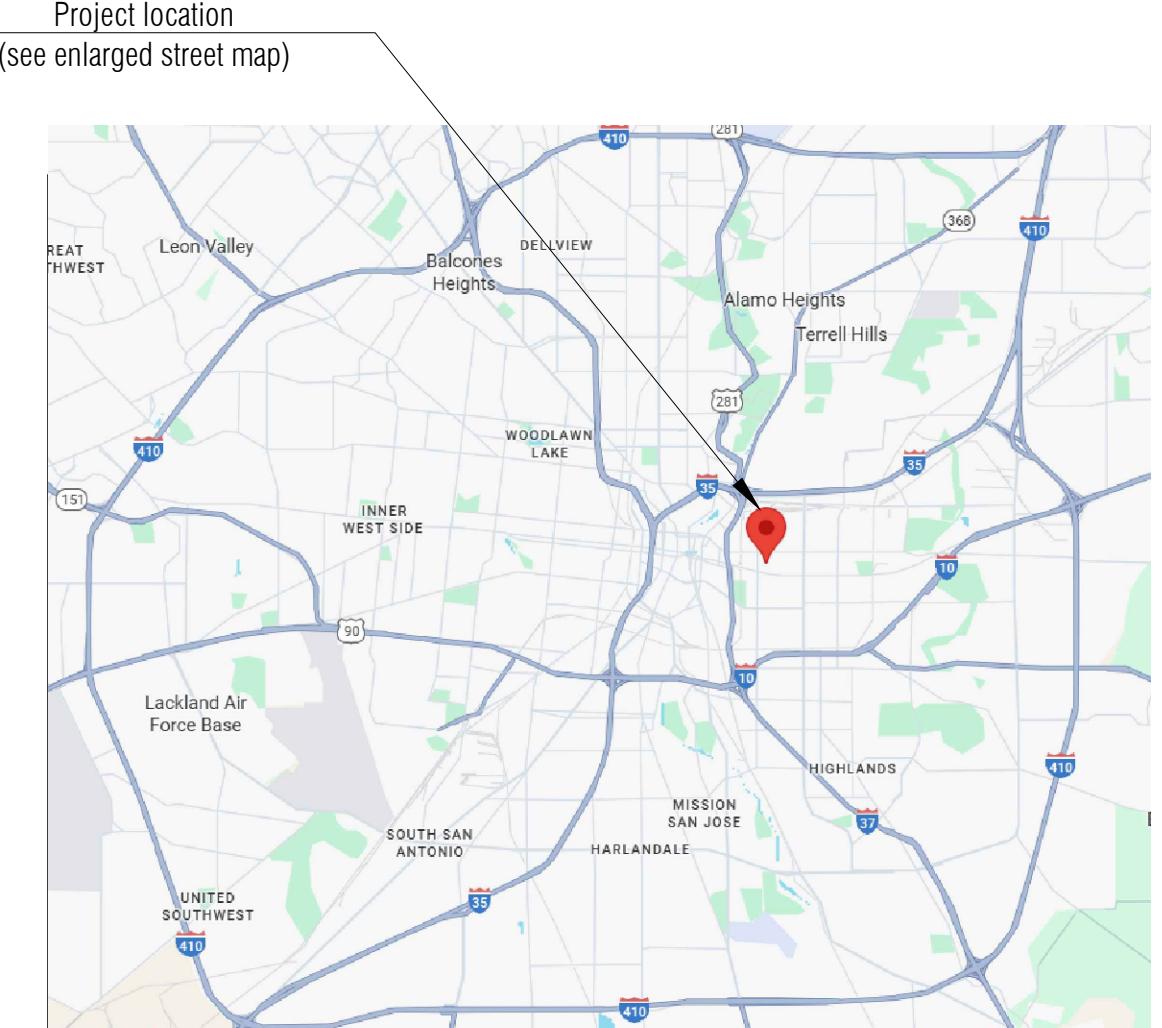


LOCATION MAP



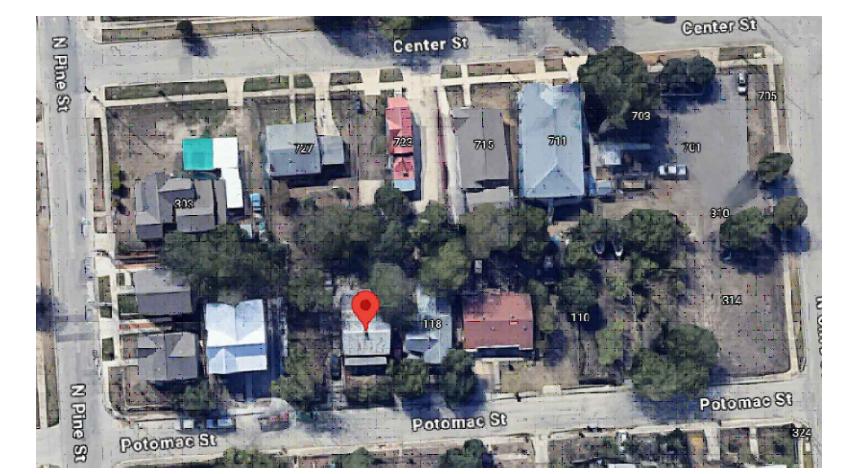
SAN ANTONIO MAP

Source: <https://www.google.com/maps>



STREET MAP

Source: <https://bcad.org/>



AERIAL MAP

Source: <https://www.google.com/maps>

MODEL CODE ORGANIZATIONS

ICC = The International Code Council

IAPMO = International Association of Plumbing and Mechanical Officials

NFPA = National Fire Protection Association

The IRC is a prescriptive guide to residential construction. It is intended primarily for conventional wood-frame construction within prescribed height limits and areas of wind and seismic design.

When a project has aspects that exceed the prescriptive limits of the IRC, those aspects require an engineered design. Many houses will require design for certain specific portions, while the majority

of the construction can be built prescriptively using the IRC.

Some projects might be in wind, snow or seismic areas that require all of the structural aspects be built to the International Building Code (IBC), while the nonstructural aspects are built to the IRC.

ABBREVIATIONS

A = amps (s) (ex: a15A breaker)

ABS = acrylonitrile-butadiene-styrene plastic pipe

ACCA = Air Conditioning Contractors of America

ACH = air changes per hour

AHJ = authority having jurisdiction

AMI = in accordance with manufacturer's instructions

ASCE = American Society of Civil Engineers

ASTM = American Society for Testing & Materials

AWG = American Wire Gauge

BO = building official

Btu = British thermal unit

BWL = braced wall line

BWP = braced wall panel

CATV = cable television

cfm = cubic feet per minute

CMU = concrete masonry unit

CPVC = chlorinated polyvinyl chloride plastic pipe

CSST = corrugated stainless steel tubing

cu = cubic (ex: 24cu. ft.)

Cu = copper

DFU = drainage fixture unit (s)

DW = dishwasher

DWV = drain, waste & vent

e.g. = for example

EGC = equipment grounding conductor

EMT = electrical metallic tubing

ex = example

FLR = flood level rim

FAU = forced air unit (central furnace)

ft (after number) = foot, feet (ex: 5ft)

FVIR = flammable vapor ignition resistant

galv = galvanized

GB = gypsum board

GEC = grounding electrode conductor

ICF = insulating concrete forms

IMC = intermediate metal conduit

in (after number) = inch

IS = IAPMO installation standard

kw = kilowatt

L&L = listed and labeled

lav = lavatory (sink)

lb = pound

LFMC = liquidtight flexible metal conduit

LFNC = liquidtight flexible nonmetallic conduit

LL = lot line dividing one lot from another or from a street

manu = manufacturer

max = maximum

min = minimum

mph = miles per hour

n/a = not applicable

NM = nonmetallic sheathed cable

O.C. = on center

PEX = cross linked polyethylene plastic pipe (water pipe)

psf = pounds per square foot

psi = pound per square inch

psig = pounds per square inch gage

PT = preservative treated (wood)

PVC = polyvinyl chloride plastic water pipe or

electrical conduit

recep = receptacle outlet (electrical)

RMC = rigid metal conduit

SDC = Seismic Design Category

SE = service entrance

SYMBOLS

DOOR SYMBOL	
WINDOW TYPE	
HEIGHT KEY	
ROOM NAME	
CEILING HEIGHT	
ROOF PITCH	
REVISION CLOUD	
SLOPE DIRECTION	
GRADE DROP MARKER	

GENERAL INFORMATION

1. THIS SET OF CONSTRUCTION DOCUMENTS IS PRESENTED TO INCLUDE DRAWINGS OF 24" x 36" SHEETS.
2. FOR ANY ITEM IDENTIFIED IN THE CONTRACT DOCUMENTS THAT IS REASONABLY INFERABLE AS A COMPONENT IN A SYSTEM AND REQUIRED FOR THE PERFORMANCE OF THAT SYSTEM, THE CONTRACTOR SHALL INCLUDE ALL OTHER COMPONENTS IN THE WORK WHICH ARE NECESSARY FOR THE COMPLETION AND FULLY OPERATIONAL PERFORMANCE OF THAT SYSTEM.
3. ALL INFORMATION ON EXISTING CONDITIONS WAS SUPPLIED TO THE DESIGN TEAM BY THE OWNER. CONTRACTOR IS REQUESTED TO VERIFY, ON-SITE, ALL DIMENSIONS & CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE DESIGN TEAM. CONTRACTOR SHALL FAMILIARIZE HIM (HER) SELF WITH EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
4. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. ALL CONTRACT DOCUMENTS - ARCHITECTURAL AND ENGINEERING (IF APPLICABLE) - ARE TO BE USED TOGETHER. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO REVIEW COMPLETE SETS OF DOCUMENTS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACT DOCUMENTS INDICATE THE GENERAL DESIGN INTENT, BUT DO NOT NECESSARILY DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION. THE CONTRACTOR SHALL PROVIDE ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
6. CONTRACTOR OF THE WORK SHALL VERIFY IN THE FIELD AND COORDINATE BETWEEN THE TRADES. OWNER SHALL BE MADE AWARE OF ALL CONDITIONS BOTH NEW AND EXISTING WHICH AFFECT WORK TO BE DONE OR RELEVANT THERETO, INCLUDING, BUT NOT LIMITED TO, PROPERTY LINE DIMENSIONS, SETBACKS, EASEMENTS, RESTRICTIONS, EXACT LOCATIONS OF ALL CONSTRUCTION, EXISTING AND NEW, EXISTENCE AND LOCATIONS OF ASBESTOS OR OTHER UNKNOWN TOXIC MATERIAL, DRIVEWAYS, WALKS, APRONS, UTILITIES, GRADES, AND DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCOVERY OF ASBESTOS AND OTHER REGULATED TOXIC MATERIALS AND SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR CONFORMANCE TO FEDERAL, STATE, AND LOCAL JURISDICTIONAL REQUIREMENTS REGARDING THE DISPOSAL OF HAZARDOUS MATERIALS. SHOULD ANY QUESTIONS ARISE PRIOR TO BEGINNING CONSTRUCTION OR DURING ANY PHASE OF CONSTRUCTION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR REVIEW AND CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK OR ANY PART RELATED THERETO.
7. CONTRACTOR SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR PLAN REVIEWS REQUIRED BY THE CITY OF SAN ANTONIO.
8. CONTRACTOR SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR ALL PERMITS, APPROVALS, AND INSPECTIONS REQUIRED BY THE CITY OF SAN ANTONIO. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.
9. OWNER SHALL BEAR ALL FINANCIAL RESPONSIBILITY FOR ALL PLAN REVIEWS, PERMITS, APPROVALS, AND INSPECTIONS REQUIRED BY THE CITY OF SAN ANTONIO.

