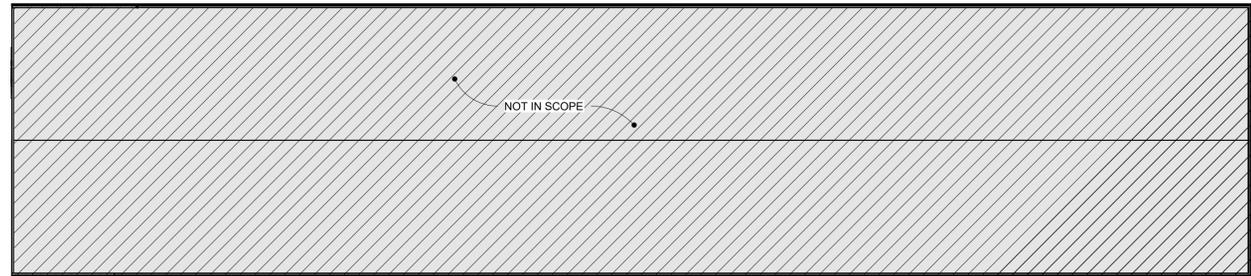
project #: 25.130
date: 02.19.2026
drawn by: AMP
checked by: Checker
drawing title: EXTERIOR ELEVATIONS NEW

drawing number:

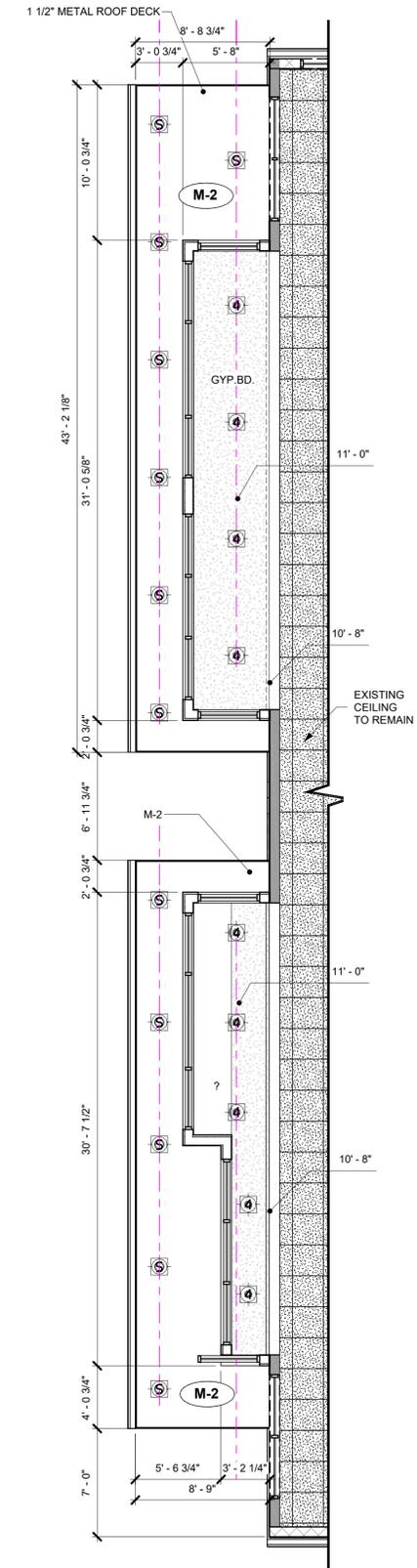
A105



1 FIRST FLOOR RCP
SCALE: 1" = 30'-0"



2 MEZZANINE RCP
SCALE: 1" = 30'-0"



3 RCP FRONT - ENLARGED
SCALE: 3/16" = 1'-0"

RCP LEGEND	
	2x2 SUSPENDED ACOUSTICAL CEILING
	SUSPENDED GYPSUM BOARD CEILING / FURRDOWN
	2x2 FLUORESCENT LIGHT FIXTURE
	2x4 FLUORESCENT LIGHT FIXTURE
	1x4 FLUORESCENT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	SUSPENDED LINEAR LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	2x2 SUPPLY AIR DIFFUSER. REFER TO MECHANICAL DRAWINGS.
	2x2 AIR RETURN GRILL. REFER TO MECHANICAL DRAWINGS.
	RECESSED CAN (SLOPED) LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE

COLOR / MATERIAL SCHEDULE	
CMU	
ST-1	EXISTING CMU, PAINTED
MASONRY	
BR-1	EXISTING BRICK VENEER
ZB-1	EXISTING ZIP BOARD
BR-2	BRICK VENEER (PROPOSED-CHICAGO PINK RECYCLED) TYPE N MORTAR, NATURAL GRAY COLOR 3/8" CONCAVE TOOLED JOINTS, NO DECORATIVE MASONRY DETAILING
METAL PANEL	
SSM	STANDING SEAM METAL ROOF (EXISTING - TO REMAIN)
M-1	EXISTING CORRUGATED METAL SIDING
M-2	24 GA. METAL PANEL SOFFIT (WOOD LOOK)
M-3	24 GA. METAL PANEL (MATTE FINISH - ZINC ALLOY, BERRIDGE HC-16 PANEL OR EQUAL)

