

GENERAL NOTES

- A. THE OWNER'S BUSINESSES WILL REMAIN OPEN DURING THE WORK OF THIS PROJECT. COORDINATE SEQUENCE OF DEMOLITION AND NEW CONSTRUCTION WORK AND SITE ACCESS POINTS WITH OWNER'S REPRESENTATIVE. SEQUENCE ALL DEMOLITION AND CONSTRUCTION ACTIVITIES TO MINIMIZE INCONVENIENCE TO THE OWNER, OWNER'S CUSTOMERS, AND THE GENERAL PUBLIC.
- B. DOCUMENTATION OF EXISTING CONDITIONS IS DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND BRING TO THE ARCHITECT'S ATTENTION ANY SIGNIFICANT VARIANCE IN EXISTING CONDITIONS ILLUSTRATED BEFORE PROCEEDING WITH DEMOLITION OR CONSTRUCTION ACTIVITIES.
- C. SELECTIVE DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND ILLUSTRATE ONLY THE GENERAL SCOPE OF WORK TO BE DEMOLISHED. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF WORK REQUIRED.
- D. CAREFULLY PROTECT EXISTING ADJACENT CONSTRUCTION AND NATURAL FEATURES DURING DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.
- E. PATCH AND REPAIR EXISTING ADJACENT CONSTRUCTION AND NATURAL FEATURES TO REMAIN ADJOINING DEMOLISHED OR NEW CONSTRUCTION WORK.

KEYNOTES

1. REMOVE EXISTING WOOD FRAME STEPS, METAL HANDRAILS, AND METAL GUARDRAIL
2. REMOVE EXISTING FOLDING WOOD AND GLASS WALL / STORE AS DIRECTED BY OWNER'S REPRESENTATIVE FOR OWNER'S FUTURE USE
3. REMOVE DOOR JAMB
4. REMOVE EXISTING PLASTIC FLOOR DECKING / WOOD SUB-STRUCTURE TO REMAIN
5. REMOVE THIS PORTION OF DECK AND SUB-STRUCTURE IN ITS ENTIRETY / MODIFY EXISTING SUB-STRUCTURE IF AND AS REQUIRED
6. REMOVE PORTION OF EXISTING DRAINPIPE AND RE-ROUTE PER NEW CONSTRUCTION PLAN / COORDINATE WITH ARCHITECT
7. EXISTING MATURE TREE TO REMAIN / PROTECT
8. REMOVE AND RE-INSTALL EXISTING METAL HANDRAILS IN LINE WITH RAILS ABOVE / REPAIR OR REPLACE FLOOR TILES WHERE RAILS ARE REMOVED
9. SAW-CUT AND REMOVE PORTION OF EXISTING CONCRETE STAIR STRUCTURE
10. EXISTING LOW STONE CURB TO REMAIN
11. REMOVE PORTION OF EXISTING LOW STONE WALL
12. REMOVE PORTION OF EXISTING LOW STONE CURB
13. MODIFY EXISTING FLAGSTONE IF AND AS REQUIRED FOR LEVEL SURFACE AT 1'-2" ABOVE THE ADJACENT RIVER WALK
14. EXISTING LOW STONE WALL TO REMAIN

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revisions

CAFE OLÉ  
REMODELING

SAN ANTONIO RIVER WALK

RIVER RESTAURANTS LTD.

project number  
23-05  
date  
07.28.23

drawn by  
JR  
checked by  
MB

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sheet number

A1

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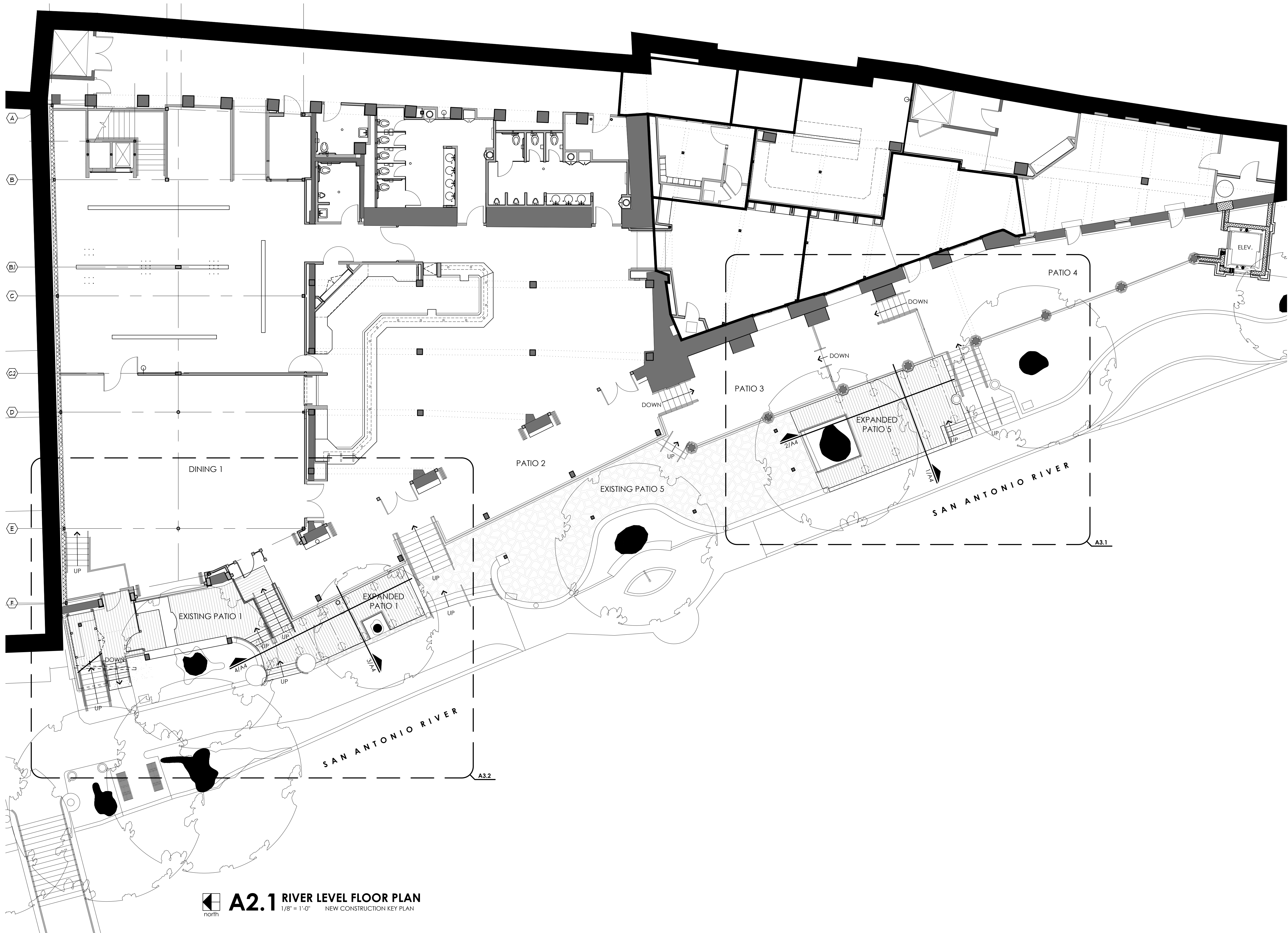
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A1.1 RIVER LEVEL FLOOR PLAN

1/8" = 1'-0"

EXISTING CONDITIONS & SELECTIVE DEMOLITION



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  - PATCH AND REPAIR EXISTING ADJACENT CONSTRUCTION AND NATURAL FEATURES TO REMAIN ADJOINING DEMOLISHED OR NEW CONSTRUCTION WORK.