INDEX

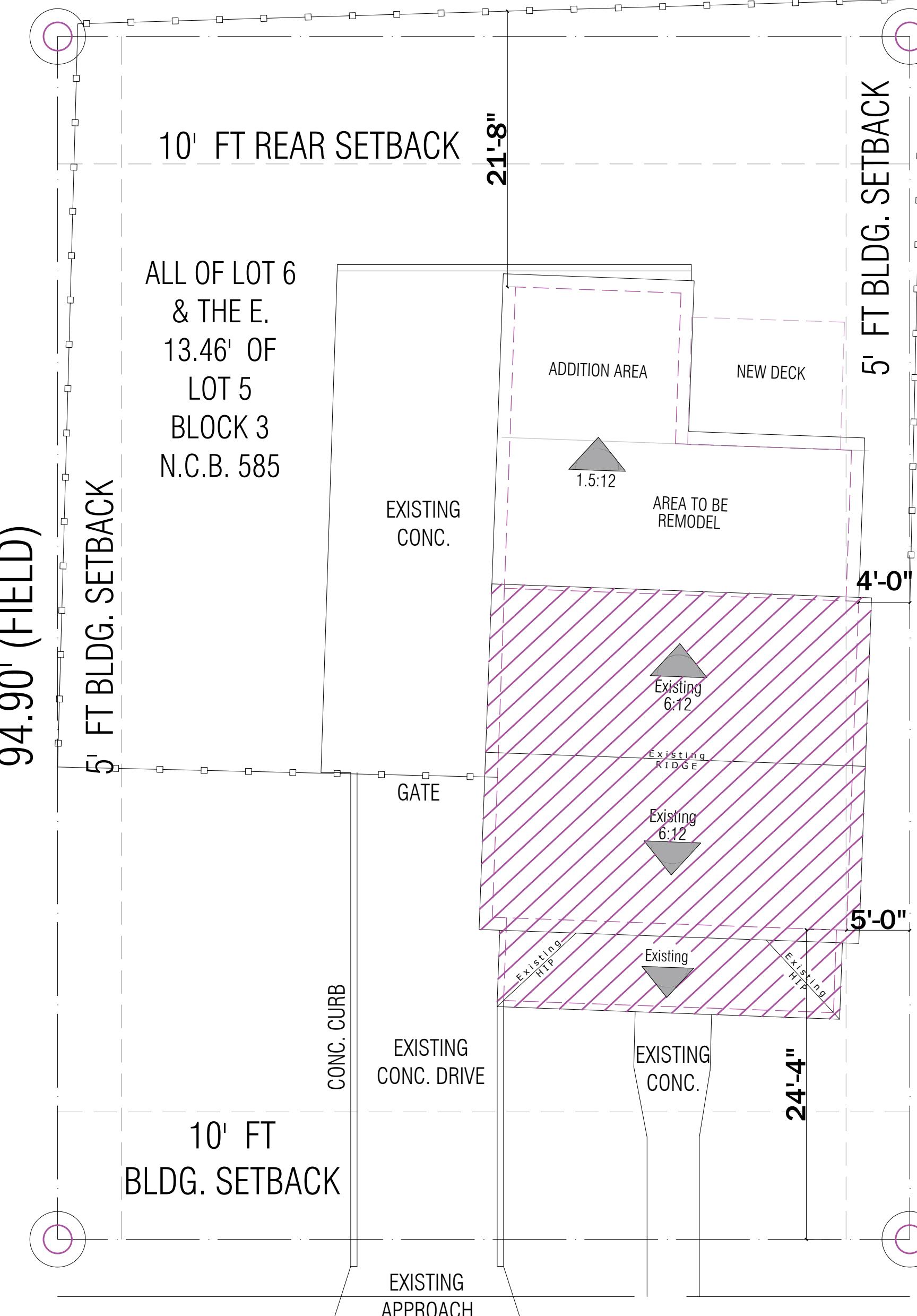
A-01	SITE PLAN
	COVER SHEET, TITLE, NOTES, LOCATION MAP
A-02	EXISTING FLOOR PLAN
A-02.1	PROPOSED FLOOR PLAN
A-03	ELECTRICAL PLAN
A-04	EXISTING ELEVATIONS
A-04.1	PROPOSED ELEVATIONS
S-1	ROOF FRAME RAFTER PLAN
S-2	FRAME PLAN CEILING JOIST
S-3	WIND BRACING PLAN
S-4	FOUNDATION PLAN

SITE PLAN LEGEND

PROPERTY LINE	
SETBACK LINE	
BUILDING EDGE LINE	
EXISTING FENCE	

66.91' (REF.)

S 90° 00' 00" W
66.91' (FIELD)



N 90° 00' 00" E
66.91' (FIELD)

N 90° 00' 00" E (PROTRACTED) 66.91' (REF)
(BEARING BASIS)

Potomac Street

(61.26' R.O.W. (REF.) ASPHALT PAVEMENT)
(REF. AS: POTOMAC ST.)

A-01
SITE PLAN
Scale: 1/8"=1'-0"

A-01

OCT 2025

Project
PROJECT
122
Potomac St.
San Antonio, TX. 78202
DATE: 10/28/2025
PROJECT NO.
REVISION 1
2
3
4
5
6
NOTES:
DRAWN BY: CARLOS TREVINO
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO GUIDE THE BUILDER, OWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD CALL FOR A PRE-CONSTRUCTION MEETING SERVICES: HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES TAKE PRECEDENCE OVER THESE PLANS. ALTERATION OR ALTERING OF THESE PLANS IS NOT PERMITTED, VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS

RESIDENTIAL

EXISTING LIVING SPACE : 1,189.21 SQFT
ADDITION LIVING SPACE: 153.83 SQFT
EXISTING PATIO: 168.45 SQFT
NEW PATIO: 120.00 SQFT

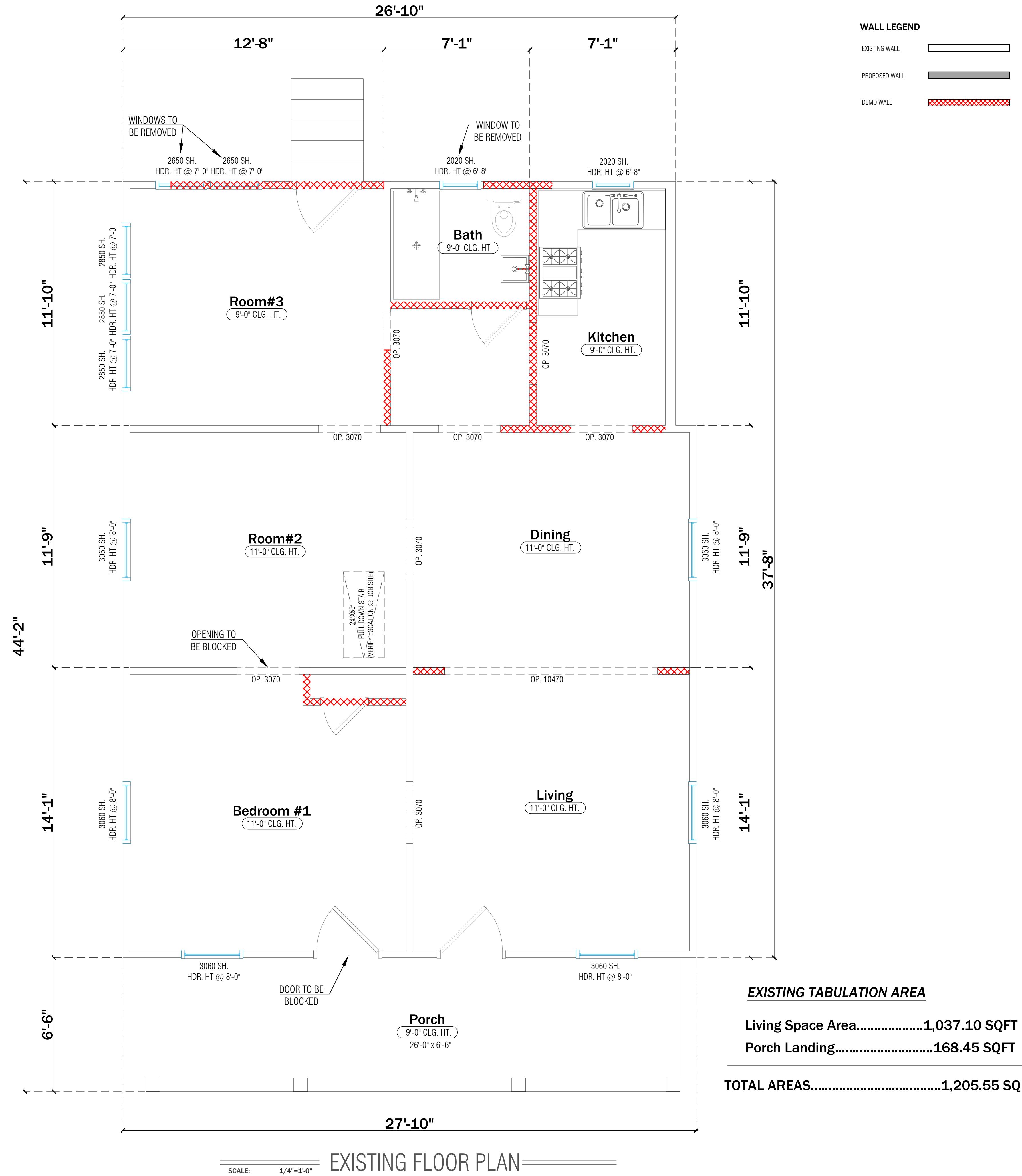
SCALE: INDICATED

PLAN No:

DEMO PLAN

GENERAL NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT / ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT EXIST.
- REMOVE EXISTING CONSTRUCTION AS NOTED AND WHERE SHOWN IN PLANS. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED AND THE PROTECTION OF ITEMS TO REMAIN.
- CONTRACTOR IS RESPONSIBLE FOR ANY DEMOLITION THAT IS NOT SHOWN ON DEMOLITION DRAWINGS BUT IS REQUIRED FOR NEW CONSTRUCTION.
- IF CONTRACTOR BECOMES AWARE OF ANY LOAD BEARING POINTS WITHIN DEMOLITION NOT NOTED ON THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT / ENGINEER PRIOR TO REMOVING THE CONSTRUCTION.
- PATCH OPENINGS IN WALLS, CEILINGS AND FLOORS RESULTING FROM DEMOLITION WORK. PATCH WITH MATCHING MATERIALS AND CONSTRUCTION UNLESS NOTED OTHERWISE.
- THE OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS REMOVED DURING DEMOLITION INCLUDING FURNISHINGS.
- CUT OPENINGS IN FLOOR AND ROOF STRUCTURE FOR NEW MECHANICAL AND ELECTRICAL DUCTWORK, PIPING AND CONDUIT.
- REINFORCE OPENINGS AS REQUIRED. SAW CUT AND PATCH EXISTING FLOOR SLABS AS REQUIRED FOR NEW PIPING.
- REFER TO ELECTRICAL PLANS AND SPECIFICATIONS FOR REMOVAL/RELOCATION/REROUTING OF EXISTING UTILITIES.
- DEMOLITION OF EXISTING UTILITIES SHALL BE MADE SO THAT SERVICE TO OTHER AREAS UTILIZED BY THE OWNER ARE NOT INTERRUPTED. PROVIDE TEMPORARY UTILITIES, ISOLATION VALVES, DISCONNECTS, ETC. WHERE REQUIRED DURING DEMOLITION AND NEW CONSTRUCTION.
- WHERE EXISTING ELECTRICAL DEVICES ARE INDICATED TO BE REMOVED, REPAIR WALL AS REQUIRED TO MATCH EXISTING (TO REMAIN) WALL RATING. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES FOR A SMOOTH, FLUSH APPEARANCE.
- REMOVE ALL EXISTING FLOOR FINISHES, ADHESIVES AND WALL BASE WHERE NEW FLOOR FINISH IS REQUIRED.
- PROVIDE DUST BARRIERS AS REQUIRED TO PREVENT MIGRATION TO AREAS TO BE OCCUPIED BY OWNER. PROTECT ALL EQUIPMENT TO REMAIN. COORDINATE PROTECTION OF EXISTING EQUIPMENT WITH OWNER.
- COORDINATE DEMOLITION WITH SEQUENCING OF THE WORK.
- PROTECT EXISTING FINISHES WHICH ARE TO REMAIN.
- REFER TO STRUCTURAL DRAWINGS FOR SCOPE OF STRUCTURAL DEMOLITION WORK.
- CONDUCT DEMOLITION ACTIVITIES CLEAN, COMPLETE AND IN A MANNER SUITABLE FOR NEW FINISHES.
- WHILE DEMOLITION IS OCCURRING, SENSITIVE OWNER ACTIVITIES WILL BE PROCEEDING IN ADJACENT AREAS. MINIMIZE NOISE AND DUST LEVELS AND TEMPORARILY SUSPEND DEMOLITION AS REQUESTED BY THE OWNER.
- PROVIDE TEMPORARY PARTITIONS TO MAINTAIN PROPER FIRE EXITS AND TO CONFINE PEDESTRIAN ACTIVITY TO OCCUPIED SPACES MAINTAIN REQUIRED MEANS OF EGRESS AND SIGNAGE FOR EGRESS.
- WHERE DEMOLITION ACTIVITY DAMAGES OR REMOVES ANY APPLIED FIREPROOFING OR CONSTRUCTION INSTALLED AS PART OF A RATED ASSEMBLY, REPLACE FIREPROOFING AND CONSTRUCTION MATERIALS TO ACHIEVE AND MAINTAIN APPROPRIATE ASSEMBLY RATING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP COST FOR DUST AND DEBRIS WHICH MIGRATE INTO EXISTING, ADJACENT SPACES.



