

HISTORIC AND DESIGN REVIEW COMMISSION

May 06, 2026

HDRC CASE NO: 2026-114
ADDRESS: 731 N PALMETTO
LEGAL DESCRIPTION: NCB 1665 BLK 1 LOT 1
ZONING: R-4, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Gaspar Rivera
OWNER: Alex Shwartzman/USHKO INC
TYPE OF WORK: Construction of two, 2-story, single-family residential structures
APPLICATION RECEIVED: April 20, 2026
60-DAY REVIEW: June 19, 2026
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct two, 2-story, single-family residential structures on the vacant lot at 731 N Palmetto, located within the Dignowity Hill Historic District. This lot is located at the corner of N Palmetto and Burnet. One structure will be oriented towards Burnet, while the other will be oriented towards N Palmetto.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

i. Setbacks—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

ii. Orientation—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

i. Orientation—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

i. Similar height and scale—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

ii. Transitions—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

iii. Foundation and floor heights—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

i. Similar roof forms—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential building types are more typically flat and screened by an ornamental parapet wall.

ii. *Façade configuration*—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. *Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. *Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

4. Architectural Details

A. GENERAL

i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district.

Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

Standard Specifications for Windows in Additions and New Construction

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.

- **DEPTH:** There should be a minimum of 2” in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer’s color is not allowed and color selection must be presented to staff.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

A. PLANTINGS

- i. Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

- i. Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

D. TREES

- i. Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

- ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct two, 2-story, single-family residential structures on the vacant lot at 731 N Palmetto, located within the Dignowity Hill Historic District.
- b. **CONTEXT & DEVELOPMENT PATTERN** – This lot is currently void of any structures. This lot is located at the corner southwest corner of the intersection of N Palmetto and Burnet, and features an east-west orientation. Historic structures on the 700 block of N Palmetto each feature 1-story in height, while two on the 1100 block of Burnet feature 2-stories in height. The eastern boundary of the Dignowity Hill Historic District is approximately the center line of N Palmetto.
- c. **SETBACKS (Burnet Structure)** – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. The applicant has provided a setback diagram that notes a setback on Burnet that is less than the adjacent historic structure’s setbacks. Staff finds that an increased setback should be proposed that would result in new construction being located behind the adjacent, historic structures.
- d. **SETBACKS (N Palmetto Structure)** – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. The applicant has provided a setback diagram that notes a setback on N Palmetto that is greater than the adjacent historic structure’s setback to the south. The applicant has noted a side (north) setback for the proposed new construction that appears to be greater than the adjacent historic structure’s front setback (1122 Burnet). Generally, staff finds this to be appropriate.
- e. **SETBACKS** – While the applicant’s diagrams show setbacks that appear to be appropriate for the structure oriented towards N Palmetto, staff finds that a revised setback diagram should be provided that shows both proposed structures in context with each historic structure on both the south side of Burnet and the west side of N Palmetto. This diagram should include measurements for each structure.
- f. **ORIENTATION (Burnet Structure)** – The Guidelines for New Construction note that the orientation of new construction should be oriented consistently with the historic examples found within the district. The applicant has proposed to orient the proposed new construction on the western portion of the site towards Burnet. While this is consistent with the historic examples found on this block, staff finds that the structure’s massing (width) in relationship with its orientation is inconsistent with the historic examples found on the block.
- g. **ORIENTATION (N Palmetto Structure)** – The Guidelines for New Construction note that the orientation of new construction should be oriented consistently with the historic examples found within the district. The applicant has proposed to orient the structure on the eastern portion of the site towards N Palmetto. Generally, staff finds this orientation to be consistent with the historic examples on this block.
- h. **ENTRANCES** – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. The applicant has met Guidelines for entrance orientation.
- i. **SCALE & MASS** – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. The applicant has proposed heights of approximately twenty-six (26) and twenty-seven (27) feet in height for

both structures. Per the submitted application documents, adjacent structures feature heights of between sixteen (16) and eighteen (18) feet. Staff finds that additional information, including street elevations of both structures with context of adjacent, historic structures should be provided.

- j. SCALE & MASS (Burnet Structure) – The applicant has proposed an orientation for the structure that’s proposed at the western portion of the site that results in a front, street facing façade of over sixty (60) feet. Widths of houses fronting Burnet Street typically range between thirty-five (35) and fifty (50) feet. Staff finds the proposed width to be atypical in comparison to historic examples found on this block.
- k. FOUNDATION & FLOOR HEIGHTS – According to the Guidelines for New Construction 2.A.iii., foundation and floor heights should be aligned within one (1) foot of neighboring structure’s foundation and floor heights. The majority of the structures on the 700 block of N Palmetto and the 1100 block of Burnet feature foundation heights between two (2) and three (3) feet in height. The applicant has not noted foundation heights; however, per the submitted application documents, foundation heights appear minimal. Staff finds that foundation heights should be incorporated that are at least one (1) foot in height.
- l. ROOF FORM (Burnet Structure) – The applicant has proposed for the structure on the western portion of the lot to feature a side gabled roof. Side gabled roofs are found historically within the Dignowity Hill Historic District; however, staff finds the structure’s width in relationship with its roof profile fronting Burnet to be inconsistent with historic examples on this block.
- m. ROOF FORM (N Palmetto Structure) – The applicant has proposed for the structure on the eastern portion of the lot to feature a cross gabled roof. Staff finds the proposed roof form to be appropriate and consistent with the Guidelines and historic examples found within the Dignowity Hill Historic District.
- n. LOT COVERAGE – The applicant has not provided accurate building to lot information at this time. Staff finds that lot coverage should be consistent with the Guidelines; no more than fifty (50) percent of the lot area should be covered by building footprint. An updated site plan should be submitted for review that includes lot coverage information.
- o. MATERIALS – The applicant has proposed materials for both structures that include wood board and batten siding, wood horizontal siding, wood columns, limestone cladding, composition shingled roofs, and vinyl windows. Staff finds that the proposed board and batten siding should feature boards that are 12 inches wide with battens that are 1 ½ inch to 2 inches wide. Horizontal wood siding should feature an exposure consistent with historic examples found within the district; between four (4) and six (6) inches. Wood columns should be six (6) inches square with capital and base trim. Staff does not find the use of limestone cladding to be appropriate, as it is not found historically in the context of the historic development pattern of these blocks.
- p. WINDOW MATERIALS – The applicant has proposed to install vinyl windows. At this time, the applicant has not submitted a specific window product; however, the applicant has provided a detailed wall section noting how each window will be installed. Generally, staff finds this section to be appropriate and consistent with the standards for windows in new construction.
- q. WINDOW & DOOR OPENINGS (Burnet Structure) – Generally, the applicant has proposed window and door openings that are consistent with those found historically within the district; however, staff finds that additional fenestration should be added to the north, street facing façade. As currently proposed, the structure features large portions of unbroken wall plane.
- r. WINDOW & DOOR OPENINGS (N Palmetto Structure) – The applicant has proposed window and door openings that are generally consistent with those found historically within the district; however, staff finds that all square windows should feature divisions or be operable. Additionally, staff finds that fenestration should be added to the north and south facades as both facades feature large portions of unbroken wall plane.
- s. PORCH (Burnet Structure) – The applicant has proposed for the structure facing Burnet to feature a wraparound porch that doubles as a carport. Parking is not found historically within historic structures within the footprint of a residential structure. Additionally, porches within historic districts are prominent features of a structure’s primary façade, where they are full incorporated in the structure’s massing and circulation. Staff finds the porch for the proposed new construction to be inconsistent with historic examples found within the district. Staff finds the porch should be redesigned to feature porch massing that’s incorporated into the structure’s massing and that’s separated from vehicular parking.
- t. PORCH (N Palmetto Structure) – The applicant has proposed for the structure to feature porch massing that’s partially representative of massing that’s found historically within the district; however, the applicant has proposed a circulation element between the porch massing and the projecting gable mass. Traditionally, the porch massing would intersect the gable massing and include a side window or door. Staff finds that if the circulation element at the front porch is maintained, that it should feature a roof pitch that matches that of the side gable, and should feature side fenestration.

- u. ARCHITECTURAL DETAILS – As noted in the findings above, staff finds that the massing of the Burnet structure should be amended to reduce its width, and that fenestration should be added to both structures. Porch massing should be consistent with the historic examples found within the district. Additionally, staff finds that increased setbacks from Burnet should be incorporated into the proposed new construction.
- v. WALKWAYS – The applicant has proposed front walkways for both structures; however, for the Burnet structure, the applicant has proposed for the front walkway to connect the front porch to the driveway. The historic development pattern throughout the Dignowity Hill Historic District is for front walkways to connect the front porch to the sidewalk at the public right of way. Staff finds that both houses should feature front walkways that follow this pattern.
- w. DRIVEWAYS & PARKING – The applicant has proposed for each structure to feature a driveway providing vehicular access into the site from Burnet Street. The applicant has noted width of twelve (12) feet, and has proposed both driveways to lead to parking that is located within the footprint of the residential structure. The Guidelines for Site Elements note that driveways within historic districts should be limited to ten (10) feet in width. Parking within the footprint of a residential structure is not found historically within the Dignowity Hill Historic District. Staff finds that both driveways should be reduced in width to feature no more than ten (10) feet, and that parking should not be located within the structures' footprints.
- x. MECHANICAL EQUIPMENT – The applicant has not noted the location of mechanical equipment on site. The applicant is responsible for screening all mechanical equipment from view as noted in the Guidelines.
- y. LANDSCAPING – The applicant has not provided detailed landscaping documents at this time. Staff finds that detailed landscaping plans should be submitted to OHP staff for review and approval. All landscaping documents should be consistent with the Guidelines for Site Elements and the policy guide for xeriscaping.

RECOMMENDATION:

Staff does not recommend approval at this time based on findings a through y. Staff recommends the applicant address the following items prior to receiving a recommendation of approval from OHP staff.

- i. That the front setback of the structure proposed to front Burnet be increased to be greater than the adjacent, historic structure's setback (1122 Burnet), as noted in finding c.
- ii. That the overall massing (width) of the proposed Burnet structure be reduced to be consistent with front façade widths found historically within the district and on this block on Burnet, as noted in findings f and i.
- iii. That a street elevation of both Burnet and N Palmetto Streets be submitted to confirm that the proposed heights are appropriate, as noted in finding i.
- iv. That the applicant submits an updated site plan noting building to lot ratios and overall setbacks in relationship with existing structures on both blocks, as noted in findings e and n.
- v. That the proposed board and batten siding feature boards that are 12 inches wide with battens that are 1 ½ inch to 2 inches wide. Horizontal wood siding is to feature an exposure consistent with historic examples found within the district; between four (4) and six (6) inches. Wood columns are to be six (6) inches square with capital and base trim. The limestone cladding is to be eliminated, as this is not found historically in this context in the district.
- vi. That window product specifications be submitted to for review and approval. Window products shall comply with the adopted standards for windows in new construction, as noted in the applicable citations.
- vii. That fenestration be added to both structures, as noted in findings q and r.
- viii. That both porch structures be redesigned, as noted in findings s and t.
- ix. That both structures feature walkways that lead from the front porch to the sidewalk at the public right of way, as noted in finding w.
- x. That all parking be removed from being within the footprint of the residential structures, and that driveways feature no more than ten (10) feet in width, as noted in finding w.
- xi. That all mechanical equipment be screened from view from the public right of way.
- xii. That a detailed landscaping plan be submitted for review and approval, as noted in finding y. All landscaping documents should be consistent with the Guidelines for Site Elements and the policy guide for xeriscaping.



EagleViewImage
Captured: Jan 31, 2026





Palmetto St



N Palmetto St



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NOT HISTORIC

NOT HISTORIC

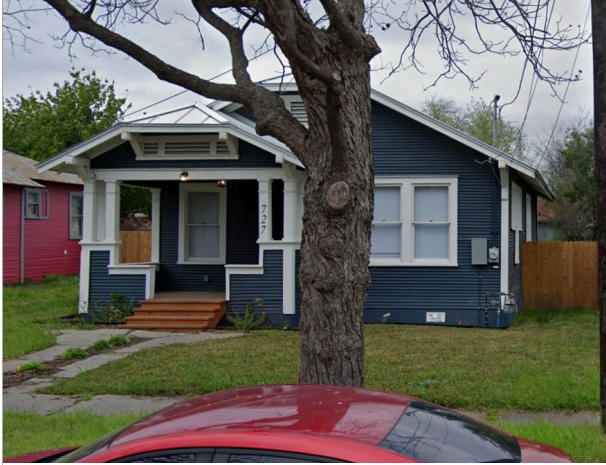


Address	1133 Burnet	Address	809 N Palmetto
Drive way location	Right Side on Palmetto	Drive way location	Right side
Parking location	Right Side on Palmetto	Parking location	Right Side
Entrance locatation	Front Porch	Entrance locatation	??
Building Height	16'	Building Height	??
Front Set Back	16'	Front Set Back	19'
Rear Setback	???	Rear Setback	25'
Left setback	13'	Left setback	???
Right setback	23'	Right setback	9'
Lot Size	6973 sqft	Lot Size	3920 sqft
Building Footprint	1278 sqft	Building Footprint	855 sqft



Address	817 N Palmetto
Drive way location	Right side
Parking location	Right Side
Entrance locatation	Front Porch
Building Height	18'
Front Set Back	15'
Rear Setback	75'
Left setback	11'
Right setback	11'
Lot Size	7152 sqft
Building Footprint	1066 sqft

Address	729 N Palmetto
Drive way location	Left Side
Parking location	Left Side
Entrance locatation	Front Porch
Building Height	18'
Front Set Back	19'
Rear Setback	70'
Left setback	12'
Right setback	10'
Lot Size	8045 sqft
Building Footprint	1090 sqft



Address	727 N Palmetto
Drive way location	Left side
Parking location	Left side
Entrance locatation	Front Porch
Building Height	16'
Front Set Back	18'
Rear Setback	70'
Left setback	15'
Right setback	5'
Lot Size	6098 sqft
Building Footprint	1018 sqft

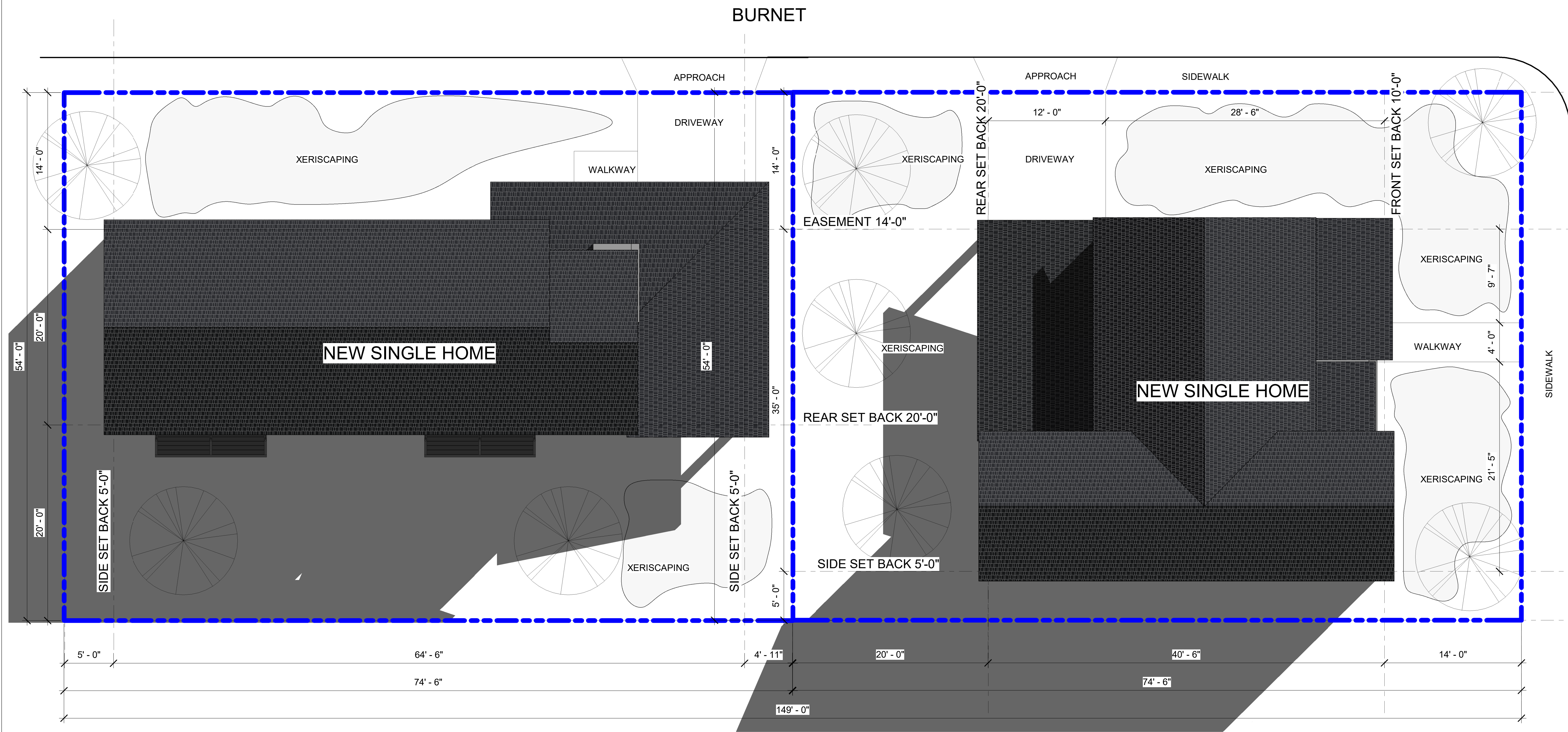
Address	719 N Palmetto
Drive way location	Left Side
Parking location	Left Side
Entrance locatation	Front Porch
Building Height	16'
Front Set Back	19'
Rear Setback	70'
Left setback	12'
Right setback	8'
Lot Size	8045 sqft
Building Footprint	1236 sqft