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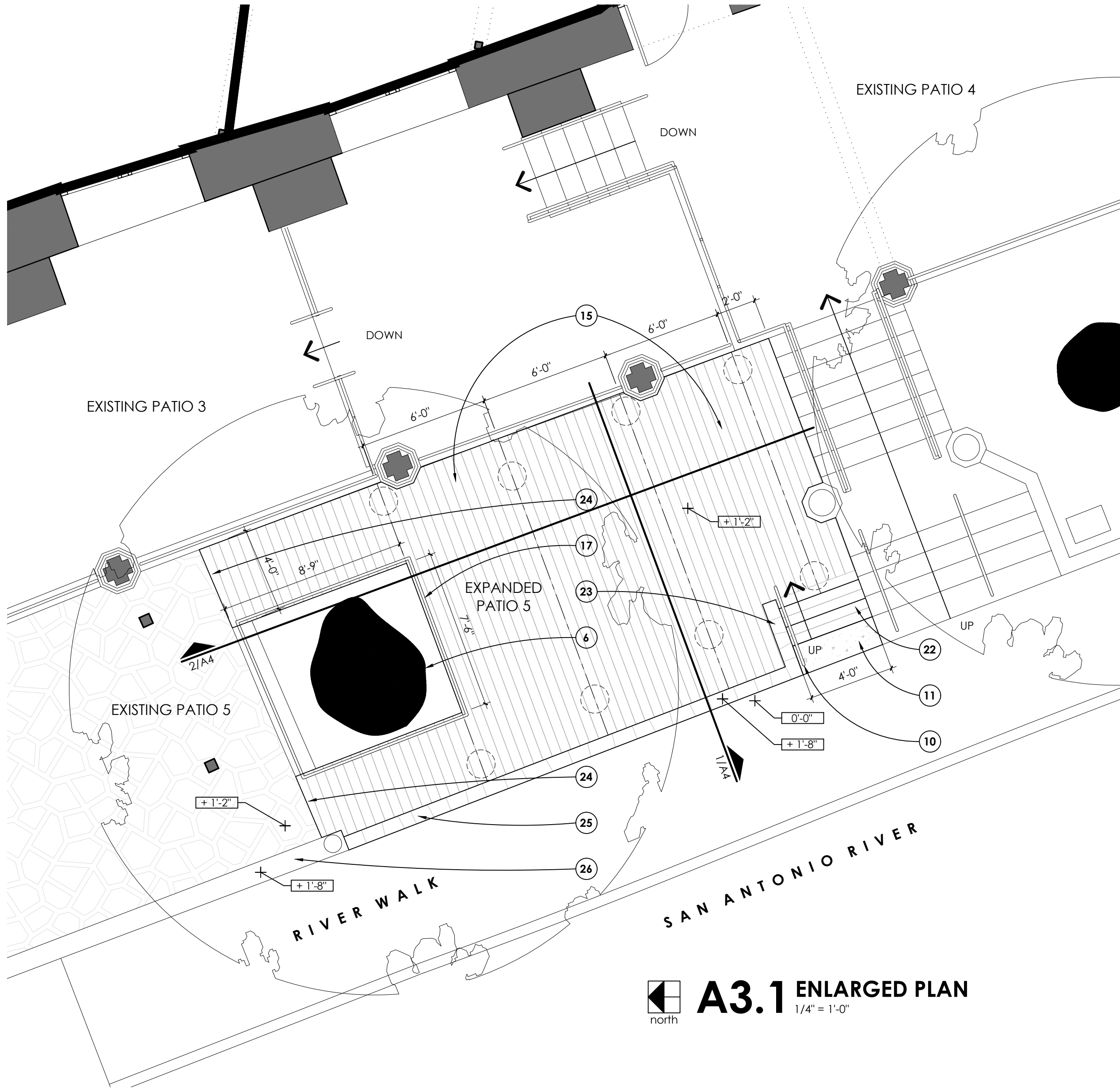
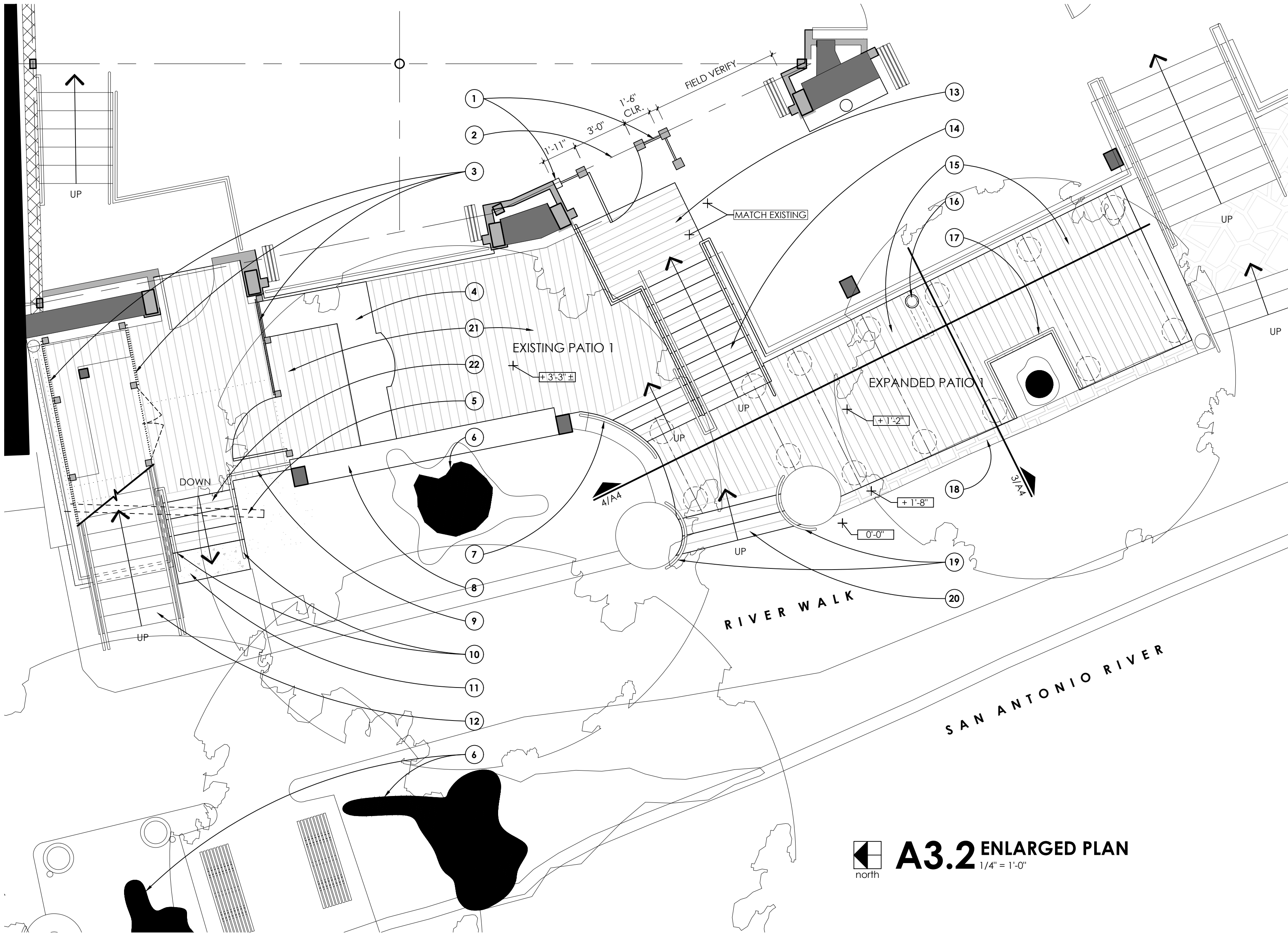
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**A2**