Project
PROJECT ENGINEERING PLC
CARL GROTH, P.E., PMP
SAN ANTONIO, TX 78230
PHONE: (210) 380-0050
cgroth@projectengineering.com

122
Potomac St.

San Antonio, TX 78202
DATE: 10/28/2025
PROJECT NO.
REVISION DATE
1
2
3
4
5
6

NOTES:

DRAWN BY: CARLOS TREVINO
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUPPORT THE CONSTRUCTION OF THE PROJECT. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD CONSULT WITH LOCAL BUILDING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE ALL FEET AND INCHES ARE IN U.S. CUSTOMARY UNITS. ANYONE WHO TAKES RESPONSIBILITY OVER ANY PART OF THESE PLANS, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATION, DESIGNER WILL NOT BE HELD LIABLE FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCING CONSTRUCTION. ANY ALTERATION, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

PROJECT TYPE:

RESIDENTIAL

LIVING SPACE: 1,189.21 SQFT
PORCH AREA: 168.45 SQFT
PATIO: 120.00 SQFT

EXISTING FLOOR PLAN

SCALE: 3/8"=1'-0"

A-02

PLAN No:

OCT 2025

AIR BARRIER

Thermal Envelope

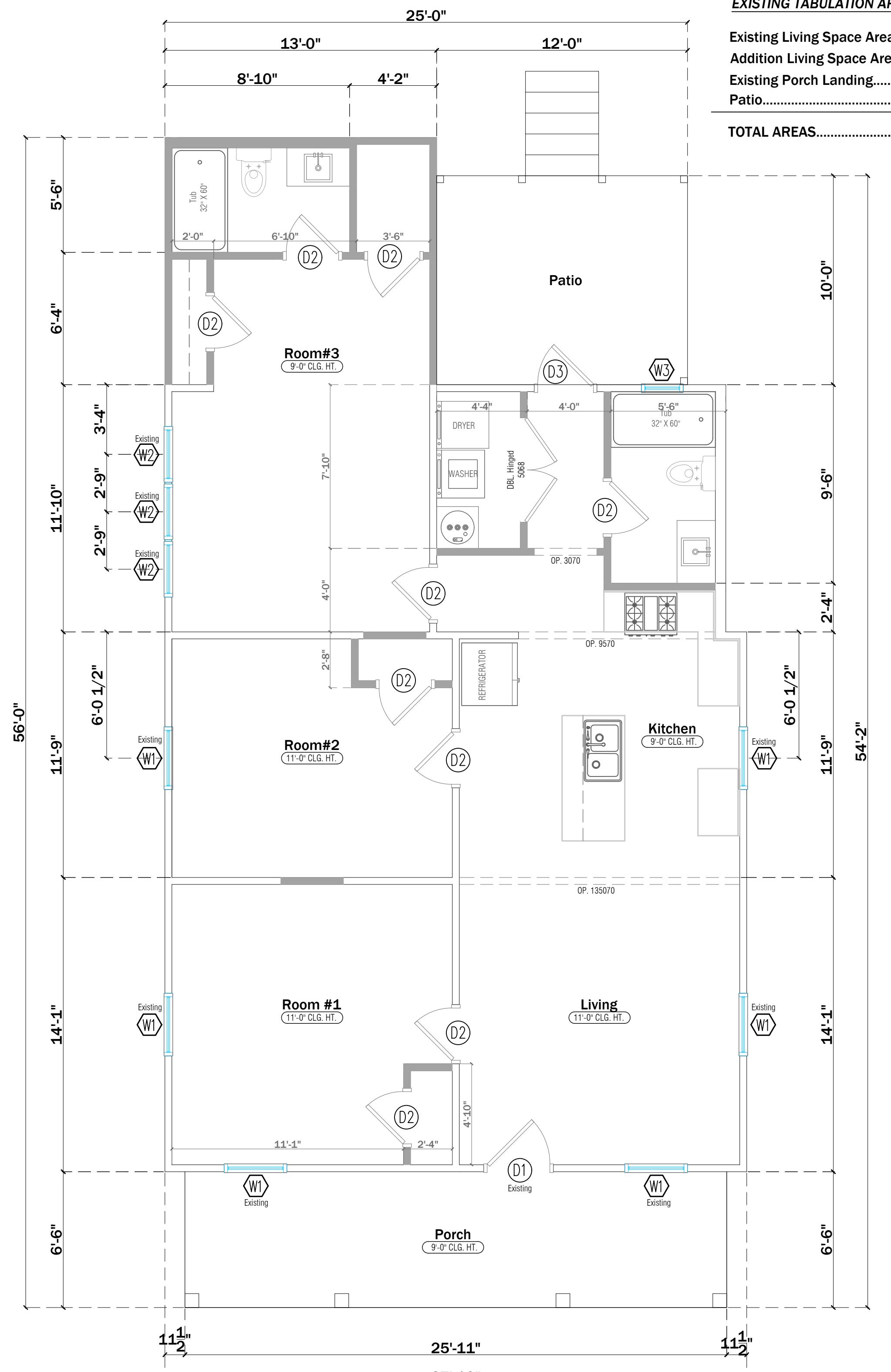
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope.	A permeable insulation shall not be used as a sealing material.
Ceilings	The barrier in the dropped ceiling shall be aligned with the insulation and gaps in the air barrier shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and wall shall be sealed.	Causes within corners and headers of frame walls shall be sealed. The junction of the top of the wall and exterior walls shall be sealed.
Windows, skylights and doors	The space between exterior panels and framing and drywall and framing shall be sealed.	External thermal envelope insulation for framed walls shall be installed in subframe corner and continuous alignment with the air barrier.
Trim joints	Trim joints shall be sealed as barrier.	Trim joints shall be insulated so that the insulation maintains permanent contact with the exterior board.
Floor (including cantilevered floors and floors above garages)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed in trim permanent contact with the underside of the floor joist. The insulation shall be continuous and extend to be in contact with the top side of sheathing, or continuous insulation shall be installed in the floor joist cavity and extend to the bottom to the top at perimeter floor framing members.
Basement, crawl spaces and site foundations	Exposed earth in unvented crawl spaces shall be covered with a dense, impermeable liner.	Crawl space insulation, where provided, installed in floor shall be installed in trim permanent contact with the underside of the floor joist. Condensed basement insulation wall insulation shall be installed in accordance with section R402.8.1.
Shafts, penetrations	Vertical shafts, utility penetrations, and five flues to exterior or interior shall be sealed.	Vertical shafts, utility penetrations, and five flues to exterior or interior shall be sealed. Union penetrations of the air barrier shall be caulked, gasketed or otherwise sealed and shall allow inspection, cleaning and maintenance.
Narrow cavities	Normal cavities of 1/8" or less that are not able to be insulated shall be sealed in narrow cavities shall be cut to fit or narrow insulation shall be used to fit the narrow cavity space.	Normal cavities of 1/8" or less that are not able to be insulated shall be sealed in narrow cavities shall be cut to fit or narrow insulation shall be used to fit the narrow cavity space.
Garage separation	The air barrier shall be present between the garage and conditioned spaces.	The air barrier shall be present between the garage and conditioned spaces.
Processed lighting	Resinous light fixtures installed in the building thermal envelope shall be sealed.	Resinous light fixtures installed in the building thermal envelope shall be sealed.
Plumbing and wiring or other penetrations	No holes created by wiring, plumbing or other obstructions in the wall or ceiling shall be sealed.	Obstruction shall be sealed to fit the available space and prevent wiring, plumbing or other obstructions from the F-Value to be met by installing the same system completely to the desired size of the obstruction.
Showertub on exterior wall	The air barrier installed at exterior to shower and tub shall separate from the shower and tub.	Exterior walls adjacent to showers and tubs shall be sealed.
Electrical/phone box on exterior walls	The air barrier shall be sealed behind electrical or communication boxes.	The air barrier shall be sealed behind electrical or communication boxes.
HVAC register boots	Thermostats and supply and return ducts shall be sealed to the exterior, wall covering or exterior penetrations to the exterior.	Thermostats and supply and return ducts shall be sealed to the exterior, wall covering or exterior penetrations to the exterior.
Concealed sprinklers	The air barrier shall be sealed to the exterior for sprinklers that may be sealed in a recessed area is recommended to be sealed to the exterior. The air barrier shall not be used to seal recessed areas.	The air barrier shall be sealed to the exterior for sprinklers that may be sealed in a recessed area is recommended to be sealed to the exterior. The air barrier shall not be used to seal recessed areas.

a. Inspection of log shall be in accordance with the provisions of IC-400.

b. All barrier and insulation full thickness is not required in unconditioned attics, spaces and rim joist.

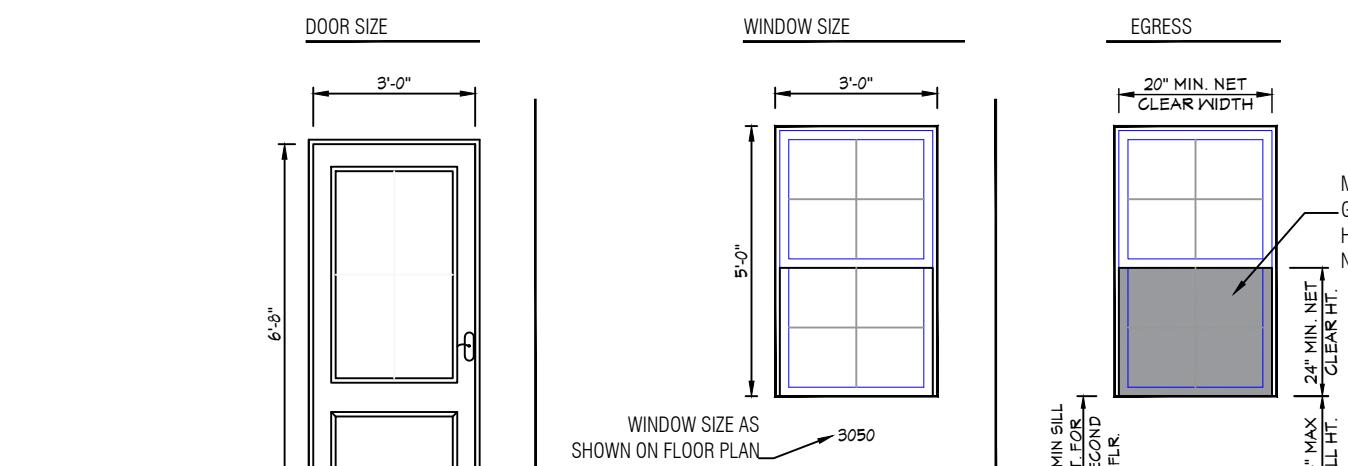
GENERAL NOTES

- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
- BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQFT A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
- ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 40 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
- ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
- ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYPSUM BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
- ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILING WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER USE 1/2" GYP. BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
- ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.
- PERIMETER WALLS SHALL BE INSULATED WITH BATT INSULATION FIBER GLASS R-13.
- ALL THE CEILING SHALL BE INSULATED WITH BATT INSULATION FIBER GLASS R-38.