Address	1122 Burnet
Drive way location	Left side
Parking location	Left side
Entry Location	Front porch
Building Height	18'
Front Set Back	10'
Rear Setback	120'
Left setback	9'
Right setback	4'
Lot Size	0.25 acre
Building Footprint	1938 sqft

Address	731 N Palmetto
Drive way location	Back Side on Burnet
Parking location	Back Side on Burnet
Entry Location	Front Porch
Building Height	25'
Front Set Back	14'
Rear Setback	20'
Left setback	5'
Right setback	14'
Lot Size	4023 sqft
Building Footprint	1065 sqft

Not for construction
for review only



Structural Consultant:
Name: Villareal Design Group, LLC
Address:
Phone: 210 726 6100
e-mail: Jose@VillarealDesing.com

MEP Consultant:
Name:
Address:
Phone:
e-mail:

LANDSCAPE Consultant:
Name:
Address:
Phone:
e-mail:

CIVIL Consultant:
Name:
Address:
Phone:
e-mail:

PALMETTO

USHKO INC

**PALMETTO
SINGLE HOMES**

731 N PALMETTO AVE,
SAN ANTONIO, TX 78202

SITE PLAN

A102.2

① Site
3/16" = 1'-0"

Project number	Project Number
Date	Issue Date
Exported	4/22/2026 6:39:49 PM
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Checked by	OAV

Not for construction
for review only

Structural Consultant:
Name: Villareal Design Group, LLC
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MEP Consultant:
Name:
Address:
Phone:
e-mail:

LANDSCAPE Consultant:
Name:
Address:
Phone:
e-mail:

CIVIL Consultant:
Name:
Address:
Phone:
e-mail:

USHKO INC

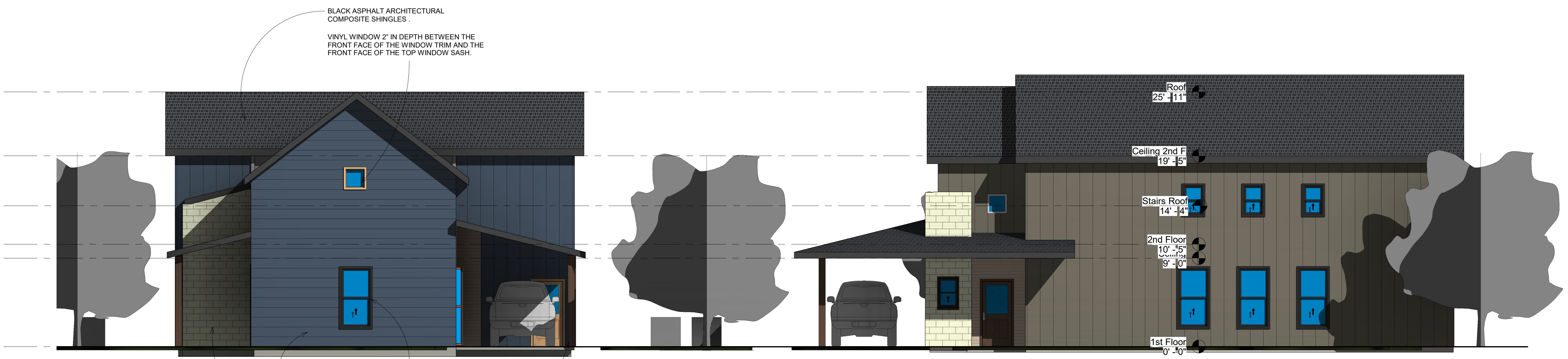
**PALMETTO
SINGLE HOMES**

731 N PALMETTO AVE,
SAN ANTONIO, TX 78202

ELEVATIONS

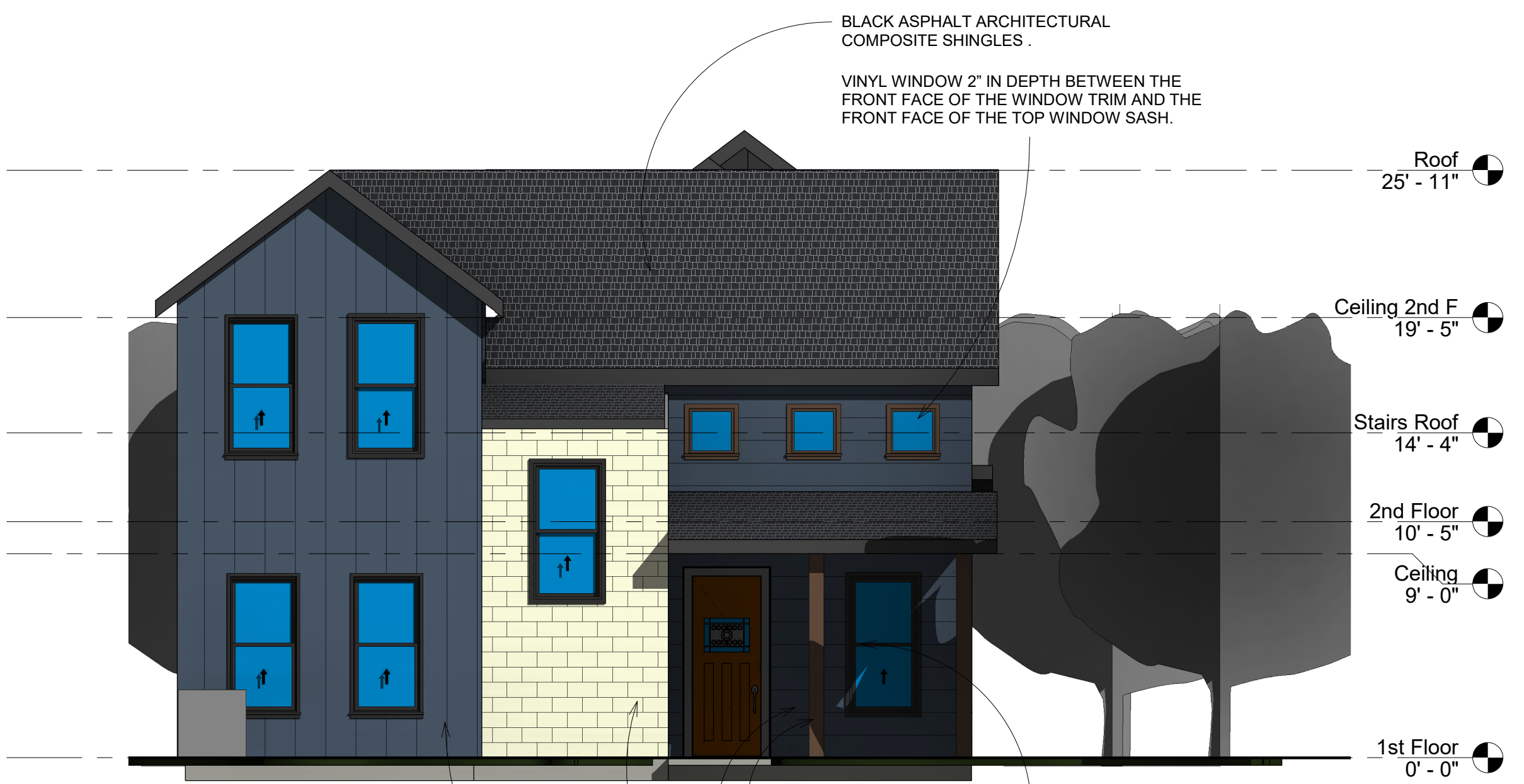
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Project number	Project Number
Date	Issue Date
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Checked by	OAV



① North
3/16" = 1'-0"

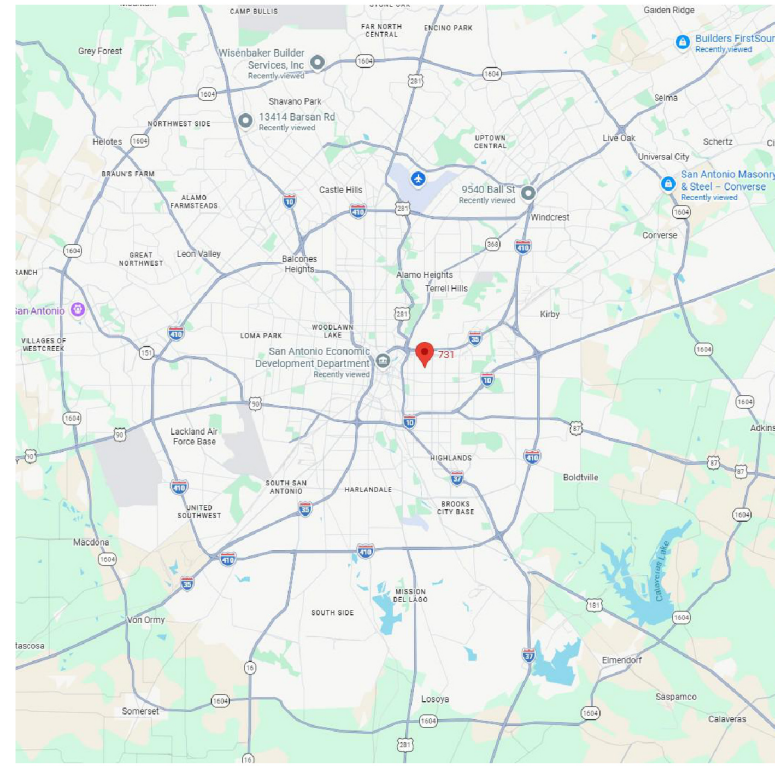
VINYL WINDOW 2" IN DEPTH BETWEEN THE FRONT FACE OF THE WINDOW TRIM AND THE FRONT FACE OF THE TOP WINDOW SASH.
SOLID WOOD COLUMNS
SOLID WOOD HORIZONTAL LAP SIDING
LIMESTONE AS USED IN THE NEIGHBORHOOD AND APPROVED BY THE SAN ANTONIO HISTORIC AND DESIGN REVIEW COMMISSION (HDRC) AND THE OFFICE OF HISTORIC PRESERVATION (OHP)



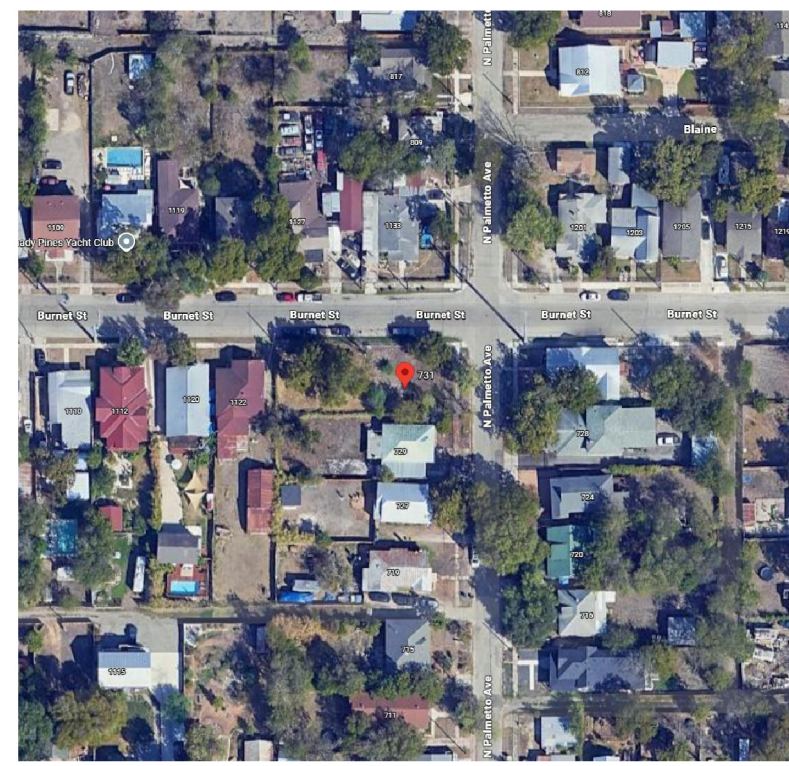
② East
3/16" = 1'-0"

BLACK ASPHALT ARCHITECTURAL COMPOSITE SHINGLES.
VINYL WINDOW 2" IN DEPTH BETWEEN THE FRONT FACE OF THE WINDOW TRIM AND THE FRONT FACE OF THE TOP WINDOW SASH.
Roof 25' - 11"
Ceiling 2nd F 19' - 5"
Stairs Roof 14' - 4"
2nd Floor 10' - 5"
Ceiling 9' - 0"
1st Floor 0' - 0"
VINYL WINDOW 2" IN DEPTH BETWEEN THE FRONT FACE OF THE WINDOW TRIM AND THE FRONT FACE OF THE TOP WINDOW SASH.
SOLID WOOD COLUMNS
SOLID WOOD HORIZONTAL LAP SIDING
LIMESTONE AS USED IN THE NEIGHBORHOOD AND APPROVED BY THE SAN ANTONIO HISTORIC AND DESIGN REVIEW COMMISSION (HDRC) AND THE OFFICE OF HISTORIC PRESERVATION (OHP)
SOLID WOOD TONGUE-AND-GROOVE SIDING