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## KEYNOTES

- NEW STAINED WOOD AND FIXED GLASS SIDELITES / MATCH EXISTING ADJACENT CONSTRUCTION
- NEW STAINED WOOD AND GLASS DOOR / MATCH EXISTING ADJACENT
- NEW PERFORATED METAL PANELS IN METAL FRAMES SUPPORTED BY 4X4 STEEL TUBE COLUMNS ATTACHED TO STEEL STAIR STRUCTURE AT THE TOP AND BOLTED TO FLOOR DECK AT THE BOTTOM / PAINT ALL METAL ALL SIDES
- STAINLESS STEEL FACED OUTDOOR BAR FABRICATED AND INSTALLED BY OWNER
- RE-ROUTE EXISTING PVC DRAIN PIPE UNDER STAIRS AND DISCHARGE INTO BULL ROCK PLACED IN EXISTING PLANTER
- EXISTING TREE TO REMAIN / PROTECT
- NEW STEEL HANDRAIL MOUNTED TO TOP OF EXISTING LOW STONE WALL / PAINT
- NEW STAINLESS STEEL FACED COUNTER MOUNTED TO EXISTING GUARDRAIL SYSTEM
- NEW STEEL GUARDRAIL TO MATCH EXISTING ADJACENT / PAINT
- NEW STEEL HANDRAILS / PAINT
- NEW 5" REINFORCED CONCRETE WALK TO CONNECT EXISTING WALKWAY TO STEPS
- EXISTING STEEL STAIR TO REMAIN
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) LANDING WITH CONCEALED CLIP MOUNTING SYSTEM OVER TREATED WOOD FRAMING / SET FLUSH WITH ADJOINING CONCRETE PATIO
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) TREADS AND RISERS WITH CONCEALED CLIP MOUNTING SYSTEM OVER 4 TREATED 2X WOOD STRINGERS / 8 EQUAL TREADS AT 11 1/2"± AND 9 EQUAL RISERS
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) DECK WITH CONCEALED CLIP MOUNTING SYSTEM OVER TREATED WOOD FRAMING / DECK BOARDS TO BE FULL LENGTH

- WITH NO JOINTS
- EXISTING ROOF DRAIN TO REMAIN / COORDINATE DECK FRAMING TO CLEAR DRAIN DISCHARGE
- STEEL CHAIR RAIL / PAINT
- TOOTH IN LIMESTONE TO MATCH EXISTING TO RAISE HEIGHT OF EXISTING LOW STONE WALL TO 1'-8" ABOVE THE RIVER WALK ADJACENT
- NEW STEEL HANDRAILS CURVED AROUND EXISTING CIRCULAR LOW STONE COLUMNS / PAINT RAILS
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) TREADS AND RISERS WITH CONCEALED CLIP MOUNTING SYSTEM OVER 4 TREATED 2X WOOD STRINGERS / 2 EQUAL TREADS AT 11 1/2"± AND 3 EQUAL RISERS / PROVIDE 4/6 X 6 UNFINISHED GARAPA WOOD EDGER AT EDGE OF DECK
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) DECK WITH CONCEALED CLIP MOUNTING SYSTEM OVER EXISTING TREATED WOOD FRAMING / DECK BOARDS TO BE FULL LENGTH WITH NO JOINTS
- NEW 5/4 X 6 (1" X 5-1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) TREADS AND RISERS WITH CONCEALED CLIP MOUNTING SYSTEM OVER 3 TREATED 2X WOOD STRINGERS / 3 EQUAL TREADS AT 11 1/2"± AND 4 EQUAL RISERS / PROVIDE 4/6 X 6 UNFINISHED GARAPA WOOD EDGER AT EDGE OF DECK
- RETURN LOW STONE WALL AT STEPS
- DECK STRUCTURE TO BEAR ON EXISTING LOW STONE WALL SUB-STRUCTURE / COORDINATE WITH ARCHITECT
- ADD 2 COURSES OF ROUGHLY SQUARED LIMESTONE BLOCKS IN RANDOM RUNNING BOND TO MATCH EXISTING TO RAISE TOP OF WALL FROM 8" ABOVE RIVER WALK TO 1'-8" ABOVE RIVER WALK
- EXISTING LOW STONE WALL TO REMAIN

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## CAFE OLÉ REMODELING

SAN ANTONIO RIVER WALK

RIVER RESTAURANTS LTD.

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**BEATY PALMER ARCHITECTS**



CONSTRUCTION DRAWINGS ORGANIZATION

A. **ARCHITECTURAL DRAWINGS SHEET NUMBERING:** Architectural drawings are numbered in the lower right hand corner of each sheet by Section:

A2  
(Indicates Section A2).

B. **ARCHITECTURAL DRAWING NUMBERING:** Architectural drawings are numbered sequentially (1,2,3, etc.)on each sheet within the Section:

26 View Name  
1/8" = 1'-0" 1 ADDITIONAL INFO  
(Indicates the 26th drawing on this sheet).

C. **ARCHITECTURAL DRAWING KEYS:** Architectural drawings are keyed by Number and Sheet, as follows: 2/A3.4 (Indicates the 2nd drawing on sheet A3.4.)

The following keying symbols may be used:

This symbol is a key to an Elevation drawing. The arrow points in the direction of the view for the elevation.

This symbol is a key to a Section taken along the straight line of the symbol. The arrow points in the direction of the view for the symbol.