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"



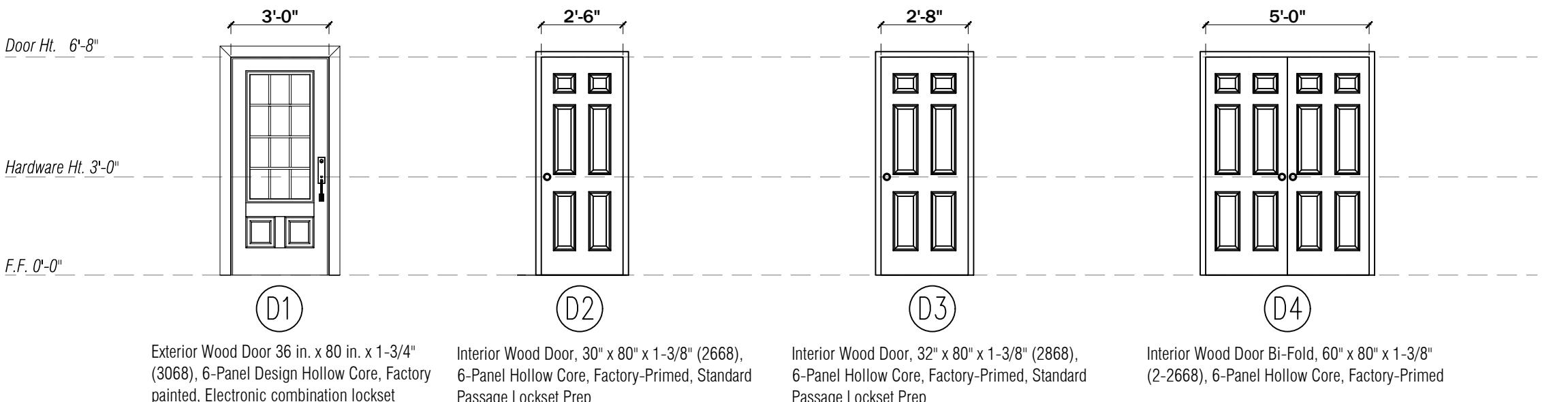
3068 (DOOR LABEL ON FLOOR PLAN) IS A DOOR. THE DOOR LABEL IS THE ACTUAL SIZE OF THE DOOR ITSELF, NOT THE ROUGH OPENING SIZE. THAT IS 3 FT 0 INCHES WIDE BY 6 FEET 0 INCHES HIGH. 3050 (WINDOW LABEL ON FLOOR PLAN) IS A WINDOW ITSELF, NOT THE ROUGH OPENING SIZE. THAT IS 3 FT 0 INCHES WIDE BY 5 FEET 0 INCHES HIGH. TO FURTHER CLARIFY, THE 3050 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT).

SCALE: N.T.S. DOOR / WINDOW NOTES

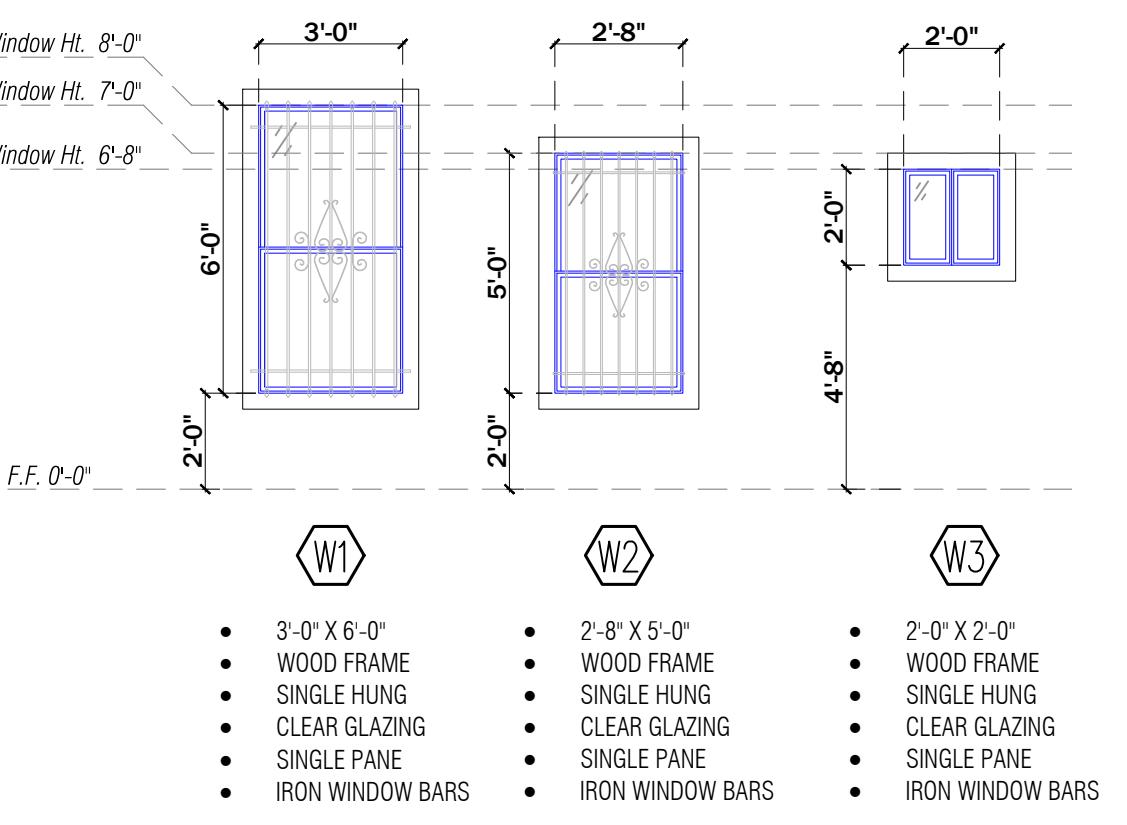
EXISTING TABULATION AREA

Existing Living Space Area.....1,037.10 SQFT
Additional Living Space Area.....153.83 SQFT
Existing Porch Landing.....168.45 SQFT
Patio.....120.00 SQFT
TOTAL AREAS.....1,479.38 SQFT

Door Type :



Window Type :



- 3'-0" X 6'-0"
- WOOD FRAME
- SINGLE HUNG
- CLEAR GLAZING
- SINGLE PANE
- IRON WINDOW BARS
- 2'-8" X 5'-0"
- WOOD FRAME
- SINGLE HUNG
- CLEAR GLAZING
- SINGLE PANE
- IRON WINDOW BARS
- 2'-0" X 2'-0"
- WOOD FRAME
- SINGLE HUNG
- CLEAR GLAZING
- SINGLE PANE
- IRON WINDOW BARS

WINDOW SCHEDULE				
WINDOW ID	WINDOW TYPE	WDTH	HEIGHT	MATERIAL
W1	SINGLE-HUNG	3'-0"	6'-0"	WOOD/Glass
W2	SINGLE-HUNG	2'-8"	5'-0"	WOOD/Glass
W3	SINGLE-HUNG	2'-0"	2'-0"	WOOD/Glass

Project
PROJECT
122
Potomac St.

San Antonio, TX. 78202
DATE: 10/28/2025
PROJECT NO.
REVISION DATE
1
2
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4
5
6
NOTES:

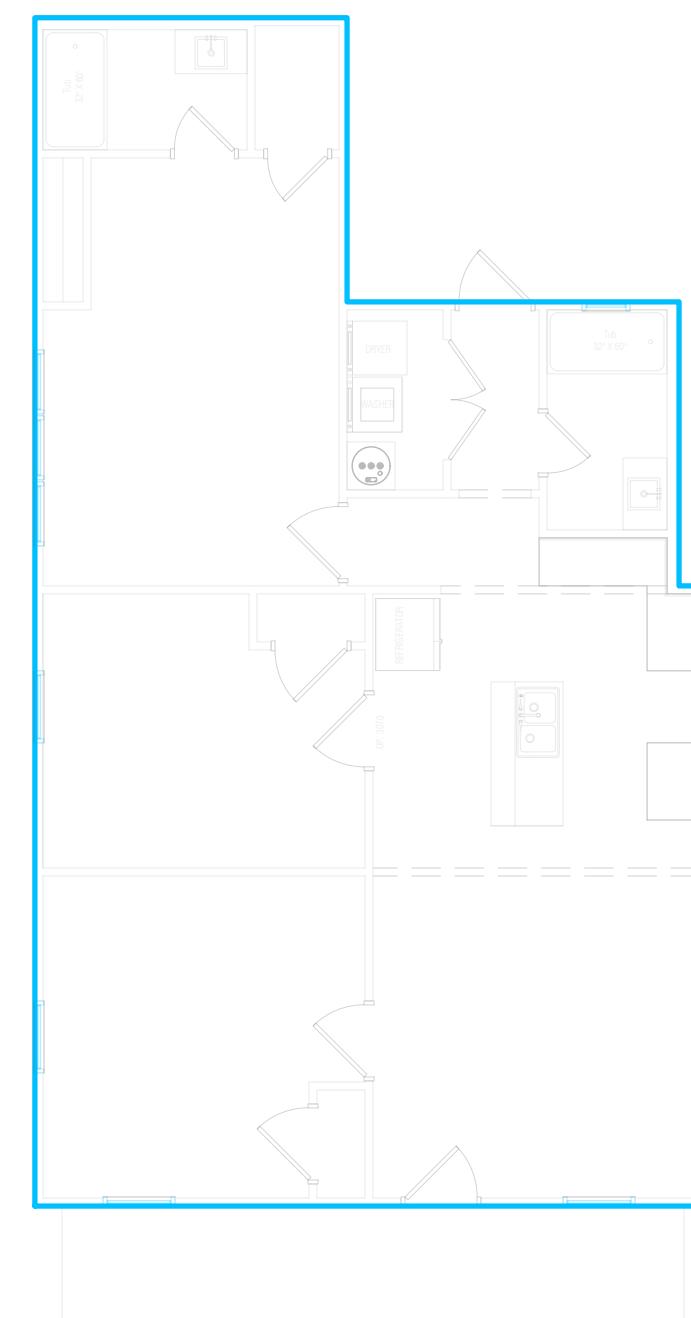
DRAWN BY: CARLOS TREVINO
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUPPORT THE CONSTRUCTION OF THE BUILDING. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD CONSULT WITH LOCAL BUILDING, PLUMBING, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE ALL FEEDBACK AND COMMENTS AND ANY CHANGES TAKE PRIORITY OVER ANY PART OF THESE PLANS. BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATION, DESIGNER WILL NOT BE HELD LIABLE FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCING CONSTRUCTION. ANY CHANGING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