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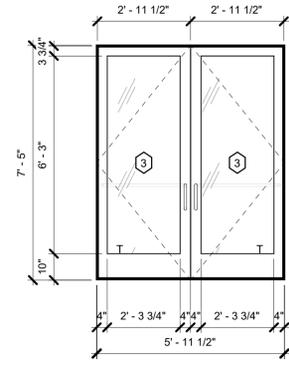
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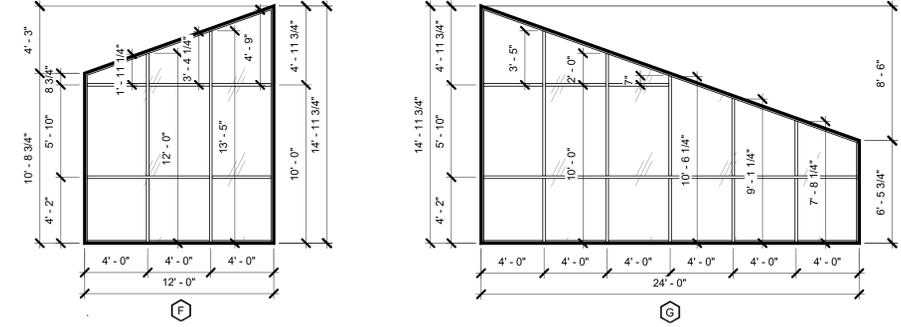
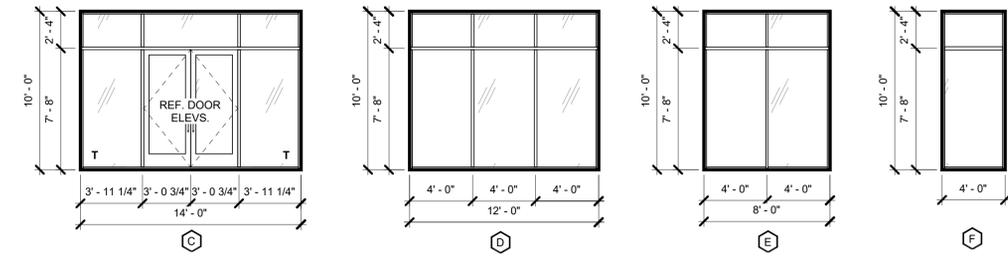
project #: 25.130
date: 02.19.2026
drawn by: AMP
checked by: Checker
drawing title: REFLECTED CEILING PLAN

drawing number:
A110

DOOR SCHEDULE NEW										
DOOR NO.	LOCATION	TYPE	DOOR				FRAME		COMMENTS	
			WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL		FINISH
3	ENTRY 1	ALUM. / GLASS	2' - 11 3/4"	7' - 5"	1 3/4"	HM	ANODIZED DK. BRONZE	HM	ALUM. / GLASS	
3	ENTRY 1	ALUM. / GLASS	2' - 11 3/4"	7' - 5"	1 3/4"	HM	ANODIZED DK. BRONZE	HM	ALUM. / GLASS	
3	ENTRY 2	ALUM. / GLASS	2' - 11 3/4"	7' - 5"	1 3/4"	HM	ANODIZED DK. BRONZE	HM	ALUM. / GLASS	
3	ENTRY 2	ALUM. / GLASS	2' - 11 3/4"	7' - 5"	1 3/4"	HM	ANODIZED DK. BRONZE	HM	ALUM. / GLASS	



DOOR TYPES
SCALE: 1/4" = 1'-0"



WINDOW TYPES
SCALE: 1/4" = 1'-0"

DOOR & WINDOW GENERAL NOTES:

1. INSTALL TEMPERED OR SAFETY GLASS IN OPENINGS WHERE REQUIRED BY CODE.
2. SET WINDOW SUBSILLS IN CONTINUOUS BEAD OF SEALANT.
3. TURN SUBSILLS AND FLASHING MEMBRANE UP AT JAMBS (6" MINIMUM) TO FORM END DAMS.
4. SPACE ANCHORS OF DOOR AND WINDOW FRAMES NO MORE THAN 16" O.C.
5. INSTALL ONE WINDOW FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO PROCEEDING.
6. VERIFY HEAD HEIGHTS OF OPENINGS ON THE EXTERIOR AND INTERIOR ELEVATIONS. INFORM THE ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
7. THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM.
8. FINISH: DARK BRONZE OR BLACK ANODIZED, MATTE (NO GLOSS).
9. FRAME SIGHTLINE: 2" MAXIMUM UNLESS STRUCTURALLY REQUIRED.
10. GLAZING: CLEAR INSULATED GLASS.
11. NO MIRRORRED, TINTED, SPANDREL, OR REFLECTIVE COATINGS PERMITTED.
12. WINDOW SYSTEM RECESSED MINIMUM 2" -4" FROM EXTERIOR WALL PLANE.
13. INSTALLATION WITHIN EXISTING MASONRY OPENINGS; MINIMAL ENLARGEMENT OF ORIGINAL OPENINGS.
14. HEAD HEIGHT ALIGNED ACROSS FAÇADE TO MAINTAIN WAREHOUSE RHYTHM.



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1	ADD#1	02.19.2026

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project #: 25.130
date: 02.19.2026
drawn by: AMP
checked by: Checker
drawing title:

**DOOR SCHEDULES,
DOOR TYPES AND
WINDOW TYPES**

drawing number:
A601