This symbol is a key to a Detail of the area within the callout

D. **ARCHITECTURAL "NORTH ARROW" SYMBOLS:** Two North Arrow symbols may be utilized on Architectural drawings.

This symbol denotes "true" (magnetic) north

This symbol denotes "project" north. The arrow points in the direction closest to true north that is parallel/perpendicular to the building/project.

E. **ARCHITECTURAL NOTES:** Three types of notation may be utilized on architectural drawings:

GENERAL NOTES describe general information regarding the project work related to the drawings of a particular sheet. General notes are labeled alphabetically (A, B, C, etc.) on each sheet.

KEYNOTES describe specific items on the drawings of a particular sheet. Keynotes are listed numerically (1, 2, 3, etc.) in a column and correspond to keyed symbols on the appropriate drawing of a particular sheet, as in the example below. Keynote numbering is specific to each sheet; a given keynote number may or may not reference the same item on different sheets.

4

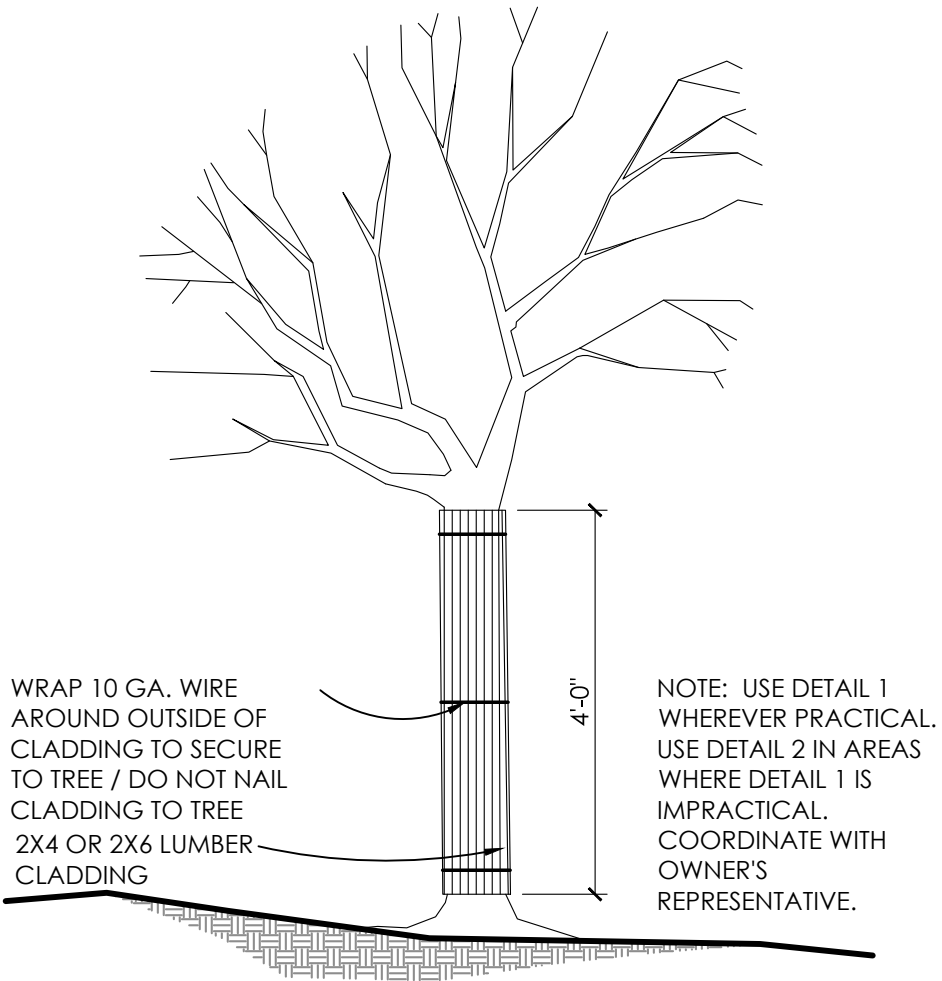
PLASTIC LAMINATE

F. **DIMENSIONS:**

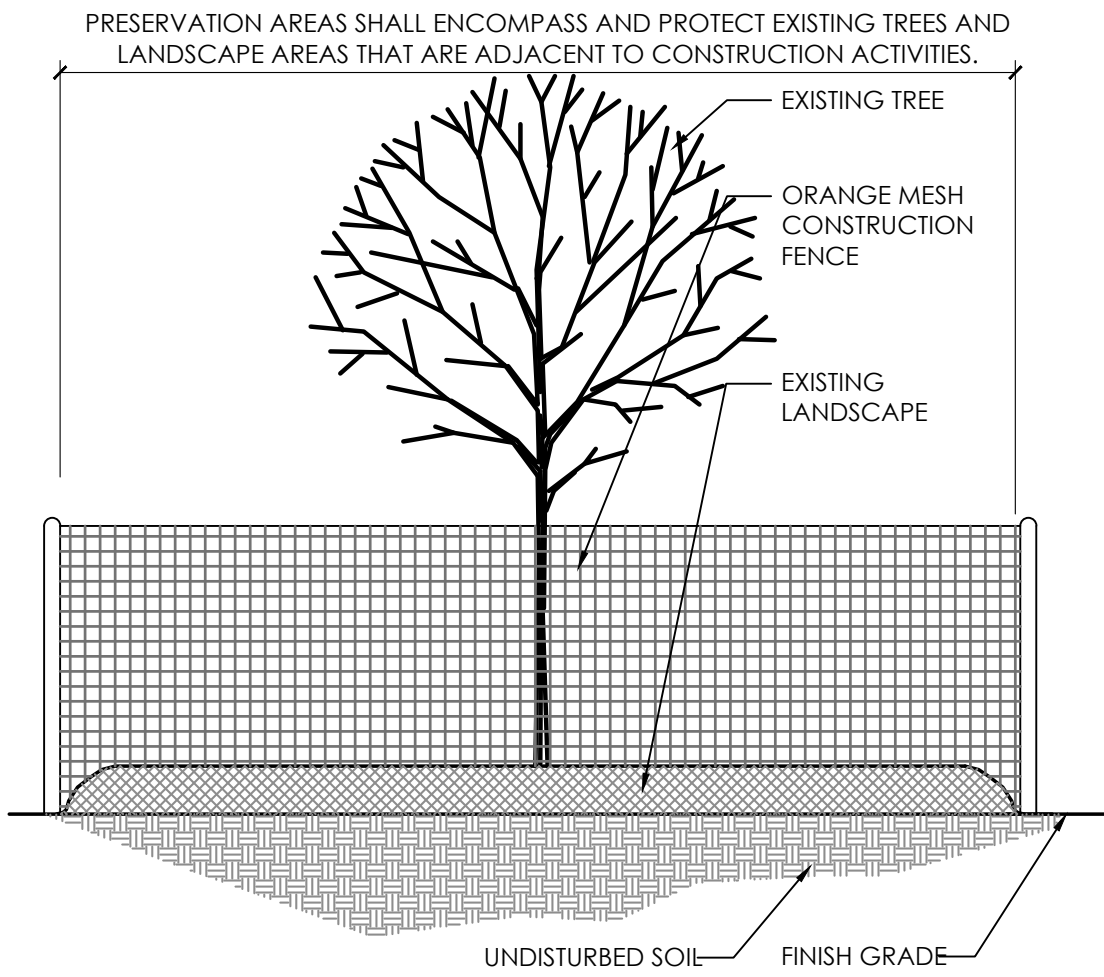
1. PLAN DIMENSIONS are to face of wall finish or face of masonry, unless specifically noted otherwise.
2. SECTION/DETAIL/CABINETWORK DIMENSIONS are actual finish dimensions, unless specifically noted otherwise.
3. INTERIOR ELEVATION DIMENSIONS are nominal and assume a level floor condition. Run all horizontal reveals and trim level and all vertical reveals plumb.