GENERAL LOCATION



LOCATION MAP



ZONNING



PALMETTO I SINGLE HOME

731 N PALMETTO AVE, SAN ANTONIO, TX
78202

Area Chart



resocoservices.com

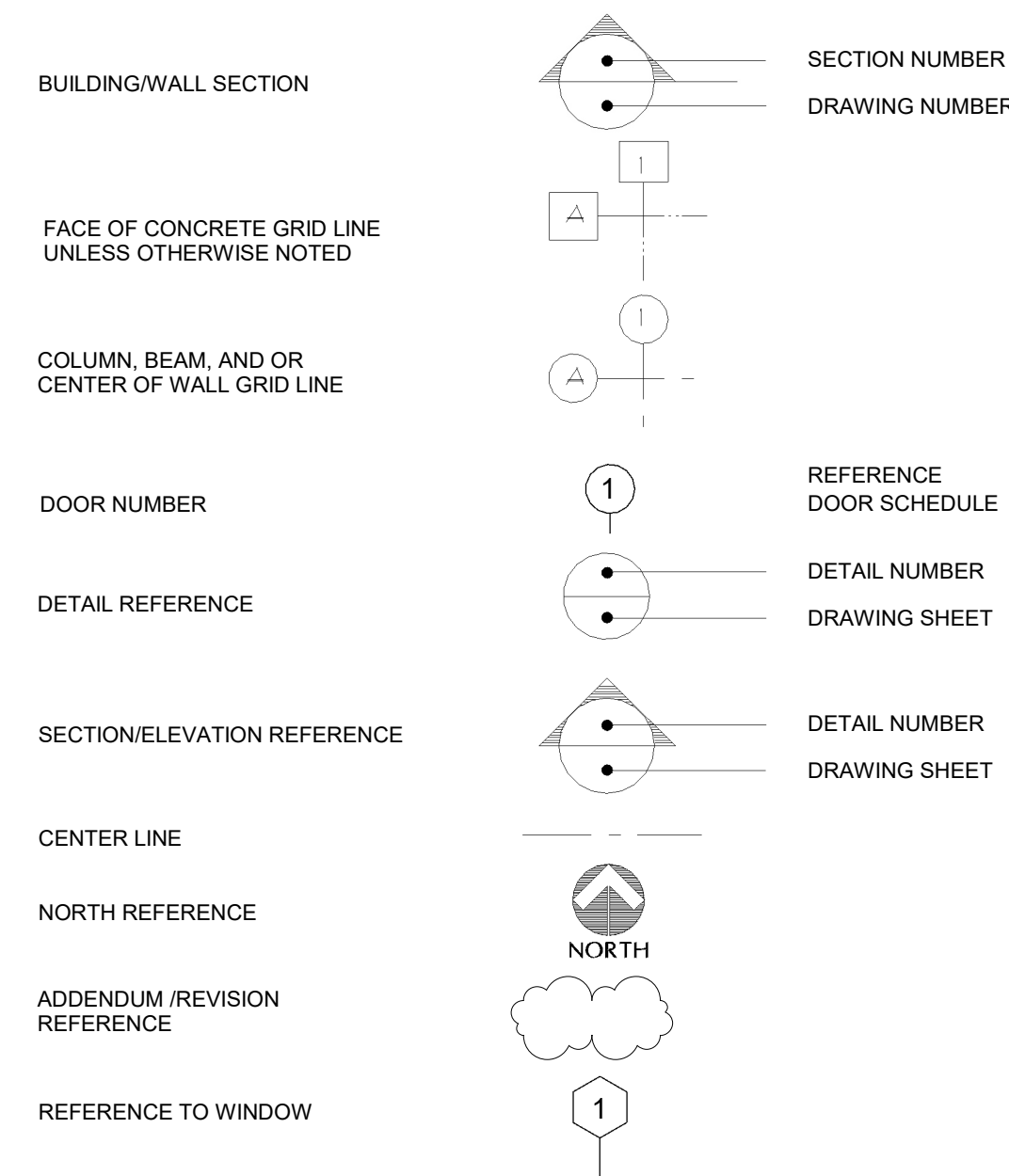
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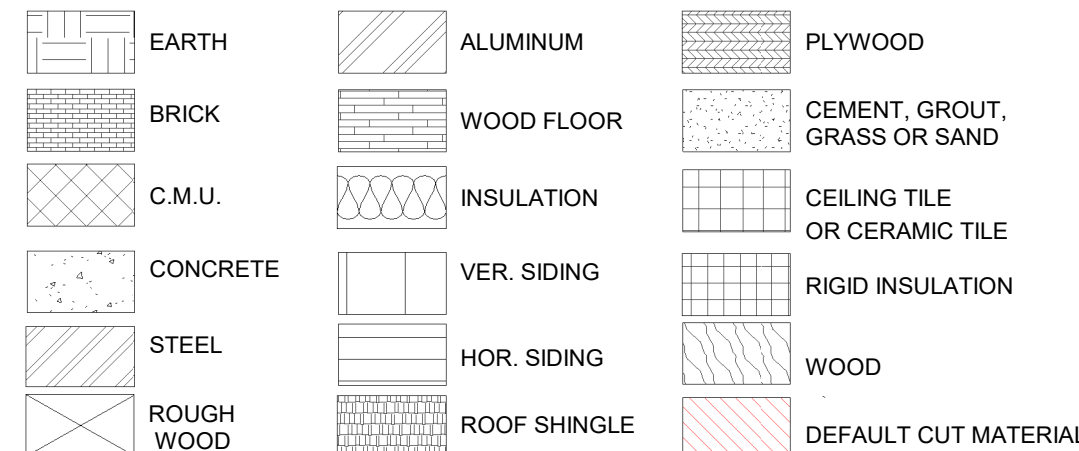
INDEX OF DRAWINGS

8	Unnamed	Approver
A101	COVER SHEET	Approver
A102	SITE PLAN	Approver
A103	FLOOR PLAN	Approver
A104	ELEVATIONS	Approver
A105	WALL SECTIONS	Approver
A106	3D VIEW	Approver

REFERENCE SYMBOLS



MATERIALS LEGEND



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USHKO INC

PALMETTO I SINGLE HOME

731 N PALMETTO AVE,
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CONSTRUCTION DRAWINGS ORGANIZATION

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15- EACH CONTRACTOR SHALL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK.

16- PROTECT ALL MATERIALS, FIXTURES AND APPLIANCES FROM WEATHER AND OR THEFT.

17- CONTRACTOR SHALL KEEP SITE (INSIDE AND OUTSIDE) NEAT AND ORDERLY THROUGHOUT CONSTRUCTION. COMPLETED WORK SHALL BE CLEAN.

18- PROVIDE ELECTRICAL REQUIRED FOR BURGLAR ALARM SYSTEM. CONTRACTOR TO COORDINATE INSTALLATION WITH THE SECURITY COMPANY SELECTED BY OWNER.

19- ALL WALL & CEILING FINISHES TO BE CLASS B OR BETTER, FLAME SPREAD 28-75 WITH MAXIMUM SMOKE DEVELOPED OF 450.

20- ALL INTERIOR TRIM TO BE CLASS C, FLAME SPREAD 76-200 WITH MAXIMUM SMOKE DEVELOPED OF 450.

21- FLOOR COVERINGS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 75.

22- ALL COMBUSTIBLE INTERIOR FINISH & TRIM ITEMS ARE TO BE APPLIED DIRECTLY TO A NON-COMBUSTIBLE BASE.

23- PROVIDE AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES.

24- SIGNAGE AS SHOWN IN THESE DRAWINGS IS SCHEMATIC ONLY FOR ILLUSTRATION PURPOSES AND DOES NOT IMPLY OR DESCRIBE ANY MEANS, METHODS, OR DETAILS PERTAINING TO INSTALLATION OF THE SIGNAGE. IT SHALL BE SOLELY THE SIGN CONTRACTOR'S RESPONSIBILITY TO DESIGN, FABRICATE, AND INSTALL THE SIGN UNDER SEPARATE PERMIT. ANY AND ALL STRUCTURAL CONSIDERATIONS SHALL BE COORDINATED BETWEEN THE SIGNAGE CONTRACTOR, OWNER, AND HIS DESIGN PROFESSIONALS. THE SIGN CONTRACTOR SHALL SUBMIT SHOP DRAWINGS DESCRIBING THE SIGNAGE DESIGN INCLUDING FINISHES, COLORS AND DESIGN DIMENSIONS TO THE OWNER FOR DESIGN INTENT REVIEW ONLY PRIOR TO SIGN FABRICATION.

26- SPRINKLER WORK WHERE REQUIRED BY CODE OR CONSTRUCTION CONDITIONS SHALL BE SUBMITTED UNDER SEPARATE PERMIT BY A LICENSED SPRINKLER CONTRACTOR. THE SPRINKLER & FIRE ALARM INTO BASE BUILDING FIRE PROTECTION SYSTEM.

27- NO ELEMENTS ARE TO BE ATTACHED TO OR SUPPORTED FROM THE ROOF DECK.

28- G.C. SHALL NOT USE GAS POWERED CONSTRUCTION EQUIPMENT-

LIST OF ABBREVIATIONS

A.B. - ANCHOR BOLT	F.F. - FINISHED FLOOR	PT. - PAINT
ACOUS. - ACOUSTICAL	FE. - FIRE EXTINGUISHER	RCP. - REFLECTED CEILING PLAN
ADD'L. - ADDITIONAL	FEC. - FIRE EXTINGUISHER CABINET	RE. - REFERENCE
A.F.F. - ASSUMED FINISHED FLOOR	FIN. - FINISH	RECP. - RECEPTION
ALUM. - ALUMINUM	FLR. - FLOOR	REIN. - REINFORCING
AND. - ANODIZED	FLASH'G. - FLASHING	RESIL. - RESILIENT
BLK'G. - BLOCKING	FR.FRM. - FRAME	RET. - RETAINING
BM. - BEAM	FRT. - FIRE RETARDANT TREATMENT	REQ'D. - REQUIRED
CG. - CORNER GUARD	FTG. - FOOTING	SAT. - SUSPENDED ACOUSTICAL TILE
CIS. - COUNTRY INNS & SUITES	FURN. - FURNISHED	SCHED. - SCHEDULE
CJ. - CONTROL JOINT CLG. CEILING	FURR'G. - FURRING	SC WD. - SOLID CORE WOOD
CLOS. - CLOSET	GA. - GAUGE	SECT. - SECTION
CMU. - CONCRETE MASONRY UNIT	G.C. - GENERAL CONTRACTOR	SECTY. - SECRETARY
COL. COLUMN	G.I. - GALVANIZED IRON	SHT. - SHEET
CONC. - CONCRETE	GL. - GLASS	SGB. - SUSPENDED GYPSUM BOARD
CONF. - CONFERENCE	GYP. BD. - GYPSUM BOARD	STL. - STEEL
CONT. - CONTINUOUS	H.M. - HOLLOW METAL	STN. - STAIR
CORR. - CORRIDOR	HR. - HOUR	STO./STOR. - STORAGE
CPT. - CARPET	INSUL. - INSULATION, INSULATED	STRUCT. - STRUCTURAL
CT. - CERAMIC TILE	JAN. - JANITOR	SUSP. - SUSPENDED
DIMS. - DIMENSIONS	JT. - JOINT	TELE. - TELEPHONE
DN. - DOWN	MECH. - MECHANICAL	TEMP. - TEMPERED
DWC. - DRYWALL CHANNEL	MGR. - MANAGER	T.G. - TOP OF GRATE
DWG'S. - DRAWINGS EA. EACH	MIN. - MINIMUM	TLWC. - TOP OF LIGHTWEIGHT CONCRETE
ELEC. - ELECTRICAL	MNT. - MOUNT	T.V. - TELEVISION
ELEV. - ELEVATION	MTL. - METAL	TYP. - TYPICAL
EQ. - EQUAL	MFR. - MANUFACTURER	U.L. - UNDERWRITERS LABORATORIES
EQUIP. - EQUIPMENT	NO. - NUMBER	UNL.O. - UNLESS NOTED OTHERWISE
ENGRD. - ENGINEERED	ON C. - ON CENTER	VERT. - VERTICAL
EXIST. - EXISTING	P.C. - PORTLAND CEMENT	VCT. - VINYL COMPOSITION TILE
EXP. - EXPANSION	PLAS. LAM. - PLASTIC LAMINATE	VWC. - VINYL WALL COVERING
EXT. - EXTERIOR	PLYWD. - PLYWOOD	W. - WITH
F.D. - FLOOR DRAIN	PMEJ. - PREMOLDED EXPANSION JOINT	WD. - WOOD
	P.P.T. - PRESERVATIVE PRESSURE TREATMENT	

COVER SHEET

A101

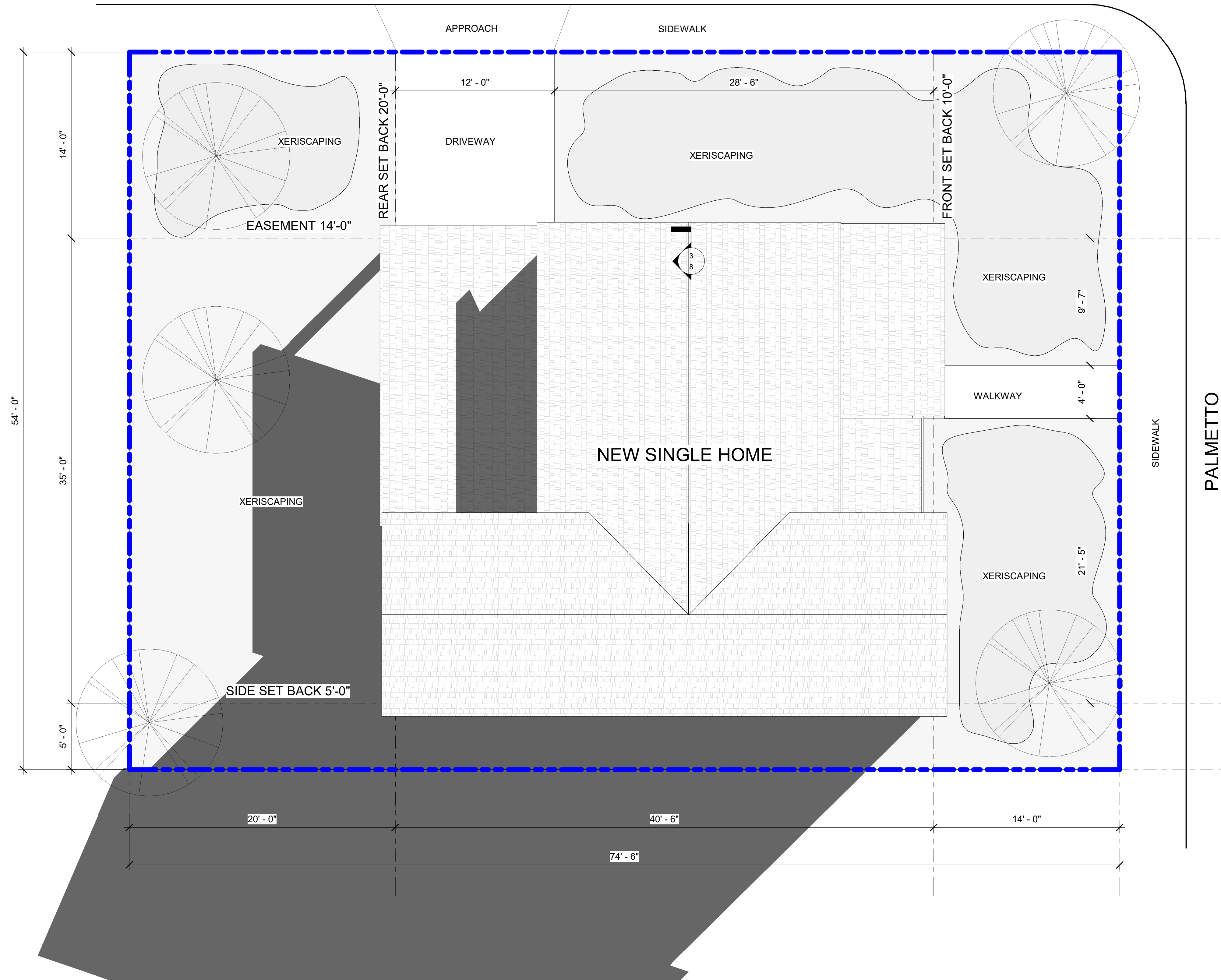
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BURNET



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MEP Consultant:
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USHKO INC