PROJECT TYPE:
RESIDENTIAL

LIVING SPACE: 1,189.21 SQFT
PORCH AREA: 168.45 SQFT
PATIO: 120.00 SQFT

WALL LEGEND

EXISTING WALL	
PROPOSED WALL	
DEMO WALL	



Thermal Envelope Plan

SCALE: 1/8"=1'-0"

PROPOSED FLOOR PLAN

SCALE: 3/8"=1'-0"

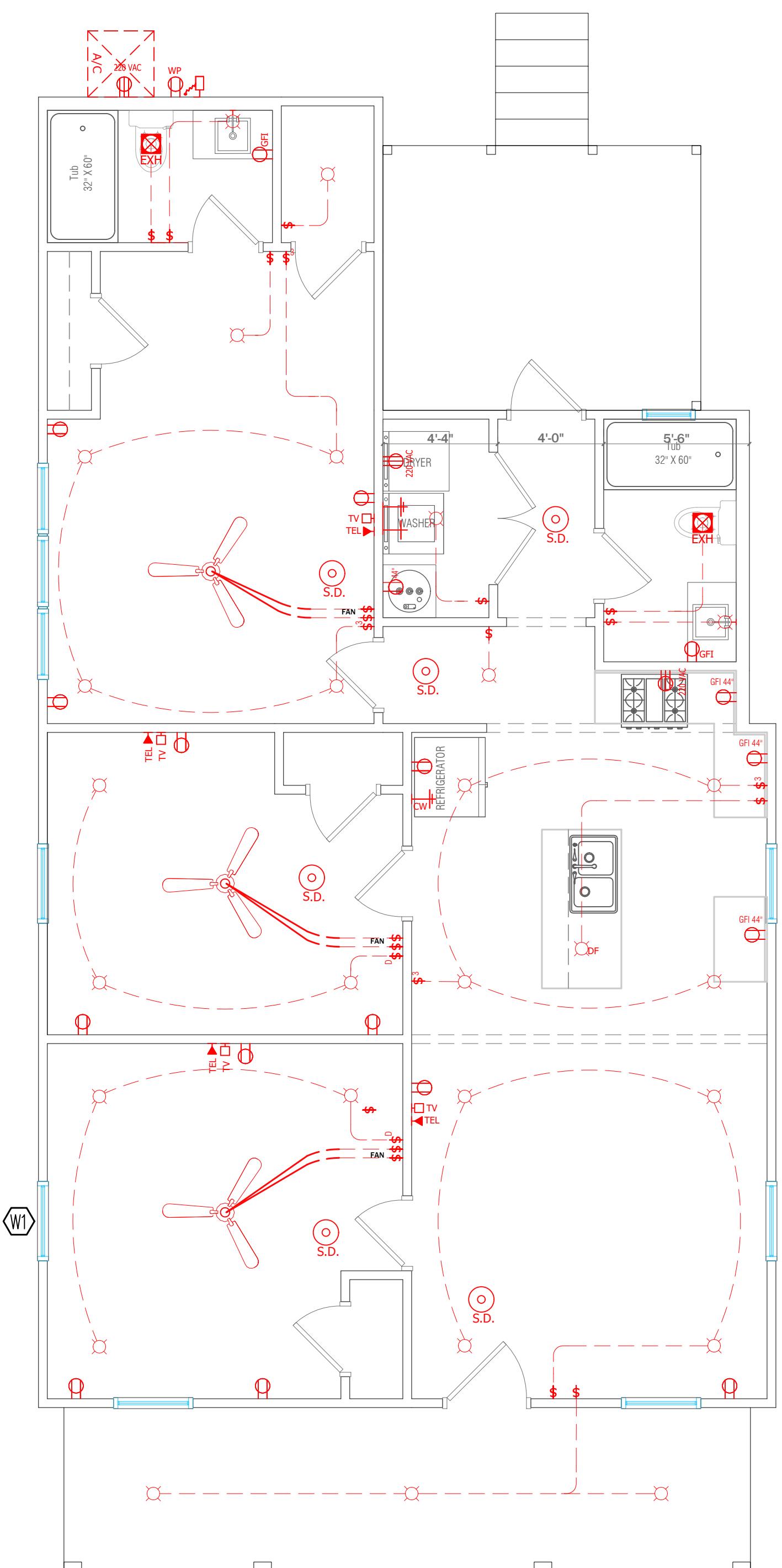
PLAN No:

OCT 2025

A-02.1

LEGEND

ELECTRICAL	
\$	SWITCH
\$	DIMMER SWITCH
\$	THREE WAY SWITCH
\$	FOUR WAY SWITCH
□	DUPLEX OUTLET
□	FLOOR OUTLET
□	CEILING OUTLET
□	DUPLEX OUTLET WITH GROUND FAULT INTERRUPTOR
□	220 VAC DUPLEX OUTLET
□	WATERPROOF DUPLEX OUTLET
□	TELEPHONE OUTLET
□	TELEVISION OUTLET
○ S.D.	SMOKE DETECTOR
E.P.	ELECTRICAL PANEL BOX
○	SURFACE MOUNT CLG. FIXTURE
○	WALL MOUNT FIXTURE
□	FLUORESCENT LIGHT
P	PULL CHAIN LIGHT
PLUMBING	
○	WATER HEATER
○	SHOWER HEAD
○	HOSE BIB/FAUCET
○	COLD WATER TO REF.
○	HOT & COLD WATER
○	RAIN HEAD SHOWER
○	GAS KEY (ON/OFF) VALVE
○	TANKLESS WATER HEATER

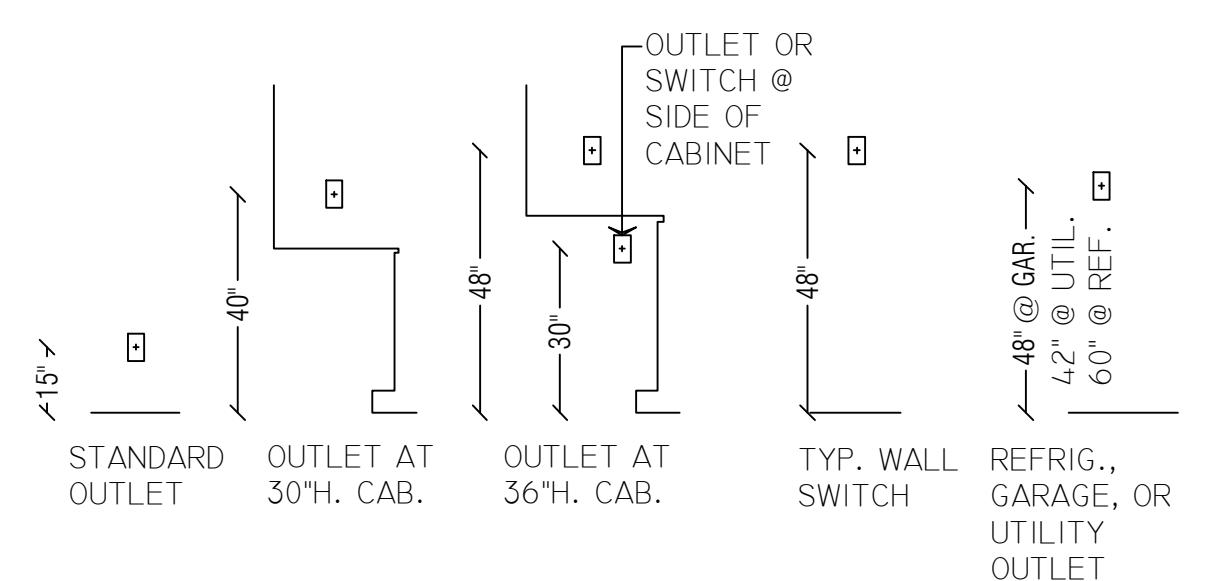


PROPOSED ELECTRICAL PLAN

ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK COMPLY WITH THE STANDARD OF THE NATIONAL ELECTRICAL CODE.
2. PERFORMANCE STANDARDS CONFORM ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. PROVIDE A MINIMUM OF ONE SEPARATE 20AMP CIRCUIT TO LAUNDRY APPLIANCES.
4. PROVIDE A MINIMUM OF TWO SEPARATE 20AMP CIRCUIT TO THE KITCHEN APPLIANCES
5. SWITCHES AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. A SMOKE DETECTORS WITH CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ON LIVING ROOM, BEDROOMS, HALL WAYS, KITCHEN AND WHERE REQUIRED BY APPLICABLE LAW, CODES OR STANDARD FOR THE SPECIFY OCCUPANCY.
7. BLUE PVC BOXES SUCH AS 18cu Single box, 32cu double box AND 44cu triple box SHALL BE INSTALLED AND USED AS THE PROJECT'S NEEDS AND REQUIRED BY CODE.
8. SWITCHES, RECEPTACLES OUTLETS, GFCI RECEPTACLES, 10-50R 3 POLE RECEPTACLE, WATER PROOF OUTLETS AND LED LIGHTS SHALL BE INSTALLED AS THE PROJECT'S NEEDS AND REQUIRED BY CODE.
9. PANEL BOARDS AND EXHAUST FANS SHALL BE INSTALLED AS THE PROJECT'S NEEDS AND REQUIRED BY CODE.
10. REFRIGERATOR OUTLET HAVE ITS OWN DEDICATED CIRCUIT AS REQUIRED BY CODE.
11. ALL COVER PLATES FOR ALL DEVICES SHALL BE PROVIDED IN THE COORDINATED COLOR TO MATCH SURROUNDINGS.
12. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
13. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
14. 220V RANGE TO BE ON A DEDICATED CIRCUIT PER ELECTRICAL CODE REQUIREMENTS.
15. THE CONTRACTOR SHALL WIRE SEPARATE DEDICATED CIRCUITS FOR REQUIRED NUMBER OF OUTLETS STATED BY CODE IN KITCHEN AREA
16. BREAKER BOX TO BE INSTALLED AT 48" A.F.F. TO ITS HIGHEST OPERABLE PART.
17. SMOKE & CO-MONOXIDE DETECTORS TO BE: HARD WIRED & 3ft. MIN. FROM AC VENTS PROVIDE A.F.C.I. RECEPTACLES IN ALL BEDROOMS.