LANDSCAPE & TREE PRESERVATION NOTES

1. ALL EXISTING TREES SHALL BE PRESERVED AND PROTECTED AT THE ROOT PROTECTION ZONE (RPZ). THE RPZ SHALL BE DETERMINED BY THE TREE SIZE (ONE FT. RADIUS FROM TRUNK FOR EVERY 1" DIAMETER OF TRUNK). THE RPZ ON ANY SIDE OF THE TREE SHALL NOT BE LESS THAN FIVE FEET. IF THE SIZE FOR THE TREE REQUIRES AN RPZ GREATER THAN FIVE FEET, THE TOTAL SQUARE FOOT AREA OF THE RPZ SHALL BE EXTENDED IN A DIRECTION THAT EQUALS THE REQUIRED SQUARE FOOT AREA OF THE RPZ.
2. ORANGE MESH CONSTRUCTION FENCE BARRIER SHALL BE ERECTED AROUND THE PRESERVED AREA AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED.
3. THE PRESERVED AREA SHALL BE FREE FROM PEDESTRIAN, VEHICULAR OR MECHANICAL TRAFFIC. NO FILL, EQUIPMENT, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED INSIDE THE PRESERVED AREA.
4. ANY DAMAGE DONE TO THE EXISTING TREE BRANCHES OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY. ALL WOUNDS SHALL BE PAINTED WITH PRUNING PAINT WITHIN 30 MINUTES AFTER DAMAGE TO PREVENT THE SPREAD OF OAK WILT DISEASE. ROOTS SEVERED DURING CONSTRUCTION OPERATIONS SHALL BE CUT CLEANLY.
5. THE FINAL FINISHED GRADE AND ELEVATION FOR LAND WITHIN THE RPZ SHALL NOT BE RAISED OR LOWERED MORE THAN THREE INCHES. WELLING AND RETAINING METHODS ARE ALLOWED OUTSIDE THE RPZ. SEE LANDSCAPE PLANS FOR ANY RETAINING WALL LOCATIONS AND/OR FINAL CONTOUR ADJUSTMENTS.
6. ANY CONSTRUCTION ACTIVITIES THAT ARE PERFORMED WITHIN THE PRESERVED AREA, SUCH AS TRENCHING OR SIDEWALK INSTALLATION SHALL BE DONE BY HAND.
7. IF CONSTRUCTION ACTIVITIES ARE IMMEDIATELY ADJACENT TO TREE(S) AND FENCING IS NOT PRACTICAL, INSTALL 2"X4" LUMBER CLADDING AROUND TRUNK OF TREE.