**PALMETTO I
SINGLE HOME**

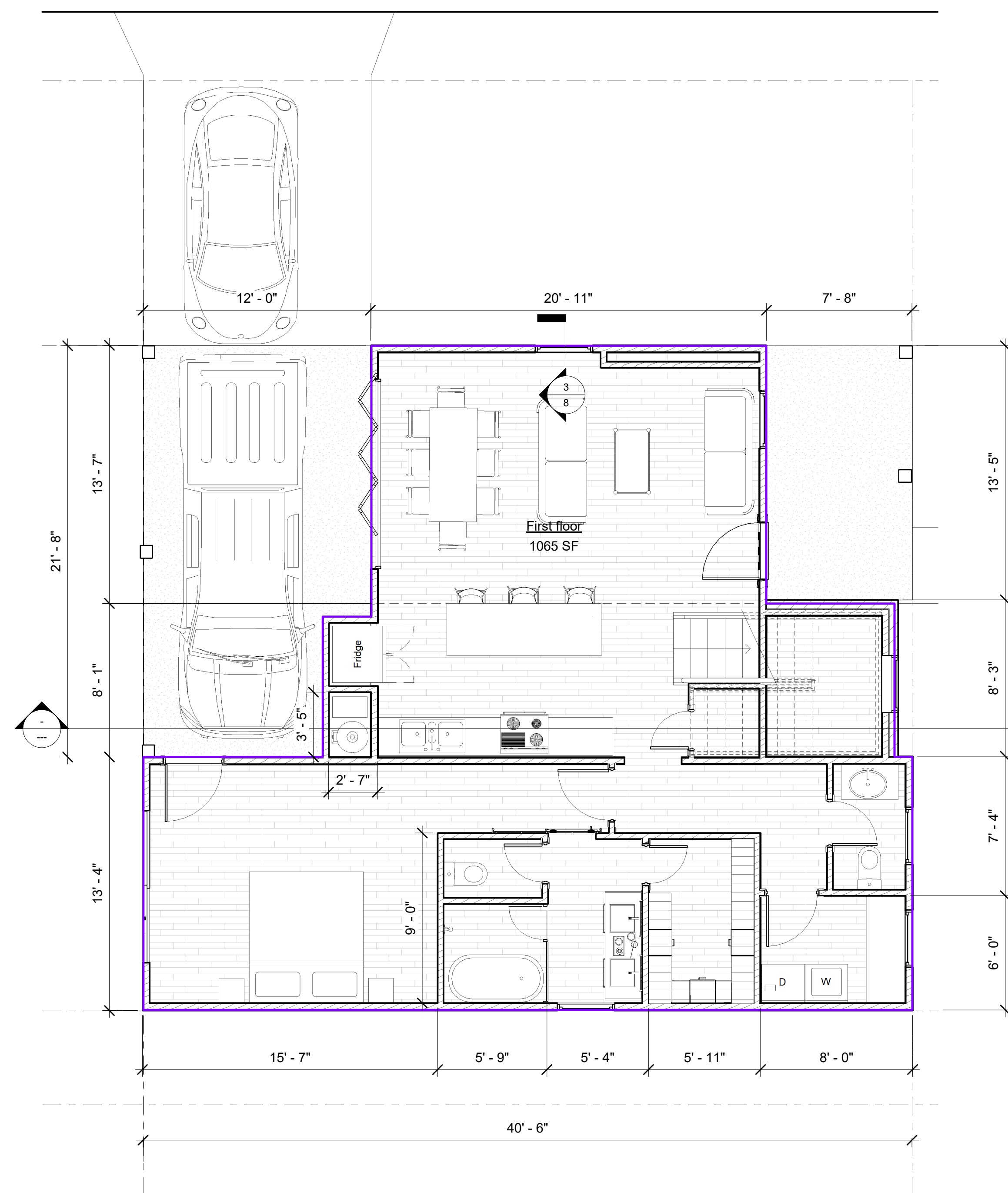
731 N PALMETTO AVE,
SAN ANTONIO, TX 78202

SITE PLAN

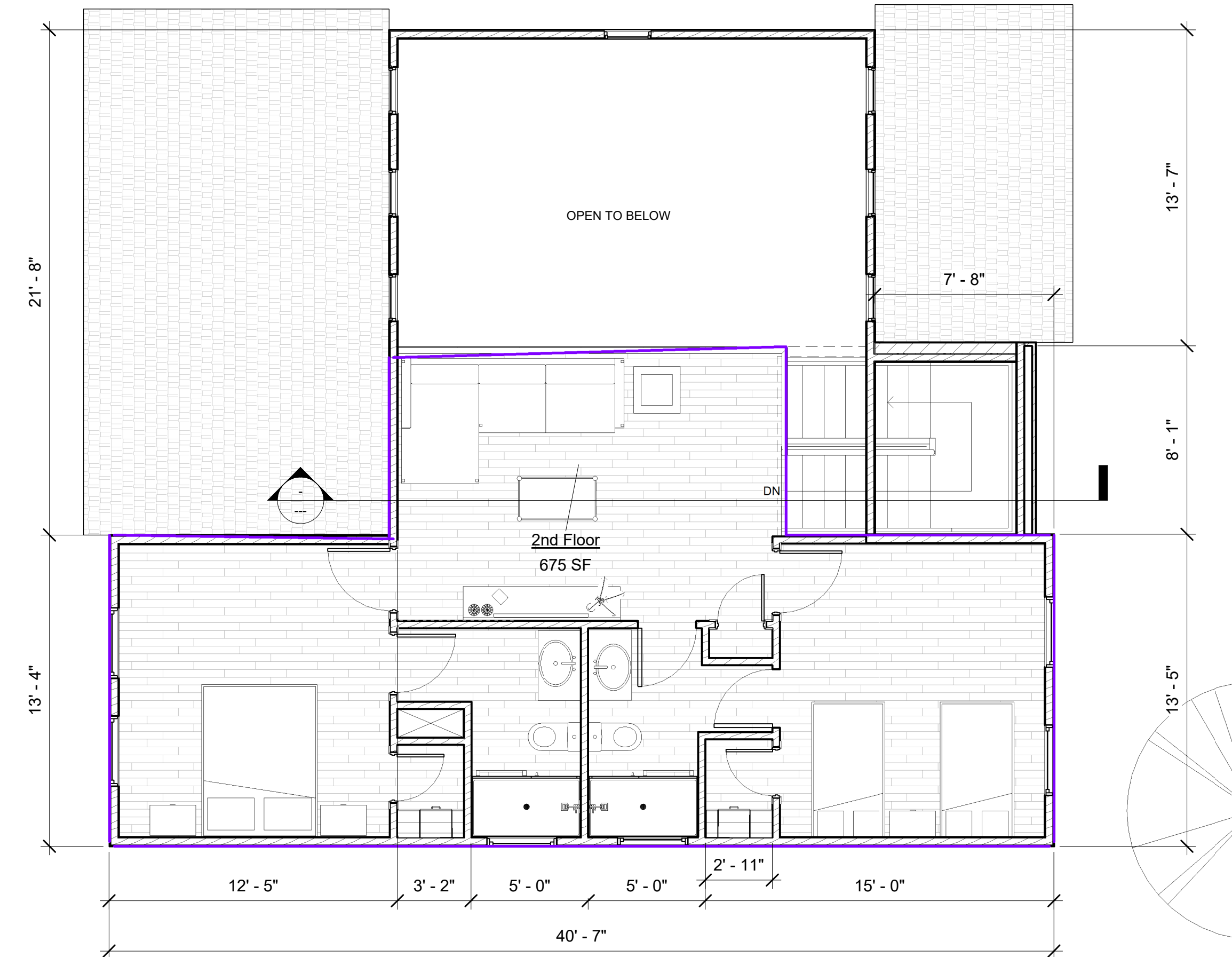
A102

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Date	Issue Date
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Checked by	OAV

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① 1st Floor
1/4" = 1'-0"



② 2nd Floor
1/4" = 1'-0"

Area Schedule (Gross Building)	
Name	Area
First floor	1,065 SF
2nd Floor	675 SF
	1,741 SF

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Name: Villareal Design Group, LLC
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**PALMETTO I
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FLOOR PLAN

A103

Project number	Project Number
Date	Issue Date
Exported	4/22/2026 6:45:31 PM
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USHKO INC

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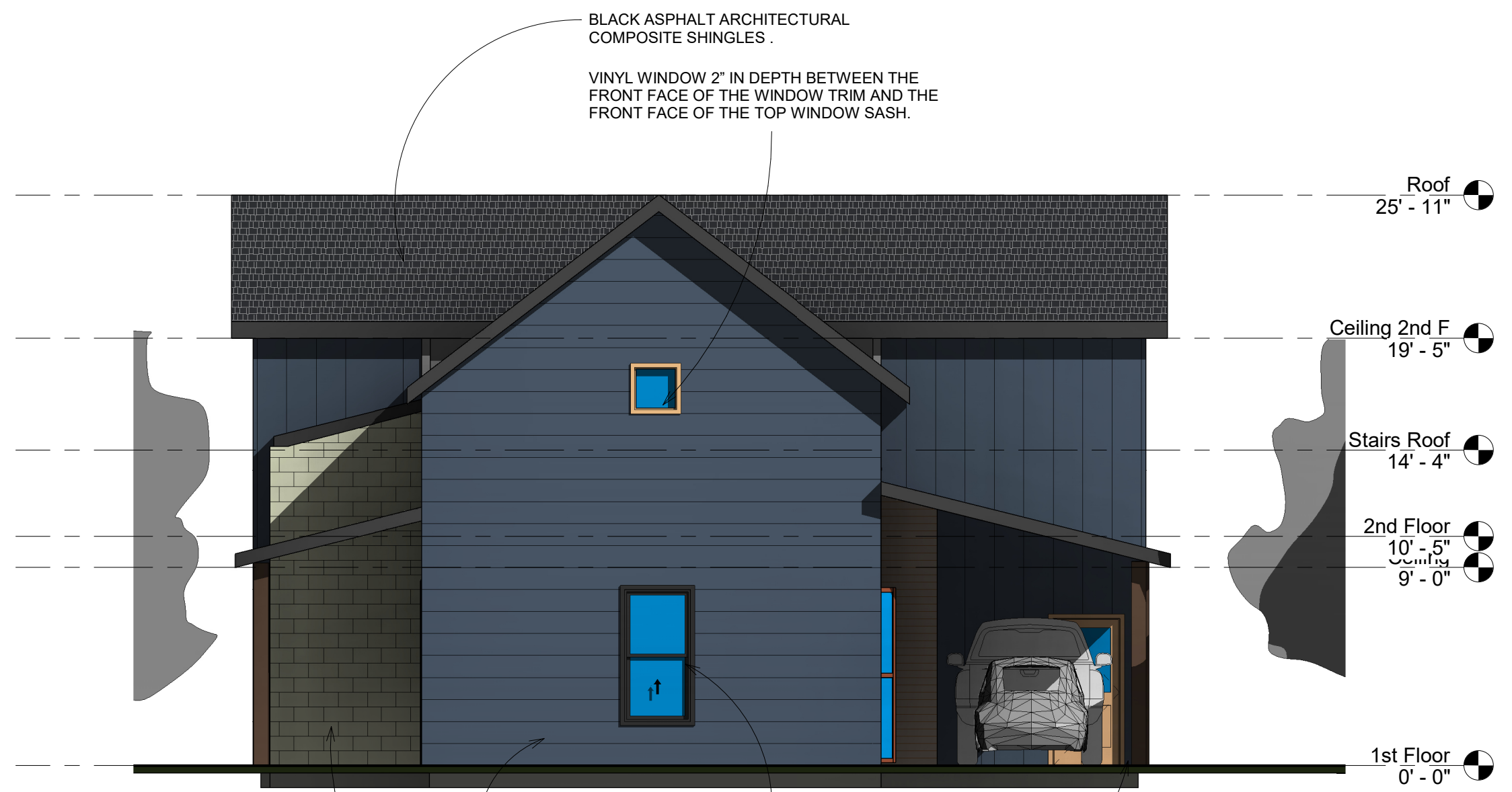
ELEVATIONS

A104

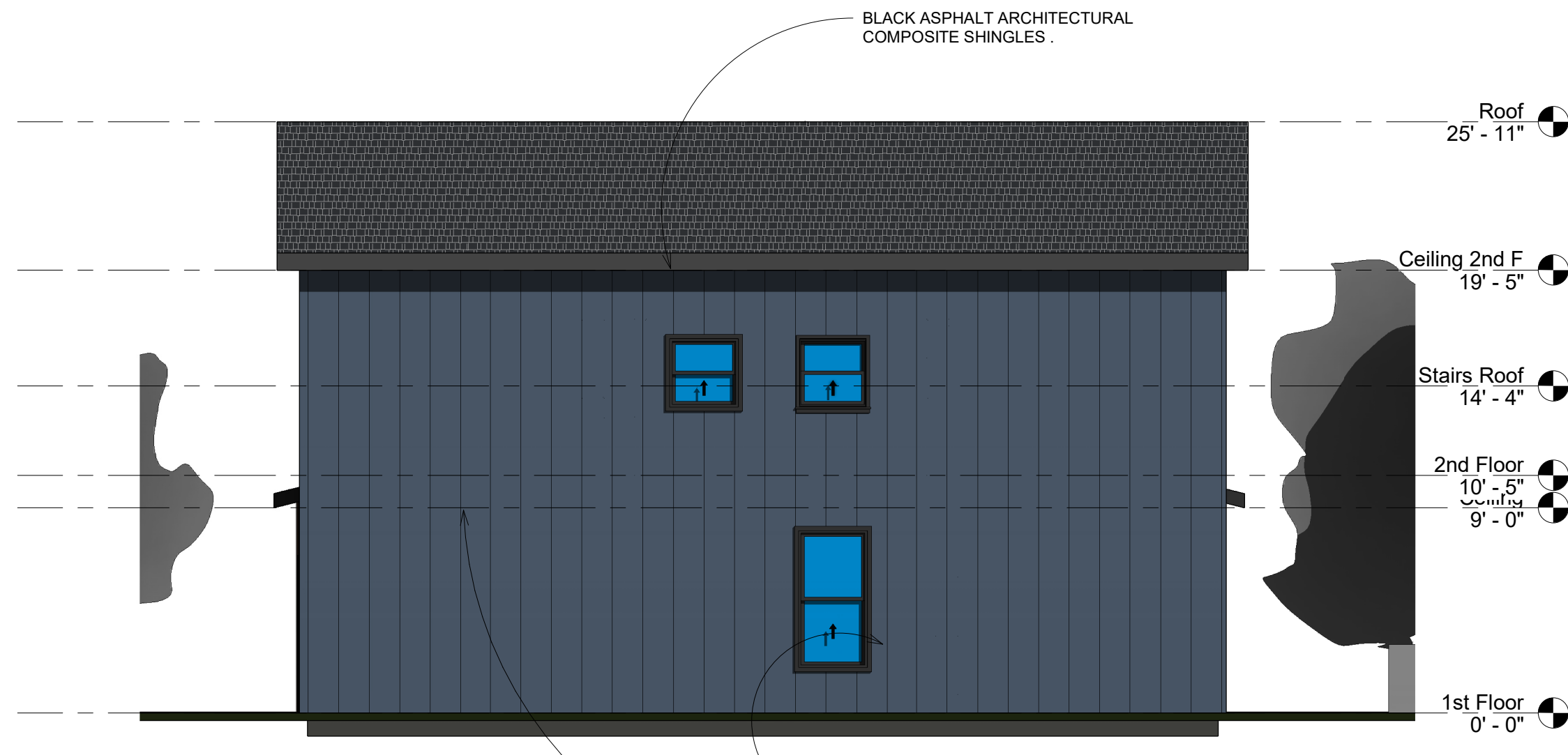
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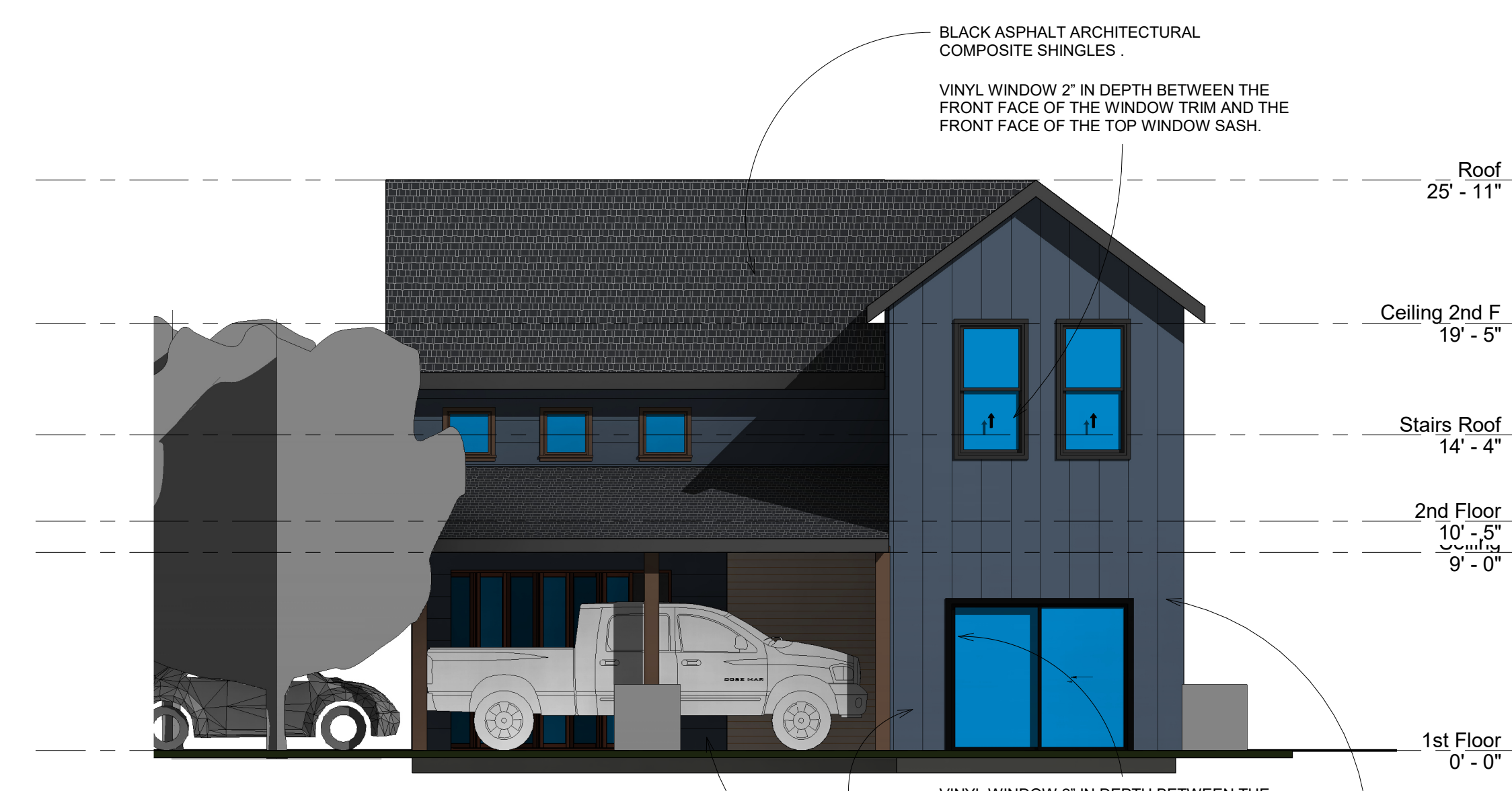
① East
3/16" = 1'-0"