ELECTRIC FIXTURE HEIGHTS (UNLESS NOTED OTHERWISE)



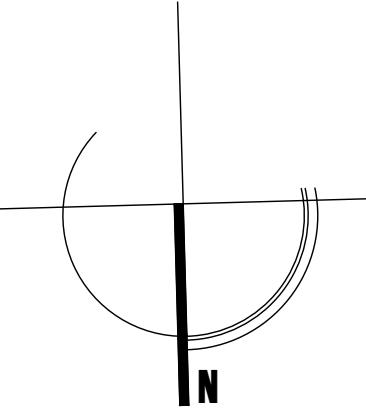
ELECTRICAL PLAN

SCALE: 3/8"=1'-0"

PLAN No:

OCT 2025

A-03



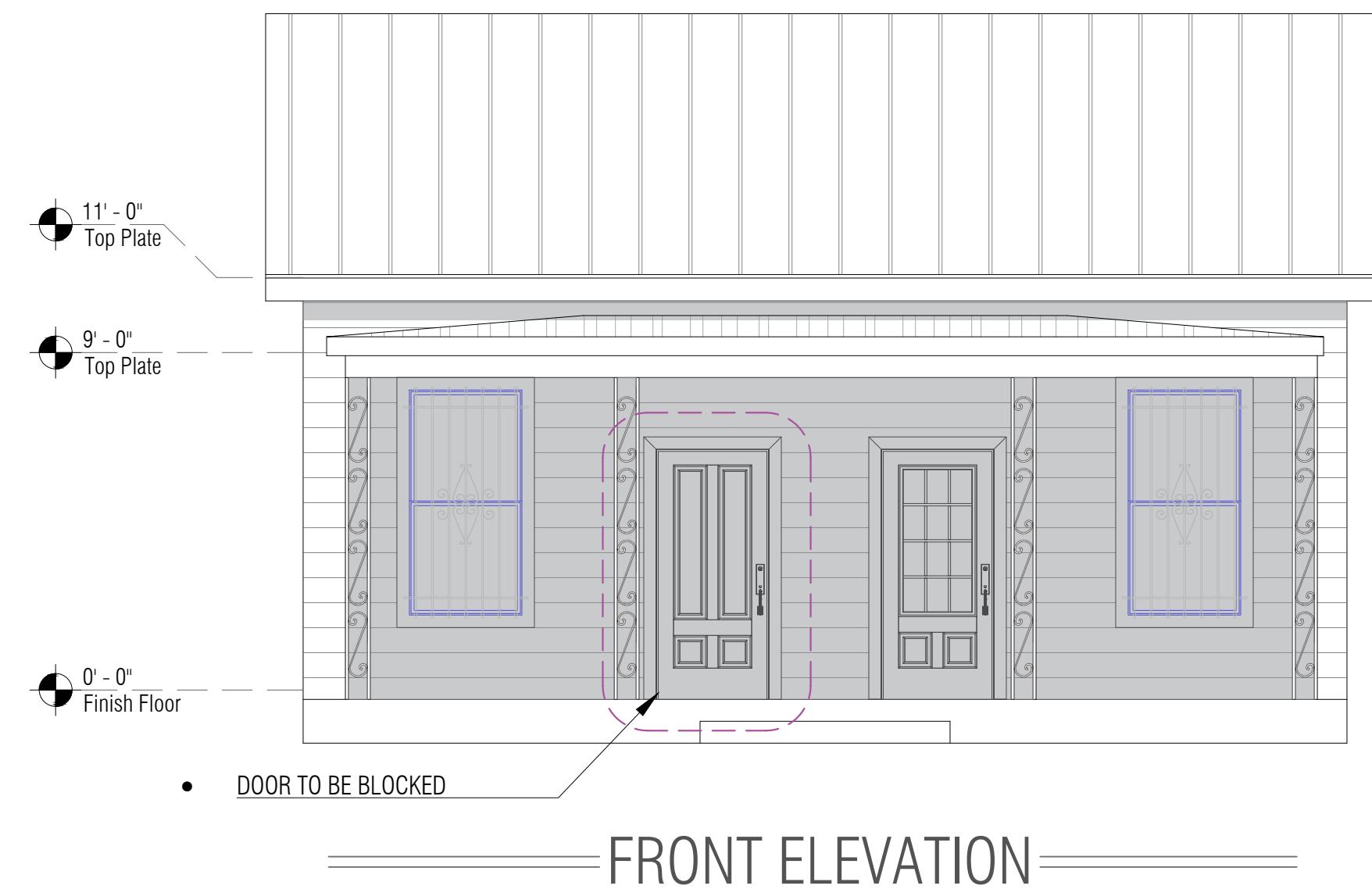
Projecta
ENGINEERING

PROJECTA ENGINEERING PLLC
CARMEN GROTH, P.E., PMP
SAN ANTONIO, TX 78230
PHONE: (210) 380-0060
cgroth@projectaengineering.com

122
Potomac St.

San Antonio, TX 78202
DATE: 10/28/2025
PROJECT NO.

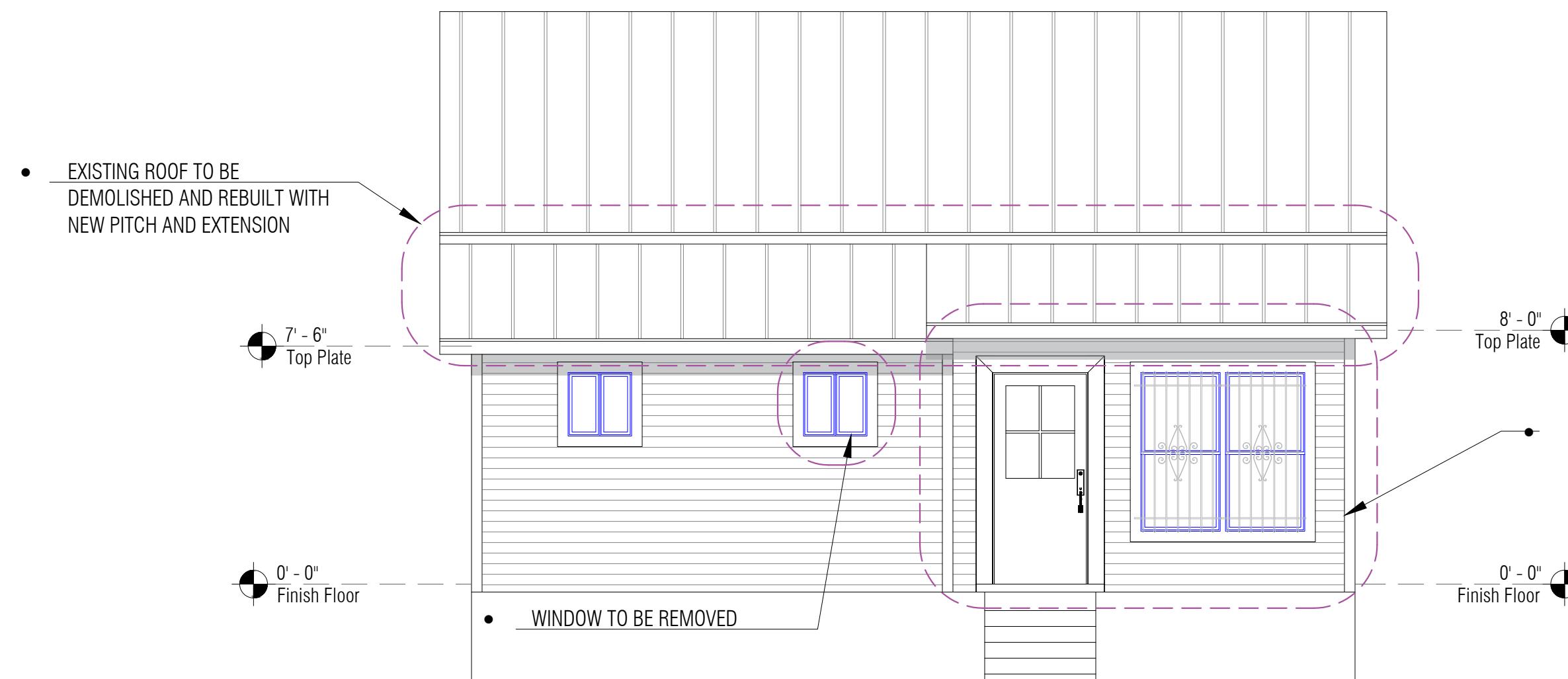
REVISION	DATE
1	
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FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

DRAWN BY: CARLOS TREVINO
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUPPORT THE CONSTRUCTION OF THE PROJECT. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD CONSULT LOCAL PLANNING, ZONING, SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS THAT MAY AFFECT THIS PROJECT MUST BE TAKEN INTO CONSIDERATION. DO NOT ALTER ANY PART OF THESE PLANS, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ACCEPT CLAIMS FOR DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCING CONSTRUCTION. ANY ALTERATION, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

PROJECT TYPE:

RESIDENTIAL

EXISTING LIVING SPACE: 1,189.21 SQFT
ADDITION LIVING SPACE: 153.83 SQFT
EXISTING PORCH: 168.45 SQFT
NEW PATIO: 120.00 SQFT

EXISTING ELEVATIONS

SCALE: 1/4"=1'-0"

A.04

PLAN No:

OCT 2025

A-04

EXISTING ELEVATIONS

Scale: 1/4"=1'-0"

TALL WALL NOTES

- ALL STUDS TO BE MIN. 2X4 #2 SYP OR SP2
- SINGLE BOTTOM PLATE, DOUBLE TOP PLATE
- ATTACH HEADERS TO FRAMING W/ MIN. (8) 12d NAILS IN EACH END
- ALL STUDS TO BE CONTINUOUS EXCEPT JACK AND CRIPPLE STUDS ABOVE AND BELOW OPENINGS
- EXTENDED WALL BOTTOM PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS. SHALL HAVE A MINIMUM DEPTH OF 7 INCHES INTO CONCRETE. BOLT SPACING SHALL BE A MAXIMUM OF 6 FEET ON CENTER, WITH ONE BOLT LOCATED NO MORE THAN 12 INCHES FROM EACH END. A NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT OF THE PLATE.
- ATTACH STUDS TOP AND BOTTOM PLATES WITH MIN. OF (4) 12d NAILS.

DESIGN CRITERIA NOTES

1. THE INTENDED DESIGN STANDARDS (LATEST EDITION) AND/OR CRITERIA ARE AS FOLLOWS:

GENERAL INTERNATIONAL RESIDENTIAL BUILDING CODE EDITION 2024

2. DESIGN LOADS

DEAD LOADS

SHINGLE ROOF.....20 PSF

WALL.....6 PSF

FLOOR.....12 PSF

LIVE LOADS

ROOF.....20 PSF

FLOOR.....40 PSF

ATTIC.....10 PSF

3. WIND LOAD: 115 mph APPLIED PER IBC -IRC = CATEGORY II

1.0 EXPOSURE "B"

4. SEISMIC: SEISMIC CATEGORY "A"

ROUGH CARPENTRY NOTES

1. ALL WOOD FRAMING MATERIAL SHALL BE SURFACE DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT. ALL FRAMING HEADER SHALL BE #2 SYP OR BETTER

2. ALL LOAD BEARING PARTITIONS SHALL RECEIVE A DOUBLE 2X TOP PLATE AND LAPPED AT CORNERS

3. ALL PARTITIONS SHALL BE BRACED ON THE TOP AT INTERVALS NOT EXCEEDING 6 FEET ON CENTER

4. ALL MULTIPLE GIRDERS, BEAMS AND JOIST SHALL BE GANG NAILLED

5. ALL FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE MASONRY SHALL BE SURFACE DRY

6. PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWNS ANCHORS AND OTHER ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG TIE OR APPROVED EQUAL

7. PREFABRICATED LVS, GULAMS, PSI, HEADERS AND BEAMS SHALL BE MANUFACTURED BY APPROVED CORP OR EQUAL. MINIMUM BENDING STRESSES SHALL BE AS FOLLOWS:

LVS.....2,600 PSI

PSL.....2,600 PSI

GULAMS.....2,400 PSI

8. ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS AND OTHER HARDWARE EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED

9. INSTALL ALL BLOCKING NECESSARY FOR ATTACHING ALL FINISHES, GYPSUM WALLBOARD, CABINERY, ETC.

10. ATTACH WOOD PLATES TO FOUNDATIONS WITH 1/2" ANCHOR BOLTS AT 4'-0" O.C. MAXIMUM SPACING WITH AT LEAST 2 BOLTS PER PLATE

11. INSTALL COLUMNS AT ALL LINTELS, BEAMS, HEADERS EQUAL TO THE WIDTH OF THE BEAM. ALL MEMBERS WITH SPANS LESS THAN 5 FOOT SHALL HAVE SINGLE JACK STUDS

12. ATTACH WALL AND ROOF SHEATHING TO FRAMING WITH 6d NAILS AT 12" O.C. INTERMEDIATE SUPPORTS AND 6" O.C. EDGE SUPPORTS

13. THE CONTRACTOR SHALL INSURE THAT ALL JADS AND REACTIONS FROM BEAMS, BEARING WALLS, COLUMNS, ETC ARE CONTINUOUSLY SUPPORTED TO THE FOUNDATION

14. ALL FLOOR SHEATHING SHALL BE A MINIMUM 3/4" TONGUE AND GROOVE SHEATHING GLUED AND NAILED AT 6" O.C. WITH 8d NAILS

15. TAPERED END CUTS SHALL MEET MANUFACTURES REQUIREMENTS

16. NOTCHING OF PREFABRICATED LUMBER SHALL NOT BE PERMITTED. WEB HOLES SHALL BE IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS

CONSTRUCTION NOTES:

1. CONTRACTOR AND SUBCONTRACTORS SHALL CONTRACT WITH SURVEYOR TO VERIFY PROJECT ELEVATIONS AND BENCHMARK ELEVATIONS PRIOR TO CONSTRUCTION. "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH VERTICAL AND HORIZONTAL ALIGNMENT.