2 LANDSCAPE AND TREE PRESERVATION DETAIL  
1/2" = 1'-0" LUMBER CLADDING

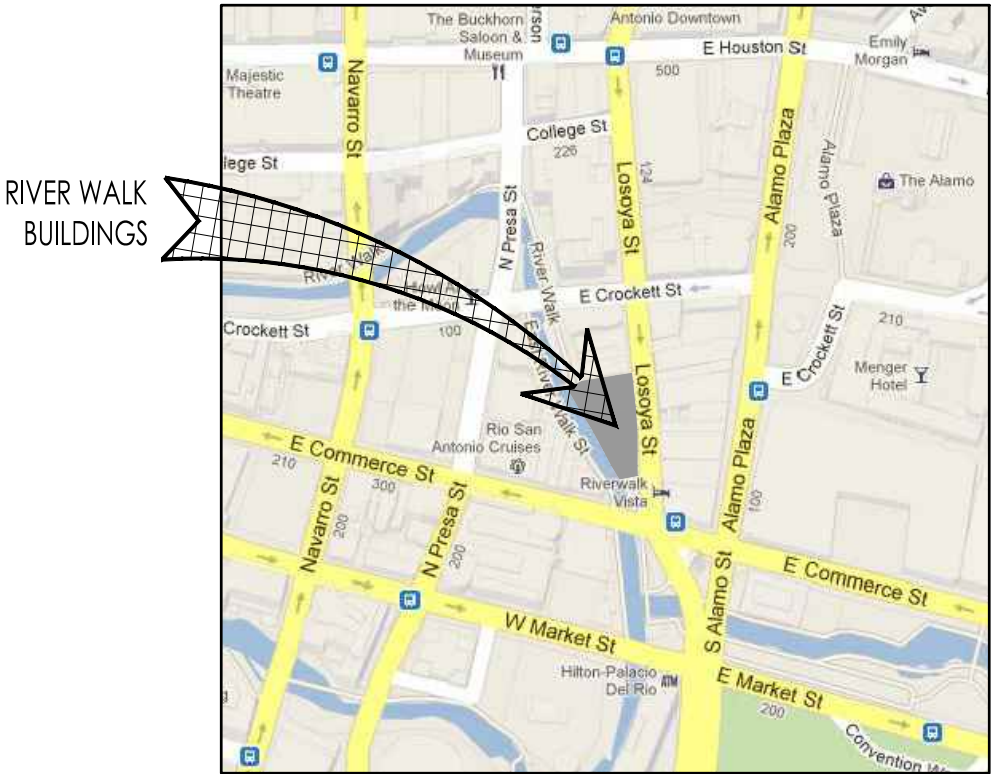


1 LANDSCAPE AND TREE PRESERVATION DETAIL  
1/2" = 1'-0" FENCING

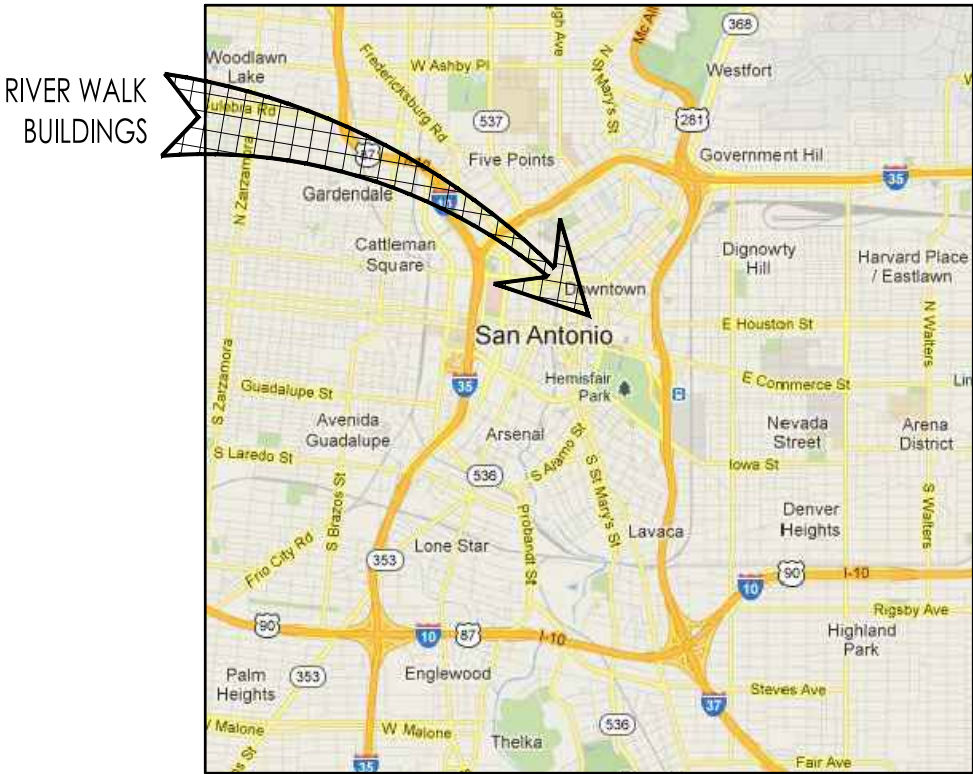
INDEX OF DRAWINGS

ARCHITECTURAL

A0	INDEX OF DRAWINGS
A1	RIVER LEVEL FLOOR PLAN - EXISTING CONDITIONS / SELECTIVE DEMOLITION
A2	RIVER LEVEL FLOOR PLAN - NEW CONSTRUCTION KEY PLAN
A3	ENLARGED PLANS - NEW CONSTRUCTION
A4	SECTIONS / ELEVATIONS



**LOCATION MAP**  
N.T.S.



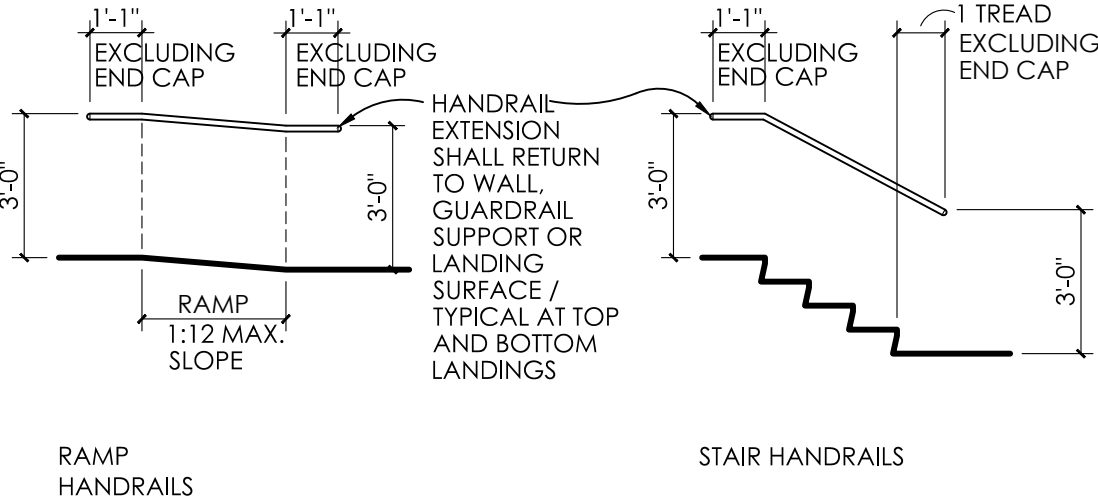
**VICINITY MAP**  
N.T.S.

ACCESSIBILITY STANDARDS

All aspects of this project shall comply with the 2012 TEXAS ACCESSIBILITY STANDARDS of the Elimination of Architectural Barriers Texas Government Code, Chapter 469. Administered by the Texas Department of Licensing and Regulation Effective March 15, 2012, including but not limited to the following:

ACCESSIBILITY STANDARDS GENERAL NOTES

1. ALL HANDRAILS MUST HOLD 250 LBS
2. WALK CROSS SLOPES SHALL NOT EXCEED 2%
3. RAMPS SHALL NOT EXCEED 1/12 SLOPE
4. RAMP LANDING SHALL NOT EXCEED 2% SLOPE IN EITHER DIRECTION
5. WALKS IN DIRECTION OF TRAVEL SHALL BE LESS THAN 5% SLOPE