② North
3/16" = 1'-0"



③ South
3/16" = 1'-0"



④ West
3/16" = 1'-0"

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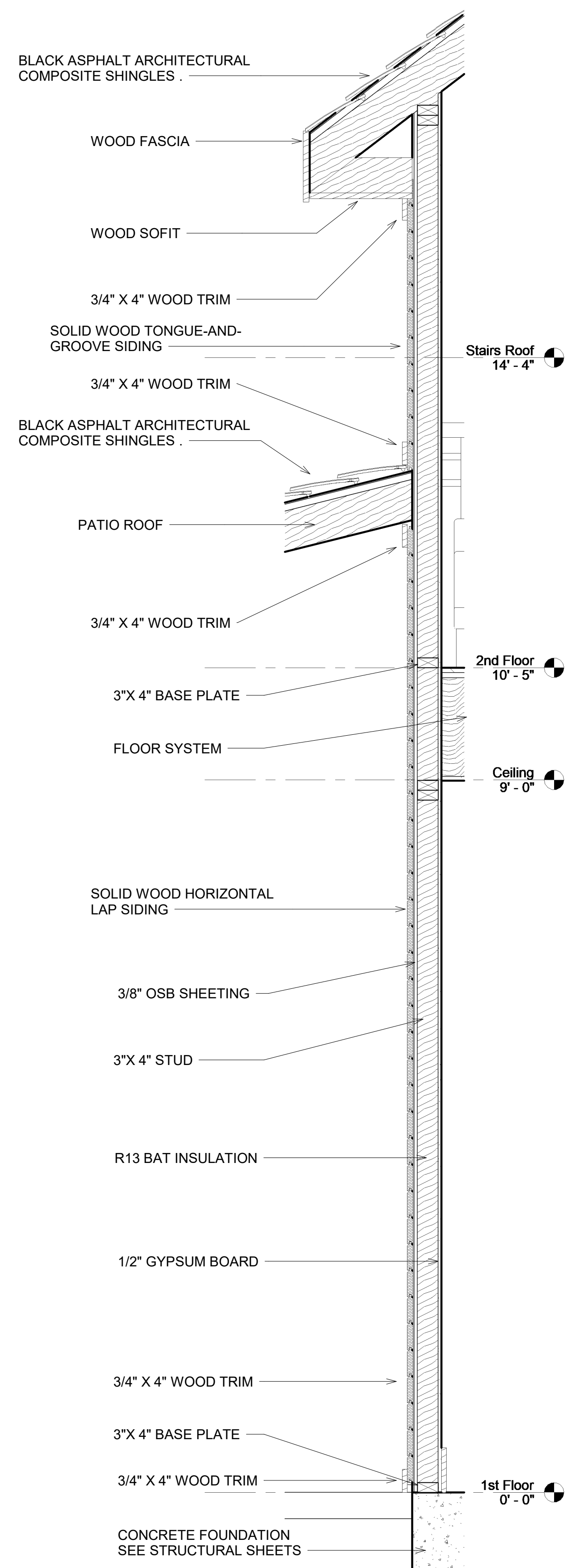
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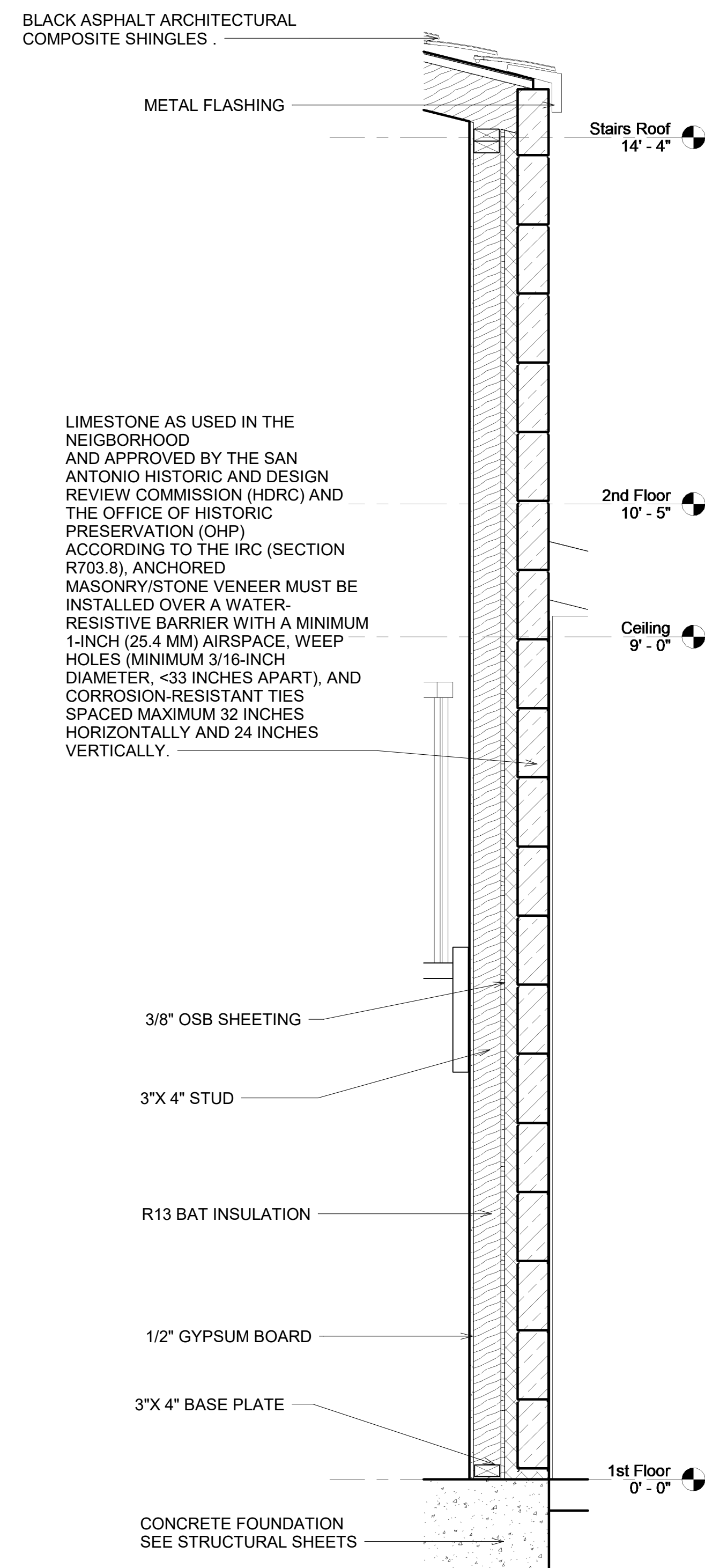
WALL SECTIONS

A105

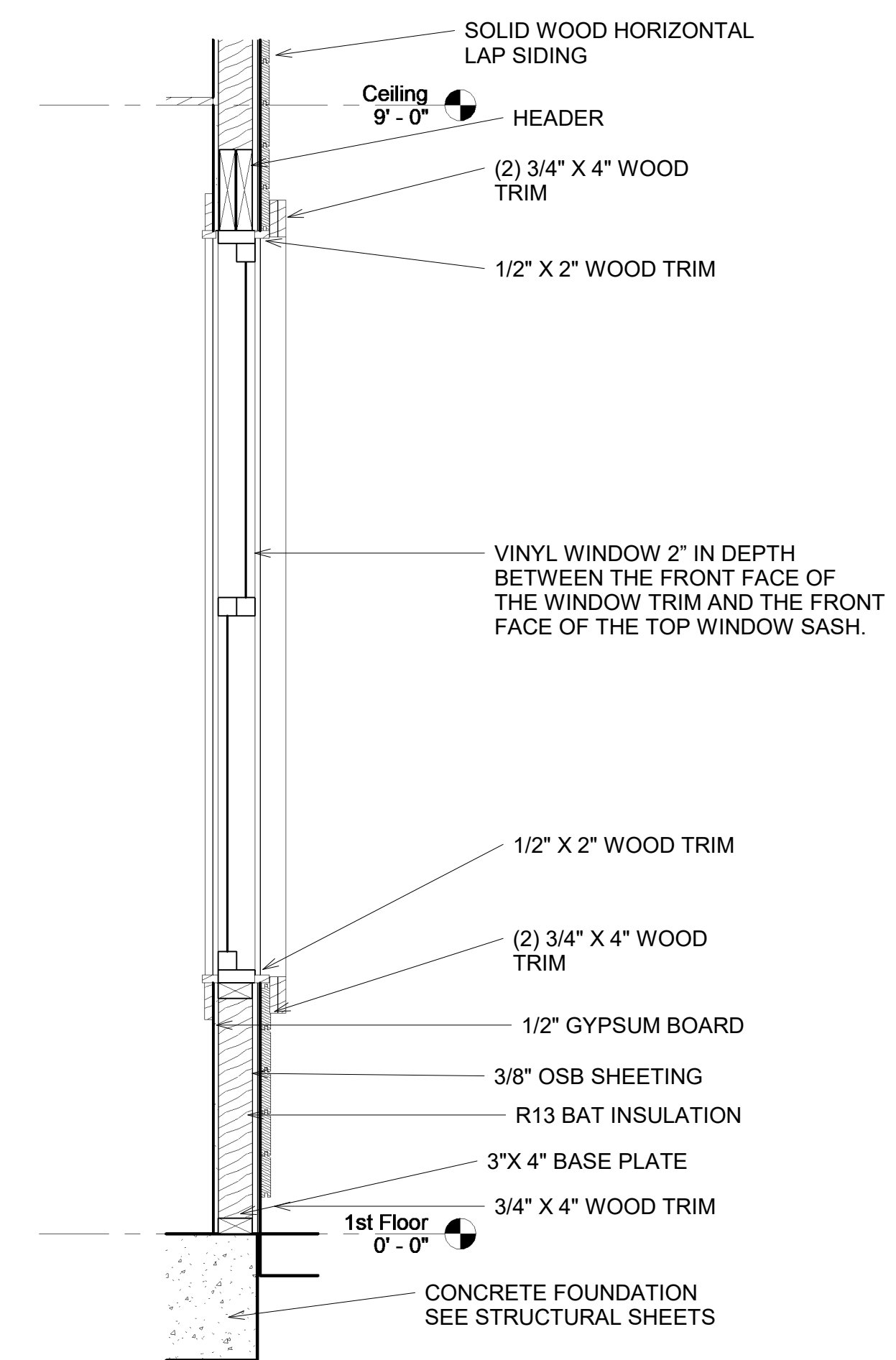
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① WALL SECTION 1
1" = 1'-0"



② VENEER WALL SECTION
1" = 1'-0"



③ WINDOW SECTION
1" = 1'-0"



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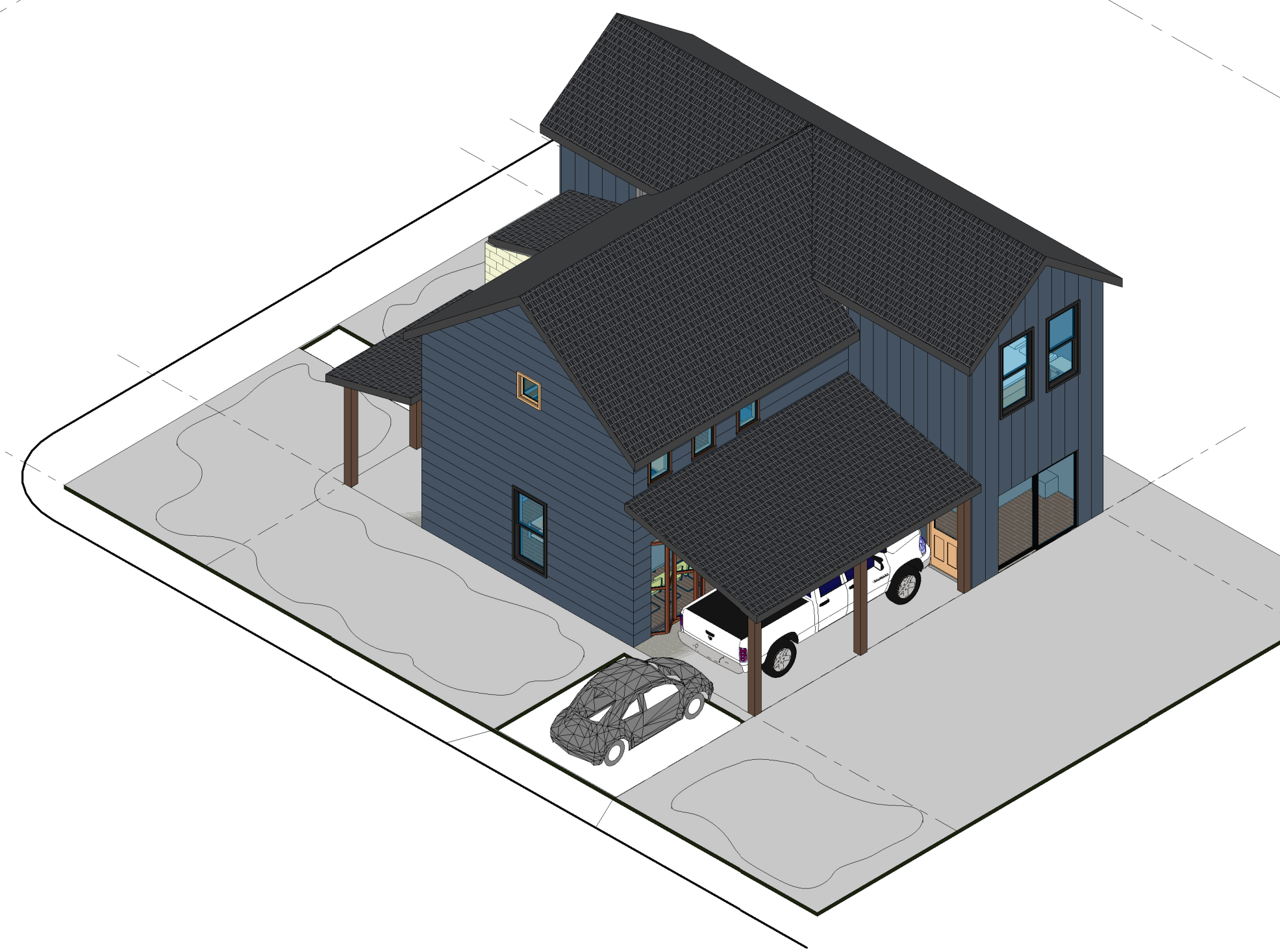
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USHKO INC