ALL EARTHEN GRADES SHALL BE GRADED TO 3" (V) X 12" (H) SLOPES.

2. ANY EXISTING UTILITIES REQUIRING DAMAGE OR UNDERCUT BY CONTRACTOR'S OPERATIONS SHALL BE REPAVED OR REPLACED AS DIRECTED AND APPROVED BY THE RESPECTED UTILITY AT THE CONTRACTOR'S EXPENSE.

3. THE CONTRACTOR SHALL PROTECT EXISTING GRASS, LANDSCAPING AND TREES NOT IN DIRECT LINE OF SIGHT OF THE CONSTRUCTION ACTIVITIES DURING CONSTRUCTION.

4. GRASSED AREA DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY CONTRACTOR WITH TOPSOIL AND SODDING AT THE CONTRACTOR'S EXPENSE.

5. CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR CONSTRUCTION AND SHALL NOTIFY THE APPROPRIATE LOCAL, STATE, FEDERAL OR UTILITY AGENCIES AFFECTED BY CONSTRUCTION PRIOR TO STARTING CONSTRUCTION.

6. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR ALL SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY. THE CONTRACTOR SHALL NOT BE HELD LIABLE FOR ANY DAMAGE TO EXISTING PROPERTY OR TO THE PROPERTY OF OTHERS. THE CONTRACTOR SHALL NOT BE HELD LIABLE FOR ANY DAMAGE TO EXISTING PROPERTY OR TO THE PROPERTY OF OTHERS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER HARMLESS FROM ANY LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

7. WHERE CONTRACTOR IS IN THE NEIGHBORHOOD OF AN EXISTING UTILITY, THE CONTRACTOR WILL TAKE PRECAUTIONS TO PROTECT AND/OR SUPPORT THE UTILITY AND ANY DAMAGE THAT MIGHT OCCUR SHALL BE REPAVED IMMEDIATELY. IF AT ANY TIME DURING THE CONSTRUCTION OPERATIONS A SEWER LINE HAS LESS THAN THREE (3) FEET OF COVER, IT SHALL BE ENCASED OR SADDLED WITH CONCRETE.

8. ALL GUTTERING CUT BEHIND PROPOSED SIDEWALKS AND PARKING OR STREET PAVEMENT AREAS SHALL BE BACKFILLED IN 8' UFTS. COMPACTED TO 95% IS SUBJECT TO DENSITY TESTING.

9. REFER TO ARCHITECTURAL PLANS FOR ALL FENCE LOCATIONS AND DETAILS AS INFORMATION NOT BEING PROVIDED BY THE CIVIL ENGINEER.

ADDITIONAL FRAMING NOTES:

1. Framing contractor to install temporary wind bracing while main structure frame is being constructed

2. Contractor to use 2" x 6" strong-backs for roof rafter purlins, set a top load bearing walls beneath

3. Contractor to install 2" x 6" wall blocking @ upper kitchen cabinet area

NOTE:
ALL RAFTERS 2X6 @ 16" O.C. UNLESS NOTED
OTHERWISE (SEE PLAN) ALL HIP, VALLEY & RIDGE 2X8

NOTE:
FRAMER TO INSTALL CRICKETS AND DIVERTERS AS NEEDED TO PREVENT WATER TRAPS, MINIMUM ROOF PITCH IS 1:12

AND BELT CARRIERS

5. EXPOSED WOOD BOTTOM PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS. FOUNDATION WALLS SHALL HAVE A MINIMUM DEPTH OF 7 INCHES INTO CONCRETE. BOLT SPACING SHALL BE A MAXIMUM OF 6 FEET ON CENTER, WITH ONE BOLT LOCATED NO MORE THAN 12 INCHES FROM EACH END. A NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT OF THE PLATE.

6. ATTACH STUDS TOP AND BOTTOM PLATES WITH MIN. OF (4) 12d NAILS.

DESIGN CRITERIA NOTES

1. THE INTENDED DESIGN STANDARDS (LATEST EDITION) AND/OR CRITERIA ARE AS FOLLOWS:

GENERAL INTERNATIONAL RESIDENTIAL BUILDING CODE EDITION 2024

2. DESIGN LOADS

DEAD LOADS

SHINGLE ROOF.....20 PSF

WALL.....6 PSF

FLOOR.....12 PSF

LIVE LOADS

ROOF.....20 PSF

FLOOR.....40 PSF

ATTIC.....10 PSF

3. WIND LOAD: 115 mph APPLIED PER IBC -IRC = CATEGORY II

1.0 EXPOSURE "B"

4. SEISMIC: SEISMIC CATEGORY "A"

ROUGH CARPENTRY NOTES

1. ALL WOOD FRAMING MATERIAL SHALL BE SURFACE DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT. ALL FRAMING HEADER SHALL BE #2 SYP OR BETTER

2. ALL LOAD BEARING PARTITIONS SHALL RECEIVE A DOUBLE 2X TOP PLATE AND LAPPED AT CORNERS

3. ALL PARTITIONS SHALL BE BRACED ON THE TOP AT INTERVALS NOT EXCEEDING 6 FEET ON CENTER

4. ALL MULTIPLE GIRDERS, BEAMS AND JOIST SHALL BE GANG NAILLED

5. ALL FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE MASONRY SHALL BE SURFACE DRY

6. PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWNS ANCHORS AND OTHER ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG TIE OR APPROVED EQUAL

7. PREFABRICATED LVS, GULAMS, PSI, HEADERS AND BEAMS SHALL BE MANUFACTURED BY APPROVED CORP OR EQUAL. MINIMUM BENDING STRESSES SHALL BE AS FOLLOWS:

LVS.....2,600 PSI

PSL.....2,600 PSI

GULAMS.....2,400 PSI

8. ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS AND OTHER HARDWARE EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED

9. INSTALL ALL BLOCKING NECESSARY FOR ATTACHING ALL FINISHES, GYPSUM WALLBOARD, CABINERY, ETC.

10. ATTACH WOOD PLATES TO FOUNDATIONS WITH 1/2" ANCHOR BOLTS AT 4'-0" O.C. MAXIMUM SPACING WITH AT LEAST 2 BOLTS PER PLATE

11. INSTALL COLUMNS AT ALL LINTELS, BEAMS, HEADERS EQUAL TO THE WIDTH OF THE BEAM. ALL MEMBERS WITH SPANS LESS THAN 5 FOOT SHALL HAVE SINGLE JACK STUDS

12. ATTACH WALL AND ROOF SHEATHING TO FRAMING WITH 6d NAILS AT 12" O.C. INTERMEDIATE SUPPORTS AND 6" O.C. EDGE SUPPORTS

13. THE CONTRACTOR SHALL INSURE THAT ALL JADS AND REACTIONS FROM BEAMS, BEARING WALLS, COLUMNS, ETC ARE CONTINUOUSLY SUPPORTED TO THE FOUNDATION

14. ALL FLOOR SHEATHING SHALL BE A MINIMUM 3/4" TONGUE AND GROOVE SHEATHING GLUED AND NAILED AT 6" O.C. WITH 8d NAILS

15. TAPERED END CUTS SHALL MEET MANUFACTURES REQUIREMENTS

16. NOTCHING OF PREFABRICATED LUMBER SHALL NOT BE PERMITTED. WEB HOLES SHALL BE IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS

CONSTRUCTION NOTES:

1. CONTRACTOR AND SUBCONTRACTORS SHALL CONTRACT WITH SURVEYOR TO VERIFY PROJECT ELEVATIONS AND BENCHMARK ELEVATIONS PRIOR TO CONSTRUCTION. "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH VERTICAL AND HORIZONTAL ALIGNMENT.

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3. THE CONTRACTOR SHALL PROTECT EXISTING GRASS, LANDSCAPING AND TREES NOT IN DIRECT LINE OF SIGHT OF THE CONSTRUCTION ACTIVITIES DURING CONSTRUCTION.

4. GRASSED AREA DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY CONTRACTOR WITH TOPSOIL AND SODDING AT THE CONTRACTOR'S EXPENSE.

5. CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR CONSTRUCTION AND SHALL NOTIFY THE APPROPRIATE LOCAL, STATE, FEDERAL OR UTILITY AGENCIES AFFECTED BY CONSTRUCTION PRIOR TO STARTING CONSTRUCTION.

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7. WHERE CONTRACTOR IS IN THE NEIGHBORHOOD OF AN EXISTING UTILITY, THE CONTRACTOR WILL TAKE PRECAUTIONS TO PROTECT AND/OR SUPPORT THE UTILITY AND ANY DAMAGE THAT MIGHT OCCUR SHALL BE REPAVED IMMEDIATELY. IF AT ANY TIME DURING THE CONSTRUCTION OPERATIONS A SEWER LINE HAS LESS THAN THREE (3) FEET OF COVER, IT SHALL BE ENCASED OR SADDLED WITH CONCRETE.

8. ALL GUTTERING CUT BEHIND PROPOSED SIDEWALKS AND PARKING OR STREET PAVEMENT AREAS SHALL BE BACKFILLED IN 8' UFTS. COMPACTED TO 95% IS SUBJECT TO DENSITY TESTING.

9. REFER TO ARCHITECTURAL PLANS FOR ALL FENCE LOCATIONS AND DETAILS AS INFORMATION NOT BEING PROVIDED BY THE CIVIL ENGINEER.

ADDITIONAL FRAMING NOTES:

1. Framing contractor to install temporary wind bracing while main structure frame is being constructed

2. Contractor to use 2" x 6" strong-backs for roof rafter purlins, set a top load bearing walls beneath

3. Contractor to install 2" x 6" wall blocking @ upper kitchen cabinet area

2024IRC (International Residential Code) TABLE R802.4.1 (1)
RAFTER SPANS FOR COMMON LUMBER SPECIES

(Roof live load = 20 psf, ceiling not attached to rafters, $L/A = 180$)

FRAMING NOTES (UNLESS NOTED OTHERWISE):

1. JOIST SPANS BASED ON SOUTHERN YELLOW PINE SPAN TABLES (12'-15'9")

2. OWNER OR BUILDER WILL VERIFY ALL SPANS WITH TABLE OR ENGINEER

3. STUDS TO BE 2X4's @ 16" O.C. #2 SYP BLOCKING AT MID SPANS FOR WALLS GREATER THAN 9' HIGH

4. ALL BEAMS, JOIST, RAFTERS AND HEADERS TO BE DIRECTIONALLY BRACED WITH 1X4 LET-IN AT EACH END AND A 25 MAX SPACING BETWEEN WALL ENDS. ALL FIRST FLOOR PLATES TO BE PRESSURE TREATED LUMBER.

5. ALL BEAMS, JOIST, RAFTERS AND HEADERS TO BE #2 SYP

6. ATTACH STUDS TOP AND BOTTOM PLATES WITH MIN. OF (4) 12d NAILS.

7. ROOF FRAMING:

1. THE MAXIMUM UNSUPPORTED SPAN FOR 2X6 RAFTER

2. RAFTER SPAN BASED ON SOUTHERN YELLOW PINE SPAN TABLES (12'-15'9")

3. OWNER OR BUILDER WILL VERIFY ALL SPANS WITH TABLE OR ENGINEER

4. STUDS TO BE 2X4's @ 16" O.C. #2 SYP BLOCKING AT MID SPANS FOR WALLS GREATER THAN 9' HIGH

5. ALL BEAMS, JOIST, RAFTERS AND HEADERS TO BE DIRECTIONALLY BRACED WITH 1X4 LET-IN AT EACH END AND A 25 MAX SPACING BETWEEN WALL ENDS. ALL FIRST FLOOR PLATES TO BE PRESSURE TREATED LUMBER.