RAMP HANDRAILS      STAIR HANDRAILS

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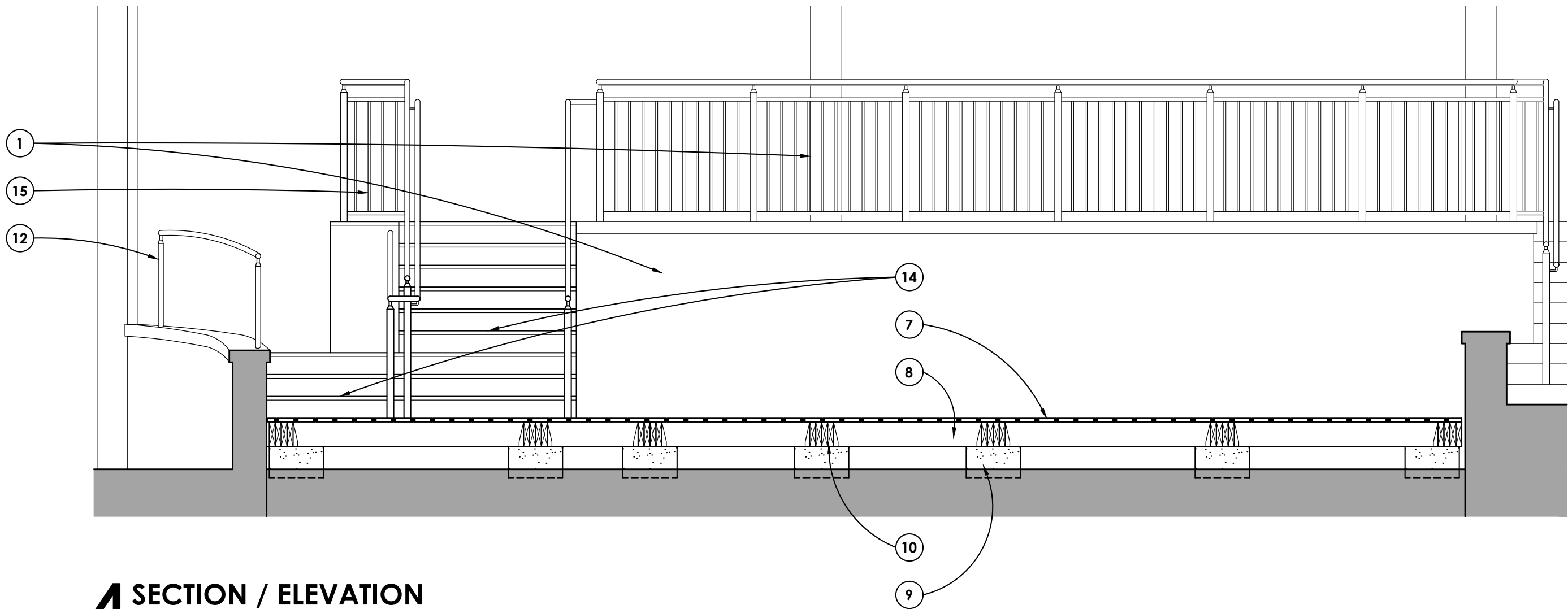
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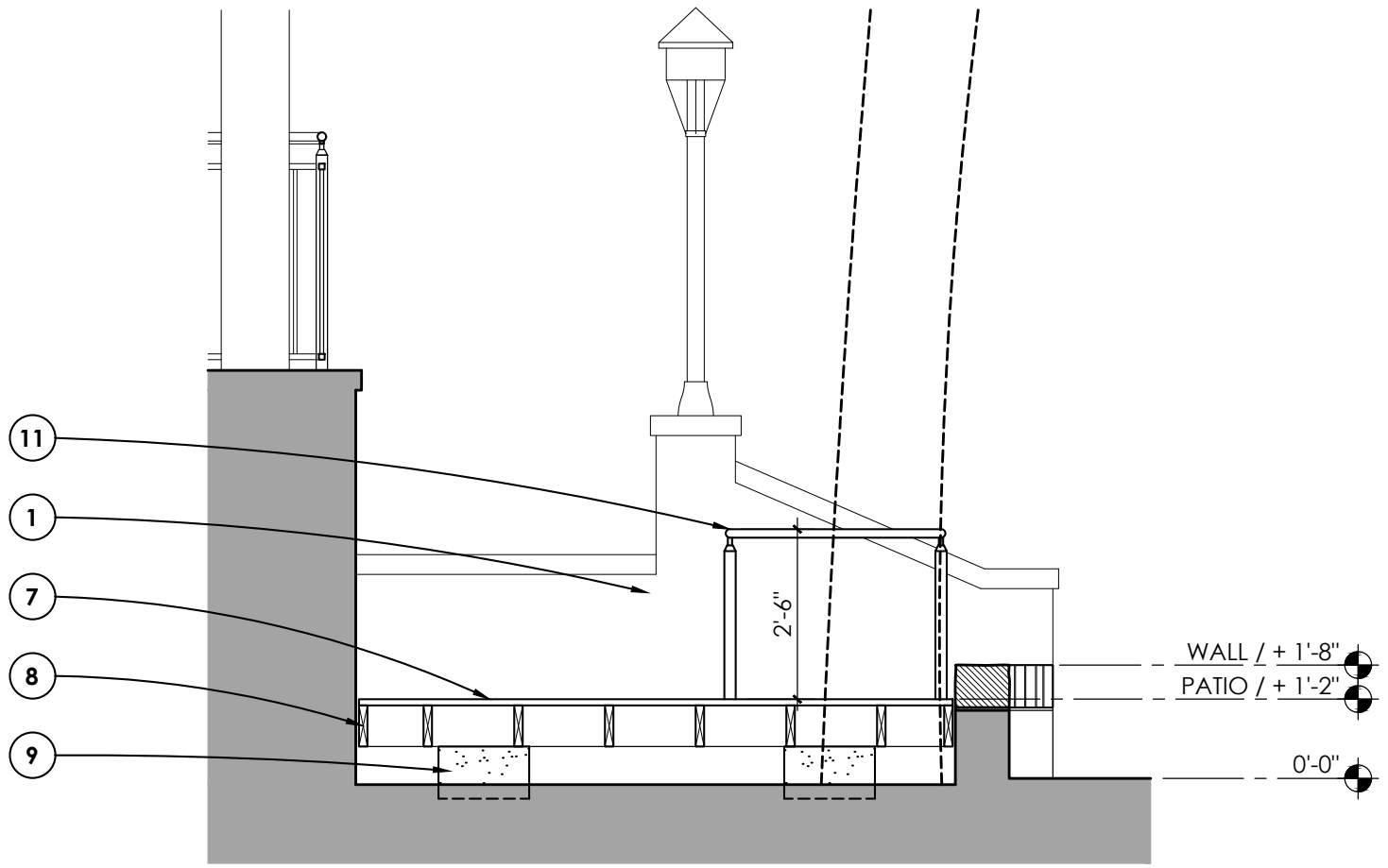
BEATY PALMER ARCHITECTS