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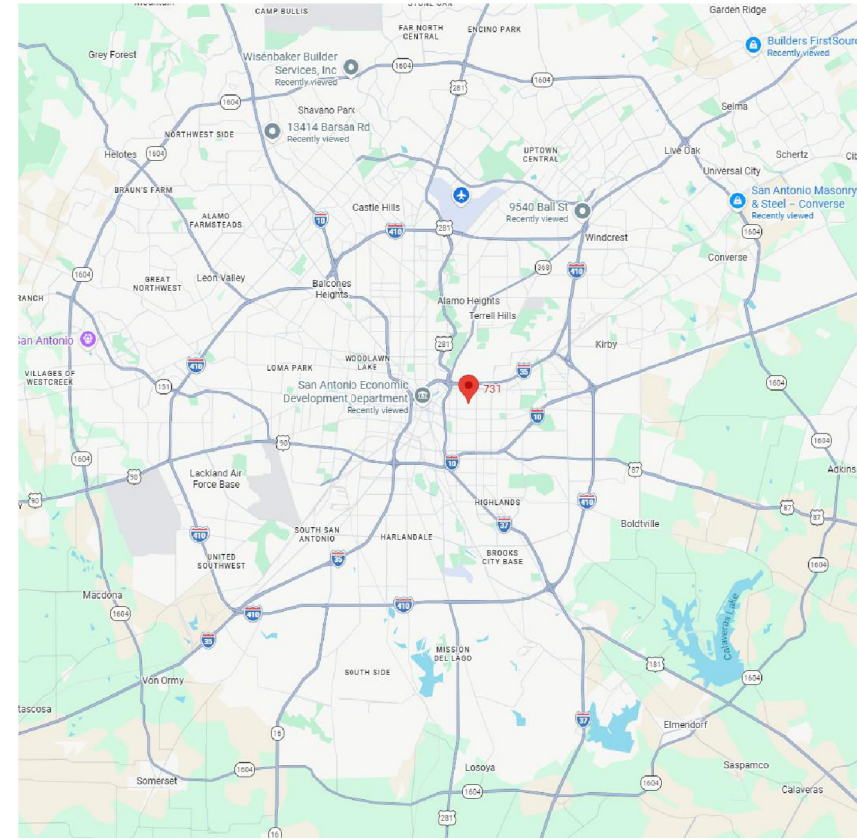
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3D VIEW

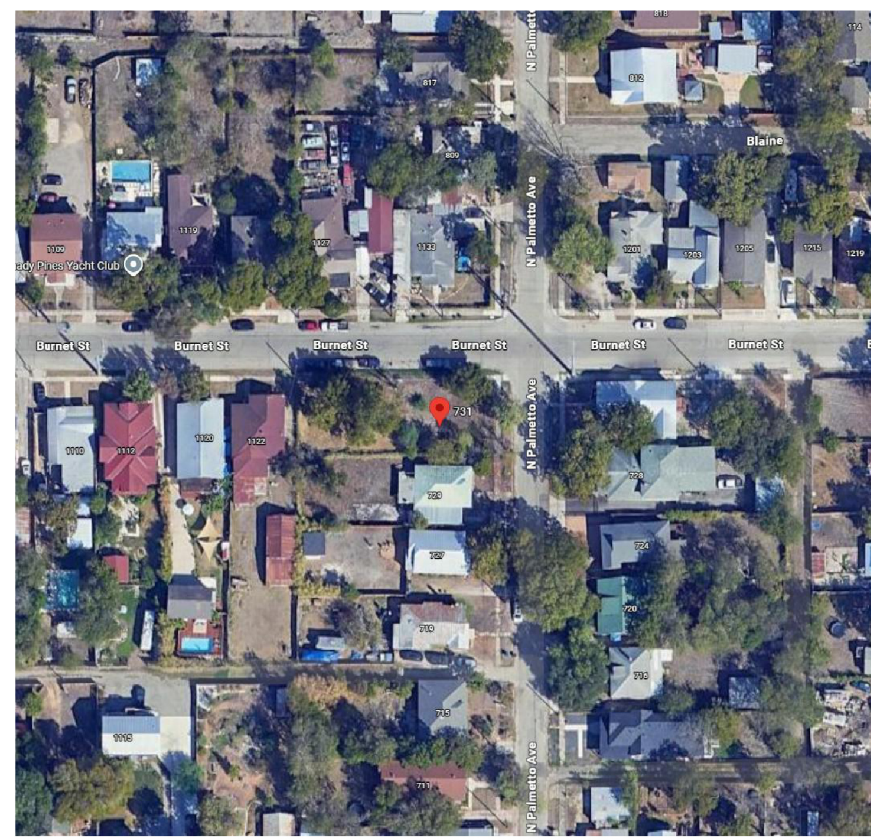
A106

Project number	Project Number
Date	Issue Date
Exported	4/22/2026 6:45:44 PM
Drawn by	Ale
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GENERAL LOCATION



LOCATION MAP



ZONNING



Area Chart

PALMETTO II SINGLE HOME

731 N PALMETTO AVE, SAN ANTONIO, TX
78202



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A103	FLOOR PLAN	Approver
A104	ELEVATIONS	Approver
A105	WALL SECTIONS	Approver
A106	3D VIEW	Approver

REFERENCE SYMBOLS

BUILDING/WALL SECTION		SECTION NUMBER
FACE OF CONCRETE GRID LINE UNLESS OTHERWISE NOTED		DRAWING NUMBER
COLUMN, BEAM, AND OR CENTER OF WALL GRID LINE		
DOOR NUMBER		REFERENCE DOOR SCHEDULE
DETAIL REFERENCE		DETAIL NUMBER
SECTION/ELEVATION REFERENCE		DRAWING SHEET
CENTER LINE		DETAIL NUMBER
NORTH REFERENCE		DRAWING SHEET
ADDENDUM /REVISION REFERENCE		
REFERENCE TO WINDOW		

MATERIALS LEGEND

	EARTH		ALUMINUM		PLYWOOD
	BRICK		WOOD FLOOR		CEMENT, GROUT, GRASS OR SAND
	C.M.U.		INSULATION		CEILING TILE OR CERAMIC TILE
	CONCRETE		VER. SIDING		RIGID INSULATION
	STEEL		HOR. SIDING		WOOD
	ROUGH WOOD		ROOF SHINGLE		DEFAULT CUT MATERIAL



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12.- ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS

13.- USE ONLY SKILLED AND EXPERIENCED PERSONEL. ALL WORK SHALL BE DONE IN A WORKMAN MANNER. ALL WORK TO DONE IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES.

14.- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE COLLAPSE, DISTORTIONS AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICES.

15.- EACH CONTRACTOR SHALL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK.

16.- PROTECT ALL MATERIALS, FIXTURES AND APPLIANCES FROM WEATHER AND OR THEFT.

17.- CONTRACTOR SHALL KEEP SITE (INSIDE AND OUTSIDE) NEAT AND ORDERLY THROUGHOUT CONSTRUCTION. COMPLETED WORK SHALL BE CLEAN.

18.- PROVIDE ELECTRICAL REQUIRED FOR BURGLAR ALARM SYSTEM. CONTRACTOR TO COORDINATE INSTALLATION WITH THE SECURITY COMPANY SELECTED BY OWNER.

19. ALL WALL & CEILING FINISHES TO BE CLASS B OR BETTER, FLAME SPREAD 26-75 WITH MAXIMUM SMOKE DEVELOPED OF 450.

20. ALL INTERIOR TRIM TO BE CLASS C, FLAME SPREAD 76-200 WITH MAXIMUM SMOKE DEVELOPED OF 450.

21. FLOOR COVERINGS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 75.

22. ALL COMBUSTIBLE INTERIOR FINISH & TRIM ITEMS ARE TO BE APPLIED DIRECTLY TO A NON-COMBUSTIBLE BASE.

23. PROVIDE AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES.

24. SIGNAGE AS SHOWN IN THESE DRAWINGS IS SCHEMATIC ONLY FOR ILLUSTRATION PURPOSES AND DOES NOT IMPLY OR DESCRIBE ANY MEANS, METHODS, OR DETAILS PERTAINING TO INSTALLATION OF THE SIGNAGE. IT SHALL BE SOLELY THE SIGN CONTRACTOR'S RESPONSIBILITY TO DESIGN, FABRICATE, AND INSTALL THE SIGN UNDER SEPARATE PERMIT. ANY AND ALL STRUCTURAL CONSIDERATIONS SHALL BE COORDINATED BETWEEN THE SIGNAGE CONTRACTOR, OWNER, AND HIS DESIGN PROFESSIONALS. THE SIGN CONTRACTOR SHALL SUBMIT SHOP DRAWINGS DESCRIBING THE SIGNAGE DESIGN INCLUDING FINISHES, COLORS AND DESIGN DIMENSIONS TO THE OWNER FOR DESIGN INTENT REVIEW ONLY PRIOR TO SIGN FABRICATION.

26. SPRINKLER WORK WHERE REQUIRED BY CODE OR CONSTRUCTION CONDITIONS SHALL BE SUBMITTED UNDER SEPARATE PERMIT BY A LICENSED SPRINKLER CONTRACTOR. THE SPRINKLER & FIRE ALARM INTO BASE BUILDING FIRE PROTECTION SYSTEM.

27. NO ELEMENTS ARE TO BE ATTACHED TO OR SUPPORTED FROM THE ROOF DECK.

28. G.C. SHALL NOT USE GAS POWERED CONSTRUCTION EQUIPMENT

LIST OF ABBREVIATIONS

A.B. - ANCHOR BOLT	F.F. - FINISHED FLOOR	PT. - PAINT
ACOUS. - ACOUSTICAL	FE. - FIRE EXTINGUISHER	RCP. - REFLECTED CEILING PLAN
ADD'L. - ADDITIONAL	FEC. - FIRE EXTINGUISHER CABINET	RE. - REFERENCE
A.F.F. - ASSUMED FINISHED FLOOR	FIN. - FINISH	RECP. - RECEPTION
ALUM. - ALUMINUM	FLR. - FLOOR	REINF. - REINFORCING
ANOD. - ANODIZED	FLASH'G. - FLASHING	RESIL. - RESILIENT
BL'K'G. - BLOCKING	FR./FRM. - FRAME	RET. - RETAINING
BM. - BEAM	FRT. - FIRE RETARDANT TREATMENT	REQ'D. - REQUIRED
CG. - CORNER GUARD	FTG. - FOOTING	SAT. - SUSPENDED ACOUSTICAL TILE
CIS. - COUNTRY INNS & SUITES	FURN. - FURNISHED	SCHED. - SCHEDULE
CJ. - CONTROL JOINT CLG. CEILING	FURR'G. - FURRING	SC WD. - SOLID CORE WOOD
CLOS. - CLOSET	G.A. - GAUGE	SECT. - SECTION
CMU. - CONCRETE MASONRY UNIT	G.C. - GENERAL CONTRACTOR	SECT'Y. - SECRETARY
COL. - COLUMN	G.I. - GALVANIZED IRON	SHT. - SHEET
CONC. - CONCRETE	GL. - GLASS	SGB. - SUSPENDED GYPSUM BOARD
CONF. - CONFERENCE	GYP. BD. - GYPSUM BOARD	STL. - STEEL
CONT. - CONTINUOUS	H.M. - HOLLOW METAL	STN. - STAIN
CORR. - CORRIDOR	HR. - HOUR	STO./STOR. - STORAGE
CPT. - CARPET	INSUL. - INSULATION, INSULATED	STRUCT. - STRUCTURAL
CT. - CERAMIC TILE	JAN. - JANITOR	SUSP. - SUSPENDED
DIM'S. - DIMENSIONS	JT. - JOINT	TELE. - TELEPHONE
DN. - DOWN	MGR. - MECHANICAL	TEMP. - TEMPERED
DWC. - DRYWALL CHANNEL	MT. - MOUNT	T.G. - TOP OF GRATE
DWS'S. - DRAWINGS EA. EACH	MIN. - MINIMUM	TLWC. - TOP OF LIGHTWEIGHT CONCRETE
ELEC. - ELECTRICAL	MNT. - MOUNT	T.V. - TELEVISION
ELEV. - ELEVATION	MTL. - METAL	T.W. - TOP OF WALL
EQ. - EQUAL	MFR. - MANUFACTURER	TYP. - TYPICAL
EQUIP. - EQUIPMENT	NO. - NUMBER	ULL. - UNDERWRITERS LABORATORIES
ENGRD. - ENGINEERED	O.C. - ON CENTER	UN.D. - UNLESS NOTED OTHERWISE
EXIST. - EXISTING	PNT. - PAINT	VERT. - VERTICAL
EXP. - EXPANSION	P.C. - PORTLAND CEMENT	VEST. - VESTIBULE
EXT. - EXTERIOR	PLAS. LAM. - PLASTIC LAMINATE	VCT. - VINYL COMPOSITION TILE
F.D. - FLOOR DRAIN	PLYWD. - PLYWOOD	VWC. - VINYL WALL COVERING
	PMEL. - PREMOLDED EXPANSION JOINT	W/. - WITH
	P.P.T. - PRESERVATIVE PRESSURE TREATMENT	WD. - WOOD

COVER SHEET

A101

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BURNET

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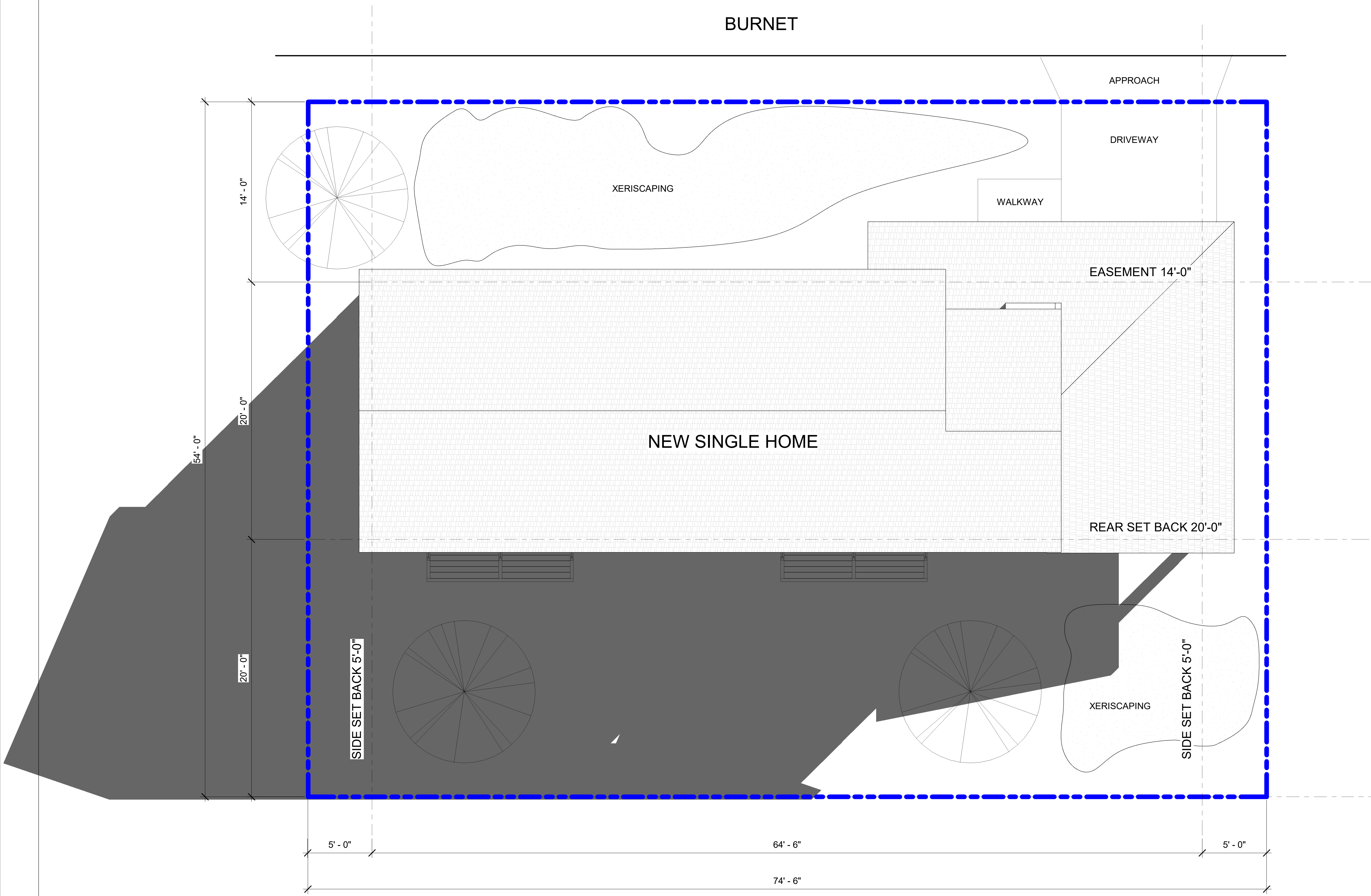
**PALMETTO II
SINGLE HOME**