6. ATTACH STUDS TOP AND BOTTOM PLATES WITH MIN. OF (4) 12d NAILS.

FALL WALL NOTES
 1. ALL STUDS TO BE MIN. 2x4 #2 SYP OR SP2
 2. SINGLE BOTTOM PLATE, DOUBLE TOP PLATE
 3. ATTACH STUDS TO FRAMING W/ MIN. (8) 12d NAILS IN EACH END
 4. ALL STUDS TO BE CONTINUOUS EXCEPT JACK AND CRIPPLE STUDS ABOVE
 AND BELOW OPENINGS
 5. EXTERIOR WALL BOTTOM PLATES SHALL BE ANCHORED TO THE
 FOUNDATION WITH 3 ANCHOR BOLTS. STUDS SHALL HAVE A MINIMUM DEPTH OF 7
 INCHES INTO CONCRETE. BOLT SPACING SHALL BE A MAXIMUM OF 6 FEET
 ON CENTER, WITH ONE BOLT LOCATED NO MORE THAN 12 INCHES FROM
 EACH END. A NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT OF
 THE PLATE.
 6. ATTACH STUDS TOP AND BOTTOM PLATES WITH MIN. OF (4) 12d NAILS.

DESIGN CRITERIA NOTES
 1. THE INTENDED DESIGN STANDARDS (LATEST EDITION) AND/OR CRITERIA ARE AS FOLLOWS:
 GENERAL INTERNATIONAL RESIDENTIAL BUILDING CODE EDITION 2024

2. DESIGN LOADS
 DEAD LOADS:
 SHINGLE ROOF: 20 PSF
 WALL: 6 PSF
 FLOOR: 12 PSF
 LIVE LOADS:
 ROOF: 20 PSF
 FLOOR: 40 PSF
 ATTIC: 10 PSF

3. WIND LOAD: 115 mph APPLIED PER IBC -IRC = CATEGORY II

1.0 EXPOSURE "B"

4. SEISMIC: SEISMIC CATEGORY "A"

ROUGH CARPENTRY NOTES

1. ALL WOOD FRAMING MATERIAL SHALL BE SURFACE DRY AND USED AT 19% MAXIMUM
 MOISTURE CONTENT. ALL FRAMING LUMBER SHALL BE #2 SYP OR BETTER

2. ALL LOAD BEARING PARTITIONS SHALL RECEIVE A DOUBLE 2X TOP PLATE AND LAPPED AT CORNERS

3. ALL PARTITIONS SHALL BE BRACED ON THE TOP AT INTERVALS NOT EXCEEDING 6 FEET ON CENTER

4. ALL MULTIPLE GIRDERS, BEAMS AND JOIST SHALL BE GANNAILED

5. ALL FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE MASONRY
 SHALL BE PRESURE TREATED

6. PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWNS ANCHORS AND OTHER ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG TIE OR APPROVED EQUAL

7. PREFABRICATE LVL'S, GULAMS, PSI, HEADERS AND BEAMS SHALL BE MANUFACTURED BY APPROVED CORP OR EQUAL. MINIMUM BENDING STRESSES SHALL BE AS FOLLOWS:

LVL'S = 2,800 PSI

PSL'S = 2,800 PSI

GULAMS = 2,400 PSI

8. ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS AND OTHER HARDWARE EXPOSED
 TO WEATHER SHALL BE HOT DIPPED GALVANIZED

9. INSTALL ALL BLOCKING NECESSARY FOR ATTACHING ALL FINISHES, GYPSUM WALLBOARD,
 CABINETRY, ETC

10. ATTACH WOOD PLATES TO FOUNDATIONS WITH 1/2" ANCHOR BOLTS AT 4'-0" O.C.
 MAXIMUM SPACING WITH AT LEAST 2 BOLTS PER PLATE

11. INSTALL COLUMNS AT ALL LINTELS, BEAMS, HEADERS EQUAL TO THE WIDTH OF THE BEAM
 ALL MEMBERS WITH SPANS LESS THAN 3 FOOT SHALL HAVE SINGLE JACK STUDS

12. ATTACH WALL AND ROOF SHEATHING TO FRAMING WITH 8d NAILS AT 12 O.C. INTERMEDIATE
 SUPPORTS AND 6" O.C. EDGE SUPPORTS

13. THE CONTRACTOR SHALL INSURE THAT ALL LOADS AND REACTIONS FROM BEAMS, BEARING
 WALLS, COLUMNS, ETC ARE CONTINUOUSLY SUPPORTED TO THE FOUNDATION

14. ALL FLOOR SHEATHING SHALL BE A MINIMUM 3/4" TONGUE AND GROOVE SHEATHING GLUED
 AND NAILED AT 6" O.C. WITH 8d NAILS

15. TAPERED END CUTS SHALL MEET MANUFACTURES REQUIREMENTS

16. NOTCHING OF PREFABRICATE LUMBER SHALL NOT BE PERMITTED. WEB HOLES SHALL BE IN
 ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS

CONSTRUCTION NOTES:

1. CONTRACTOR AND SUBCONTRACTORS SHALL CONTRACT WITH SURVEYOR TO VERIFY
 PROJECT ELEVATIONS AND BENCHMARK ELEVATIONS PRIOR TO CONSTRUCTION. "MATCH
 EXISTING" SHALL BE UNQUOTE. NO SCUFFING BOTH VERTICAL AND HORIZONTAL ALIGNMENT.
 ALL LUMBER SHALL BE GRADED AND SAWN TO SIZE AS SHOWN

2. ANY EXISTING IMPROVEMENT OR UTILITY REMOVED, DAMAGED OR UNDERCUT BY
 CONTRACTORS OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED AND APPROVED
 BY THE RESPECTED UTILITY OR THE CONTRACTORS EXPENSE.

3. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES, LANDSCAPING AND TREES NOT IN
 DIRECT CONFLICT WITH PROPOSED IMPROVEMENTS DURING CONSTRUCTION.

4. GRASSED AREA DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE
 CONTRACTOR WITH TOPSOIL AND SODDING AT THE CONTRACTORS EXPENSE.

5. CONTRACTOR SHALL SECURE PERMITS REQUIRED FOR CONSTRUCTION AND SHALL
 NOTIFY ALL RESPECTIVE GOVERNMENTAL OR UTILITY AGENCIES AFFECTED BY CONSTRUCTION
 PRIOR TO STARTING CONSTRUCTION.

6. CONTRACTOR AGREES THAT HE SHALL ASSUME FULL AND COMPLETE RESPONSIBILITY FOR
 JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF
 ALL PERSONNEL PROPERTY AND EQUIPMENT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NO
 TO BE LIMITED TO NORMAL WORKING HOURS. AND THE CONTRACTOR SHALL DEFEND,
 INDEMNIFY AND HOLD THE OWNER HARMLESS FROM ANY LIABILITY ARISING FROM SOLE
 NEGLIGENCE OF OWNER OR ENGINEER.

7. WHERE CONSTRUCTION OCCURS ON AN EXISTING UTILITY, THE CONTRACTOR
 WILL TAKE PRECAUTIONS TO PROTECT AND/OR SUPPORT THE UTILITY AND ANY DAMAGE THAT
 MIGHT OCCUR SHALL BE REPAIRED IMMEDIATELY. IF AT ANY TIME DURING THE CONSTRUCTION
 OPERATIONS A SERVICE LINE HAS LESS THAN THREE (3) FEET OF COVERAGE IT SHALL BE ENCASED
 OR SHIELDED IN CONCRETE OR OTHER APPROPRIATE MATERIAL.

8. ALL TRENCHES CUT BEHIND PROPOSED SIDEWALKS AND PARKING OR STREET PAVEMENT
 AREAS SHALL BE BACKFILLED IN 8' LIFTS, COMPACTED TO 95% BE SUBJECT TO DENSITY
 TESTING. AND CONCRETE PAVING.

9. RESIDENTIAL ARCHITECTURAL PLANS FOR ALL FENCE LOCATIONS AND DETAILS AS
 INFORMATION NOT BEING PROVIDED BY THE CIVIL ENGINEER.

ADDITIONAL FRAMING NOTES:

1. Framing contractor to install temporary wind bracing while main structure frame is being constructed

2. Contractor to use 2x6 strong-backs for roof rafter purlins, set a top load bearing walls beneath

3. Contractor to install 2x6 wall blocking @ upper kitchen cabinet area

2024 IRC (International Residential Code) TABLE R802.5.1 (1)
CEILING JOIST SPANS FOR COMMON LUMBER SPECIES

(Uninhabitable attics without storage, live load = 10 psf, L/Δ = 240)

5. EXTERIOR WALL BOTTOM PLATES SHALL BE ANCHORED TO THE
 FOUNDATION WITH 3 ANCHOR BOLTS. STUDS SHALL HAVE A MINIMUM DEPTH OF 7
 INCHES INTO CONCRETE. BOLT SPACING SHALL BE A MAXIMUM OF 6 FEET
 ON CENTER, WITH ONE BOLT LOCATED NO MORE THAN 12 INCHES FROM
 EACH END. A NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT OF
 THE PLATE.

6. ATTACH STUDS TOP AND BOTTOM PLATES WITH MIN. OF (4) 12d NAILS.

DESIGN CRITERIA NOTES

1. THE INTENDED DESIGN STANDARDS (LATEST EDITION) AND/OR CRITERIA ARE AS FOLLOWS:
 GENERAL INTERNATIONAL RESIDENTIAL BUILDING CODE EDITION 2024

2. DESIGN LOADS

DEAD LOADS:

SHINGLE ROOF: 20 PSF

WALL: 6 PSF

FLOOR: 12 PSF

LIVE LOADS:

ROOF: 20 PSF

FLOOR: 40 PSF

ATTIC: 10 PSF

WATER:

1.0 EXPOSURE "B"

4. SEISMIC: SEISMIC CATEGORY "A"

ROUGH CARPENTRY NOTES

1. ALL WOOD FRAMING MATERIAL SHALL BE SURFACE DRY AND USED AT 19% MAXIMUM
 MOISTURE CONTENT. ALL FRAMING LUMBER SHALL BE #2 SYP OR BETTER

2. ALL LOAD BEARING PARTITIONS SHALL RECEIVE A DOUBLE 2X TOP PLATE AND LAPPED AT CORNERS

3. ALL PARTITIONS SHALL BE BRACED ON THE TOP AT INTERVALS NOT EXCEEDING 6 FEET ON CENTER

4. ALL MULTIPLE GIRDERS, BEAMS AND JOIST SHALL BE GANNAILED

5. ALL FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE MASONRY
 SHALL BE PRESURE TREATED

6. PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWNS ANCHORS AND OTHER ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG TIE OR APPROVED EQUAL

7. PREFABRICATE LVL'S, GULAMS, PSI, HEADERS AND BEAMS SHALL BE MANUFACTURED BY APPROVED CORP OR EQUAL. MINIMUM BENDING STRESSES SHALL BE AS FOLLOWS:

ROOF: 20 PSF

WALL: 7/16" O.C. S.P. (EXPOSURE 1)

ALL JOIST FRAMING TO BE SUPPORTED BY SIMPSON U JOIST METAL HANGERS. UNLESS OTHERWISE

5. ALL BEAMS FRAMING TO WALLS SHALL BE SUPPORTED BY A MINIMUM OF 2X24 OR 2X36 STUDS.

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