KEYNOTES

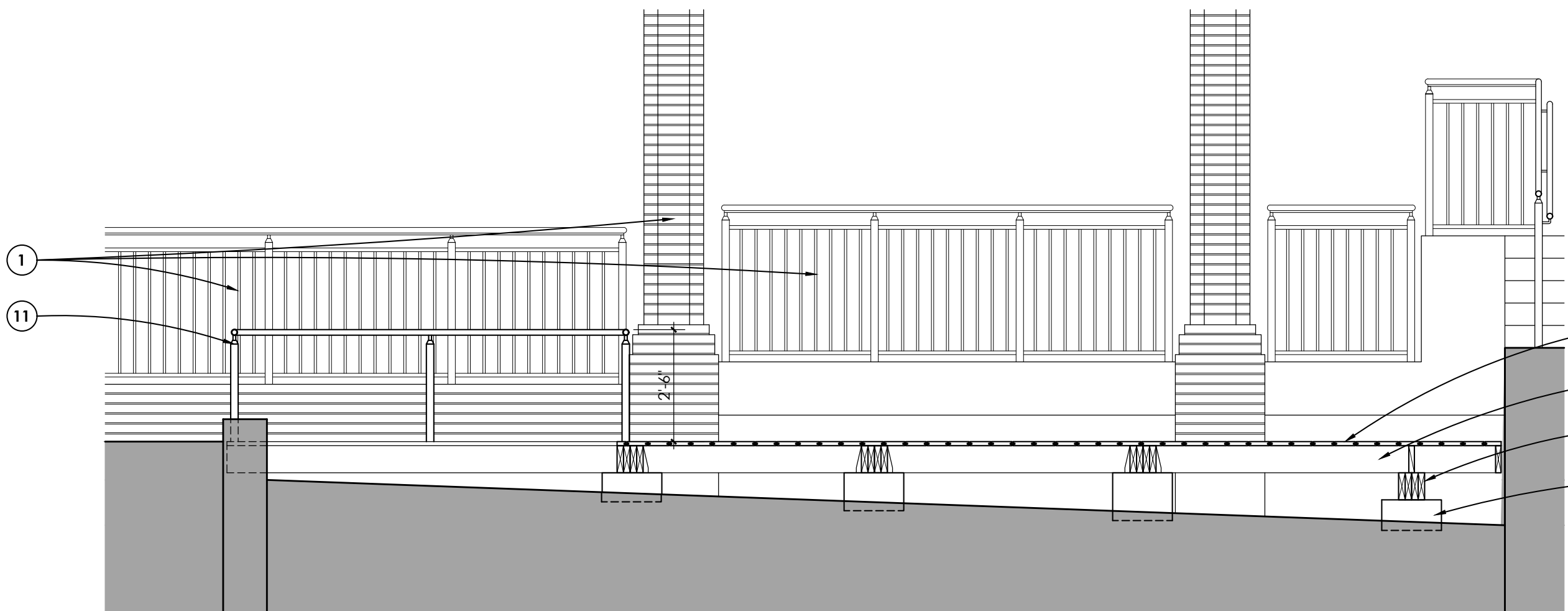
1. EXISTING CONSTRUCTION TO REMAIN/ PROTECT
2. EXISTING HANDRAIL RELOCATED/ RE-PAINT
3. NEW METAL HANDRAIL/ PAINT
4. ADD 2 COURSES OF ROUGHLY SQUARED LIMESTONE BLOCKS IN RANDOM RUNNING BOND TO MATCH EXISTING TO RAISE TOP OF WALL FROM 8" ABOVE RIVER WALK TO 1'-8" ABOVE RIVER WALK
5. EXISTING LIMESTONE CURB TO REMAIN
6. PERFORATED METAL PANEL IN METAL EDGE FRAMING TO COVER OPENING BETWEEN NEW DECK AND OPEN SPACE UNDER EXISTING STAIR/ PAINT BOTH SIDES
7. 5/4 X 6 (1" X 5 1/2") UNFINISHED GARAPA WOOD (BRAZILIAN ASH) DECK WITH CONCEALED CLIP MOUNTING SYSTEM/ DECK BOARDS TO BE FULL LENGTH WITH NO END JOINTS
8. 2 X 8 TREATED WOOD JOISTS AT 16" O.C.
9. REINFORCED CONCRETE SPOT FOOTING
10. FOUR 1 3/4" X 7 1/2" MICROLAM BEAMS/ TYPICAL
11. METAL CHAIR RAIL/ PAINT
12. NEW METAL HANDRAIL MOUNTED ON EXISTING LOW STONE WALL/ PAINT
13. NEW METAL GUARDRAIL ASSEMBLY TO MATCH EXISTING/ PAINT
14. NEW GARAPA WOOD TREADS AND RISERS ON TREATED WOOD STRINGERS



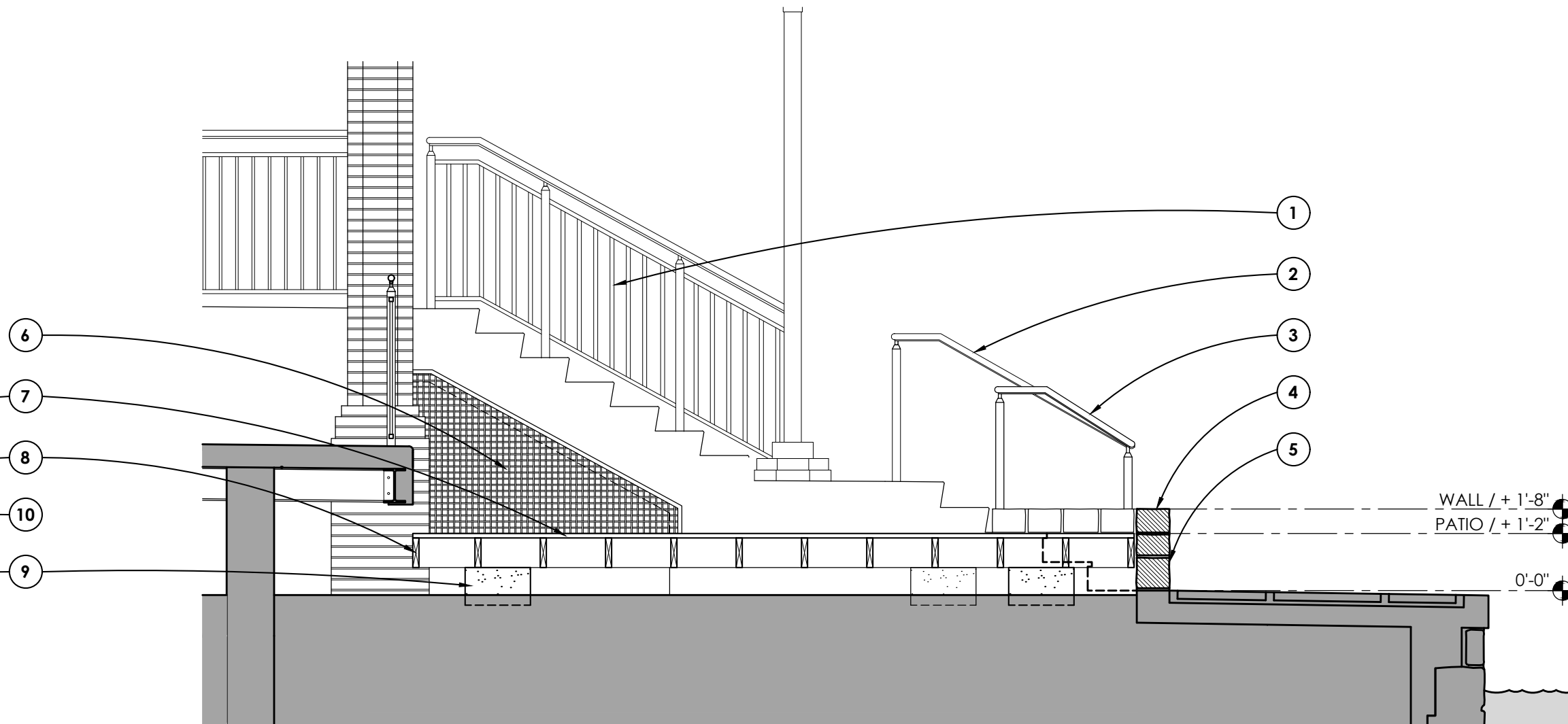
4 SECTION / ELEVATION  
3/8" = 1'-0" EXPANDED PATIO 1



3 SECTION / ELEVATION  
3/8" = 1'-0" EXPANDED PATIO 1



2 SECTION / ELEVATION  
3/8" = 1'-0" EXPANDED PATIO 5



1 SECTION / ELEVATION  
3/8" = 1'-0" EXPANDED PATIO 5

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