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SAN ANTONIO, TX 78202

SITE PLAN

A102

Project number	Project Number
Date	Issue Date
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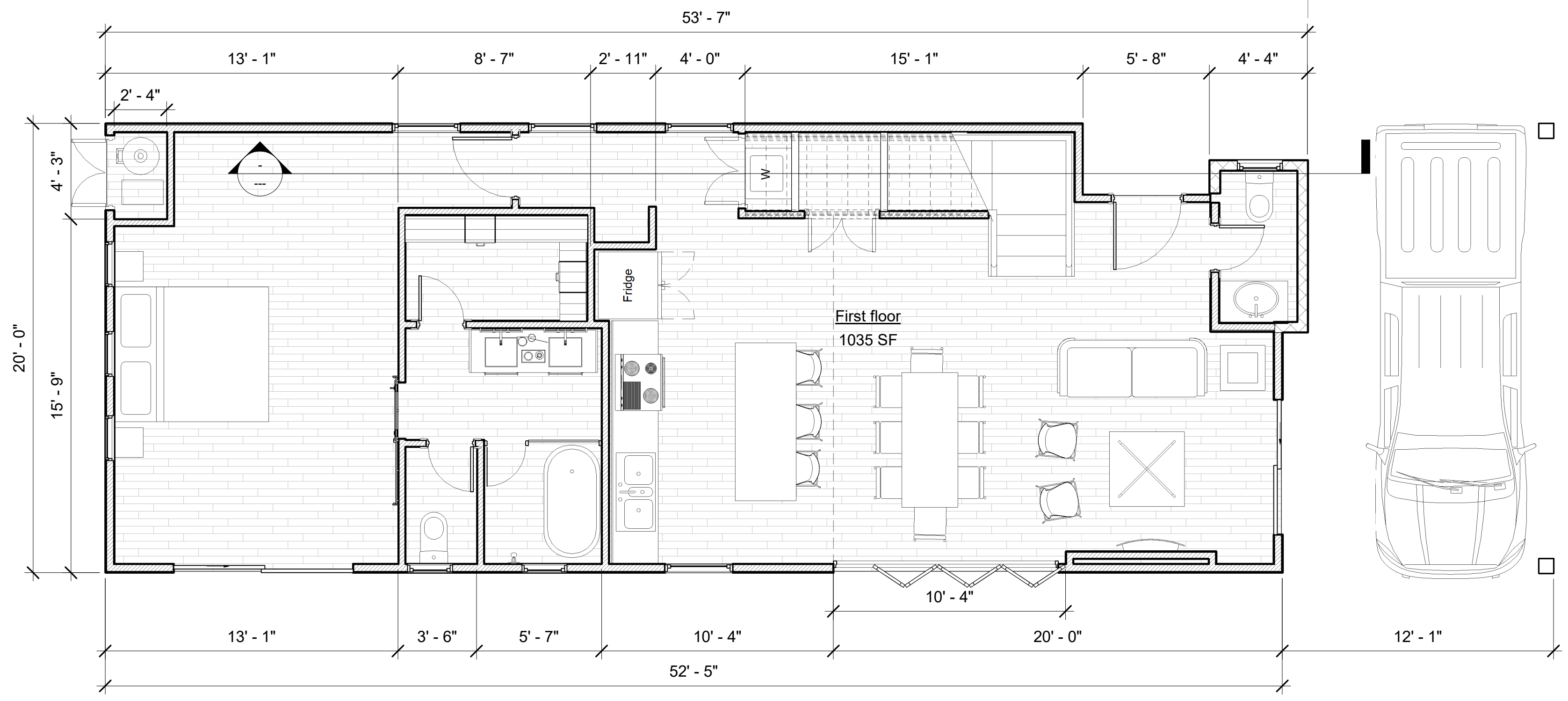
**PALMETTO II
SINGLE HOME**

731 N PALMETTO AVE,
SAN ANTONIO, TX 78202

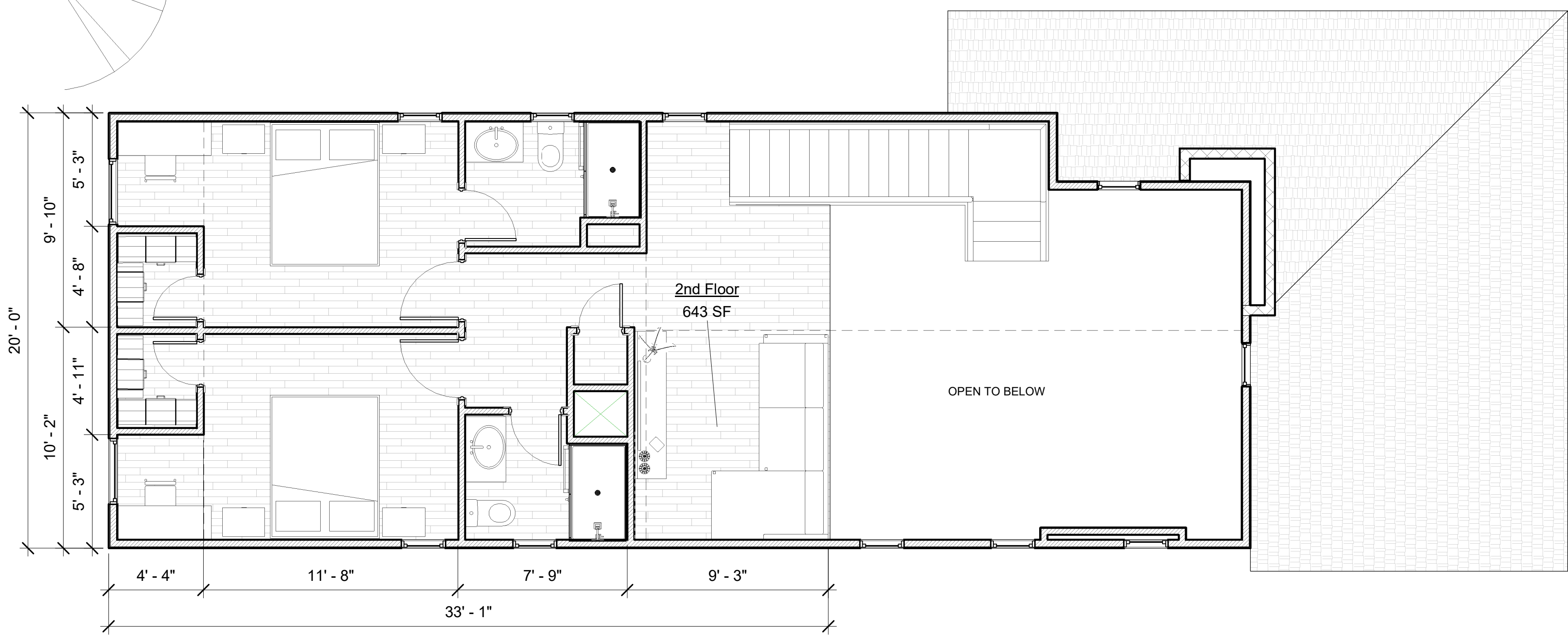
FLOOR PLAN

A103

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Date Issue Date
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① 1st Floor
1/4" = 1'-0"



② 2nd Floor
1/4" = 1'-0"

Area Schedule (Gross Building)	
Name	Area
First floor	1,035 SF
2nd Floor	643 SF
	1,678 SF

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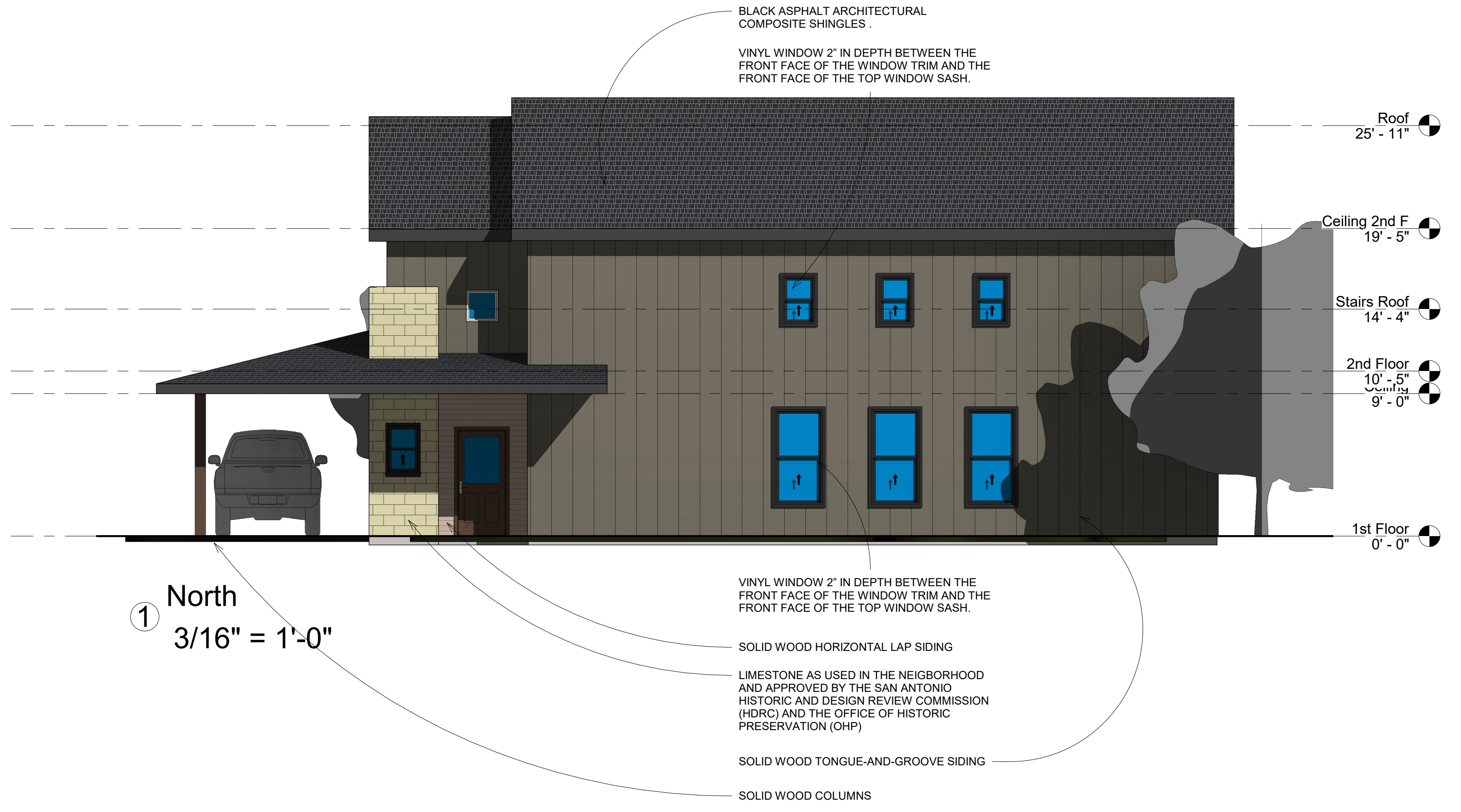
**PALMETTO II
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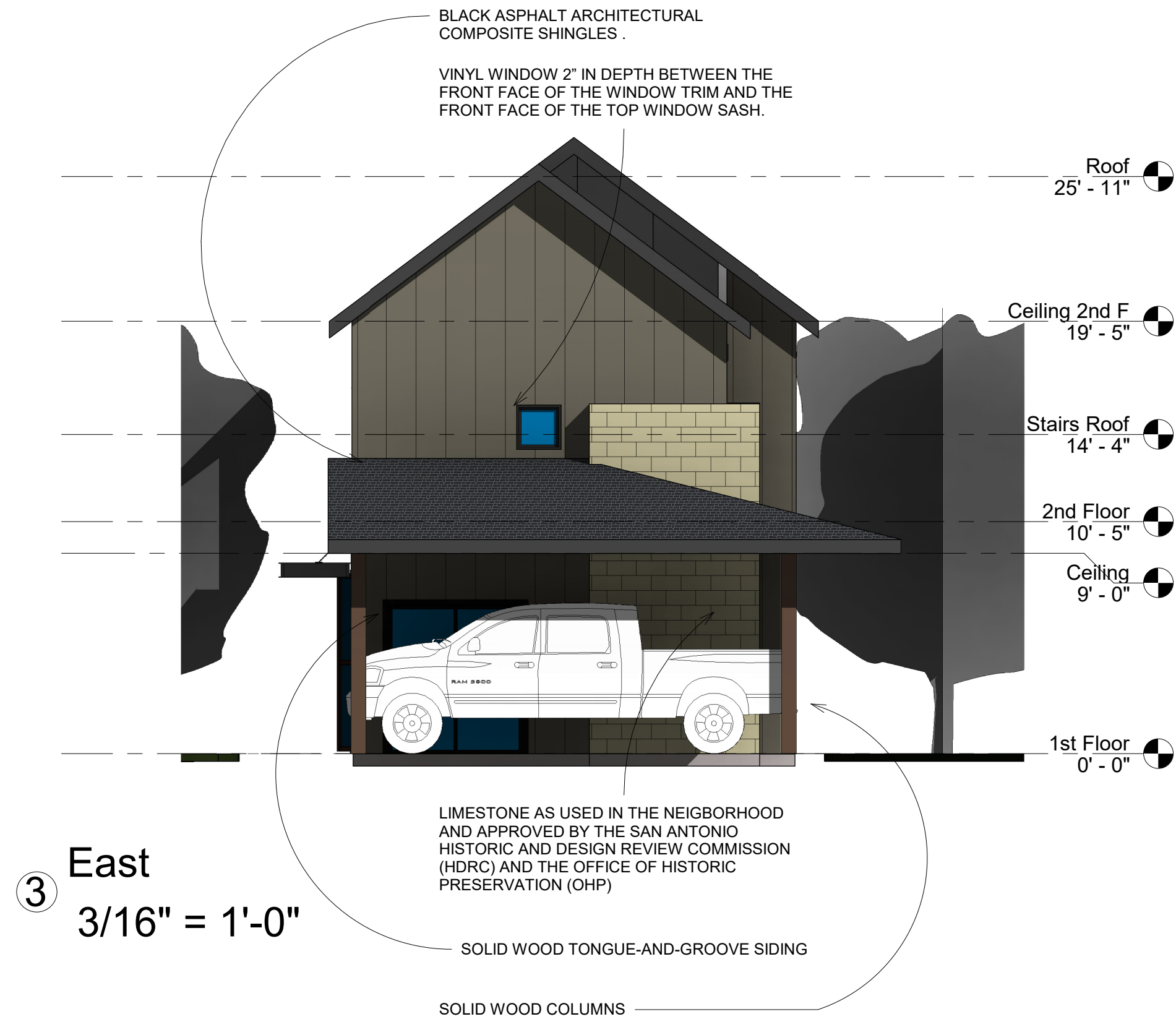
ELEVATIONS

A104

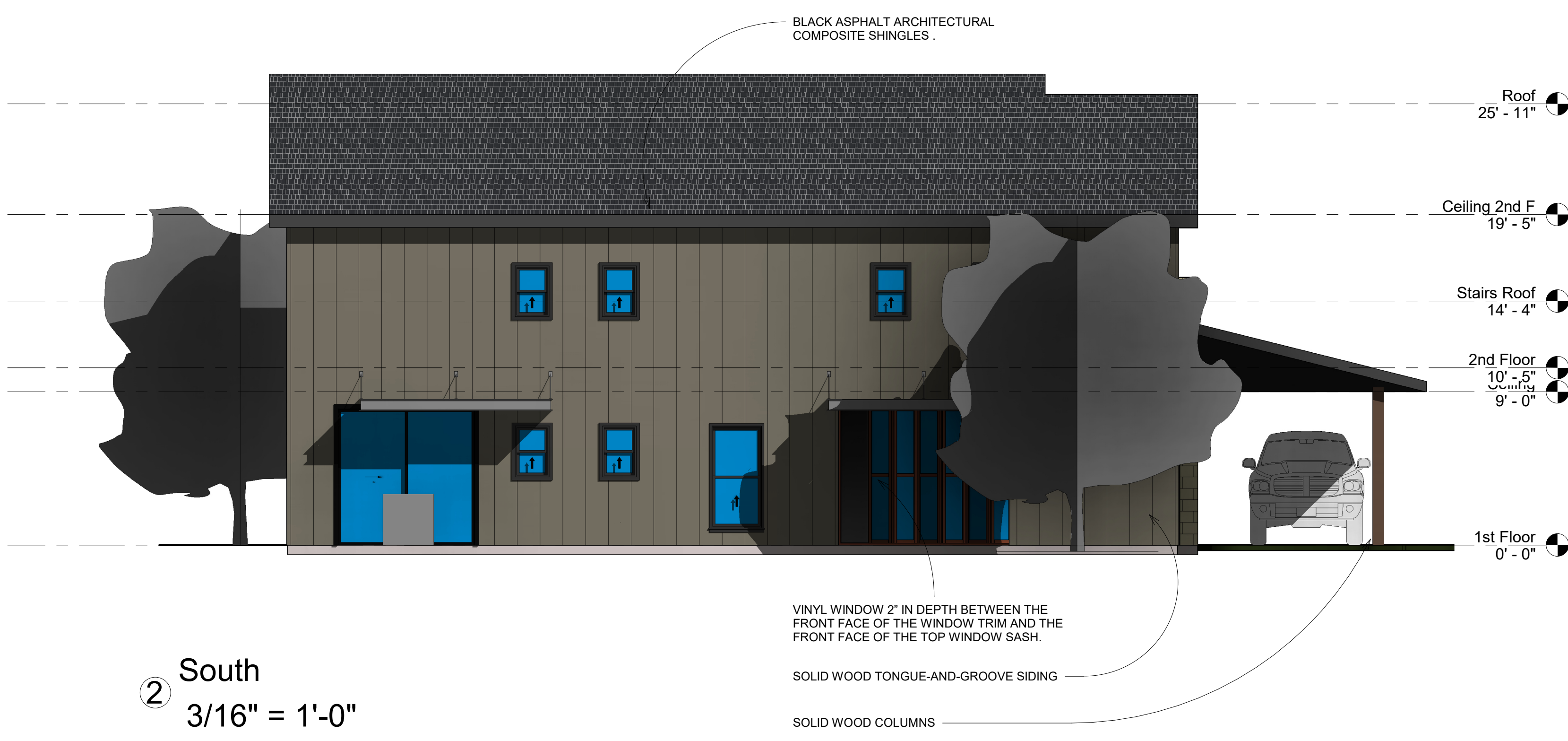
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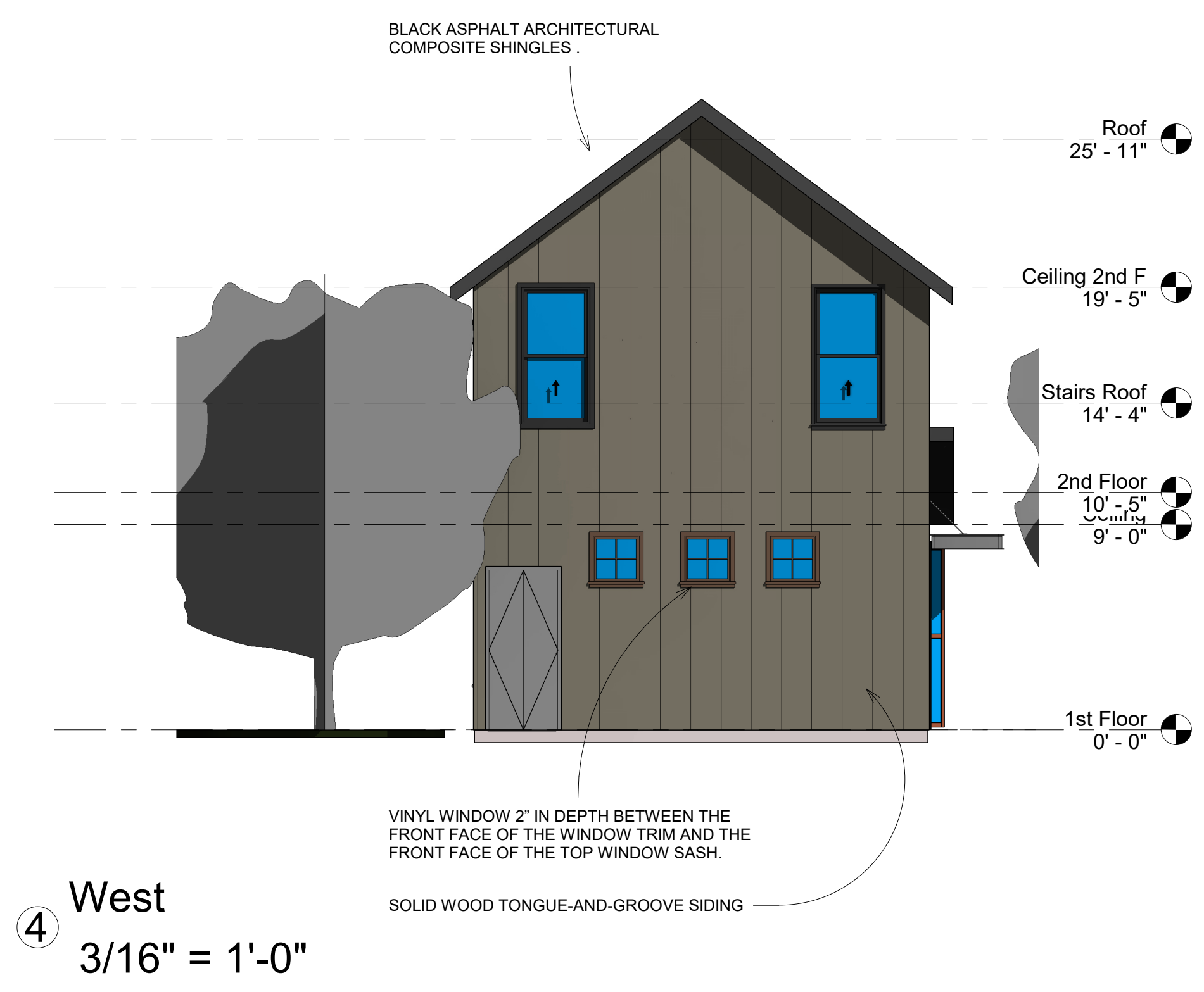
① North
3/16" = 1'-0"



③ East
3/16" = 1'-0"



② South
3/16" = 1'-0"



④ West
3/16" = 1'-0"

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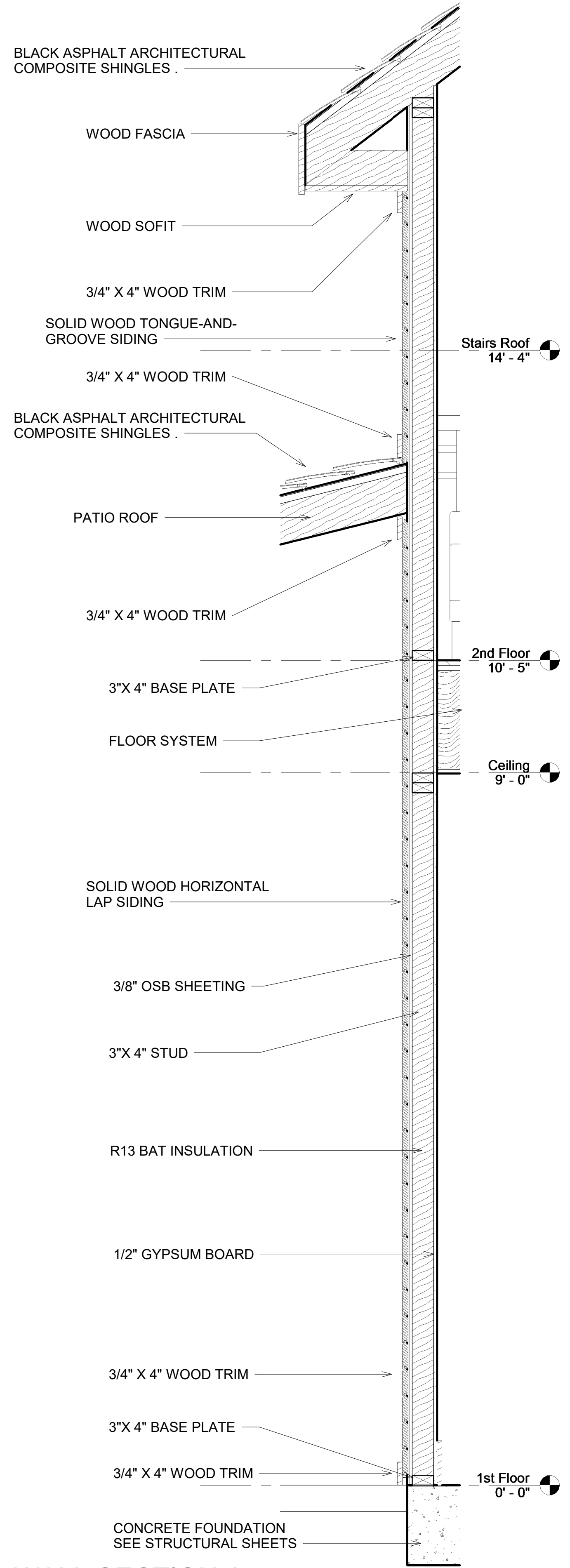
PALMETTO II SINGLE HOME

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 SAN ANTONIO, TX 78202

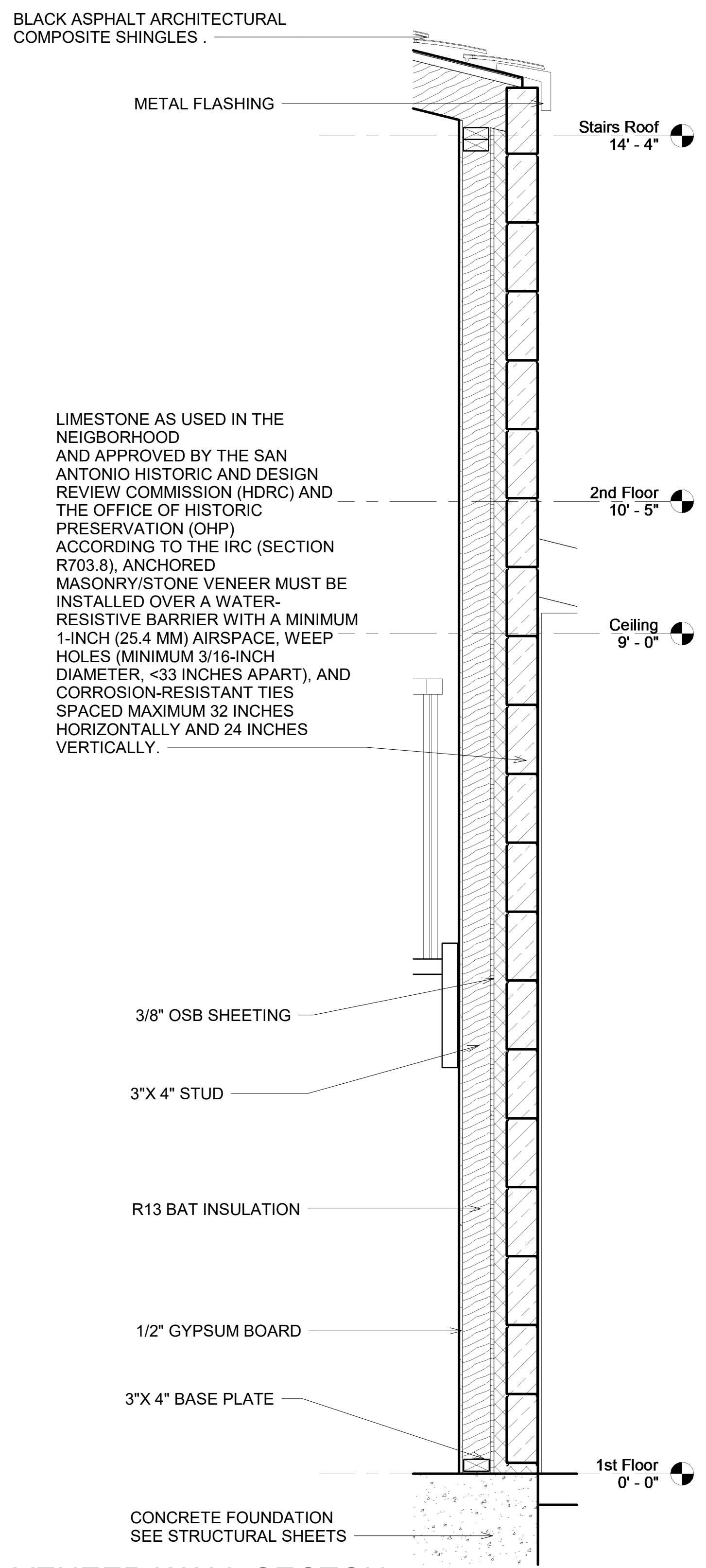
WALL SECTIONS

A105

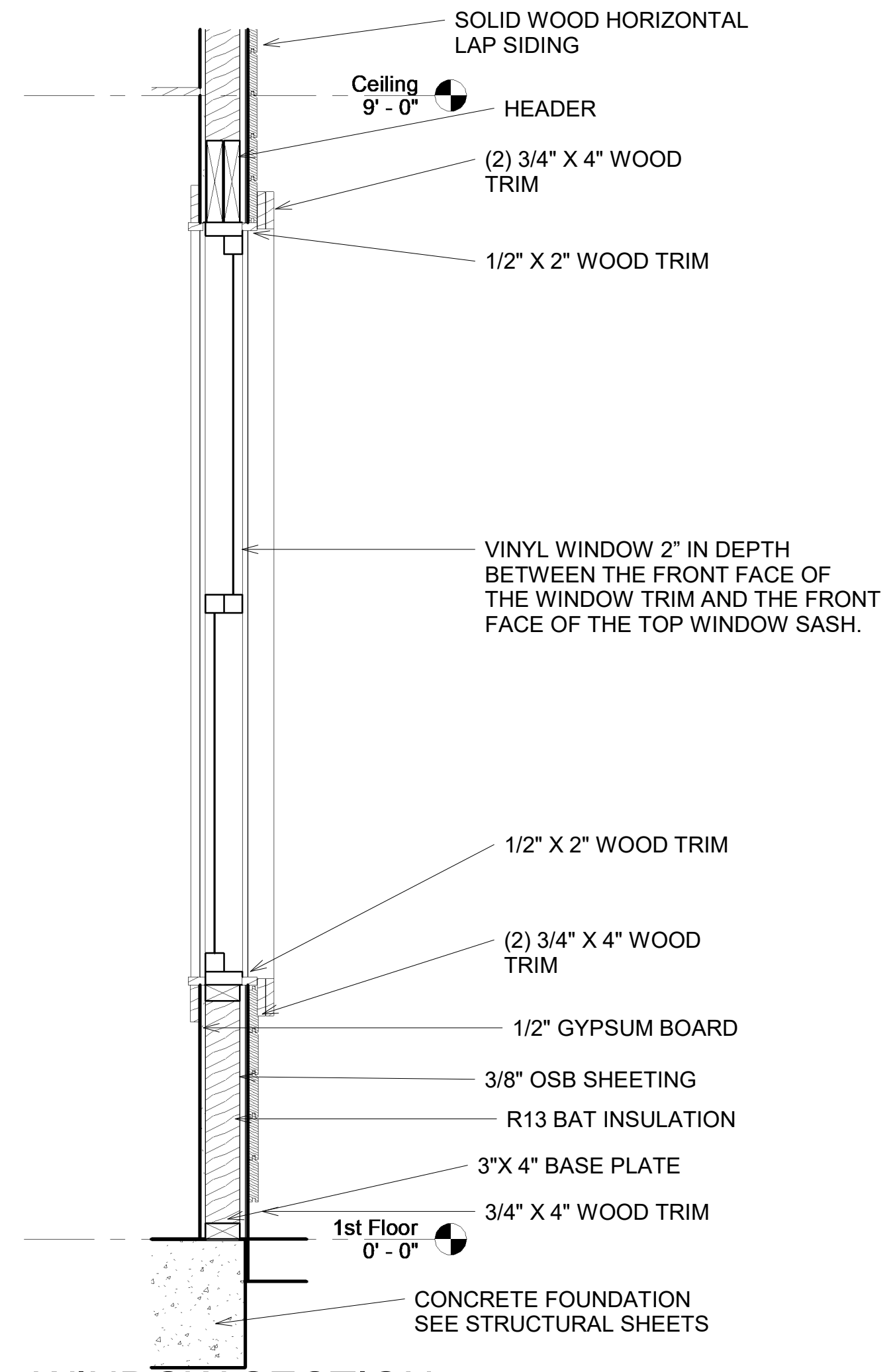
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① WALL SECTION 1
 1" = 1'-0"



② VENEER WALL SECTION
 1" = 1'-0"



③ WINDOW SECTION
 1" = 1'-0"

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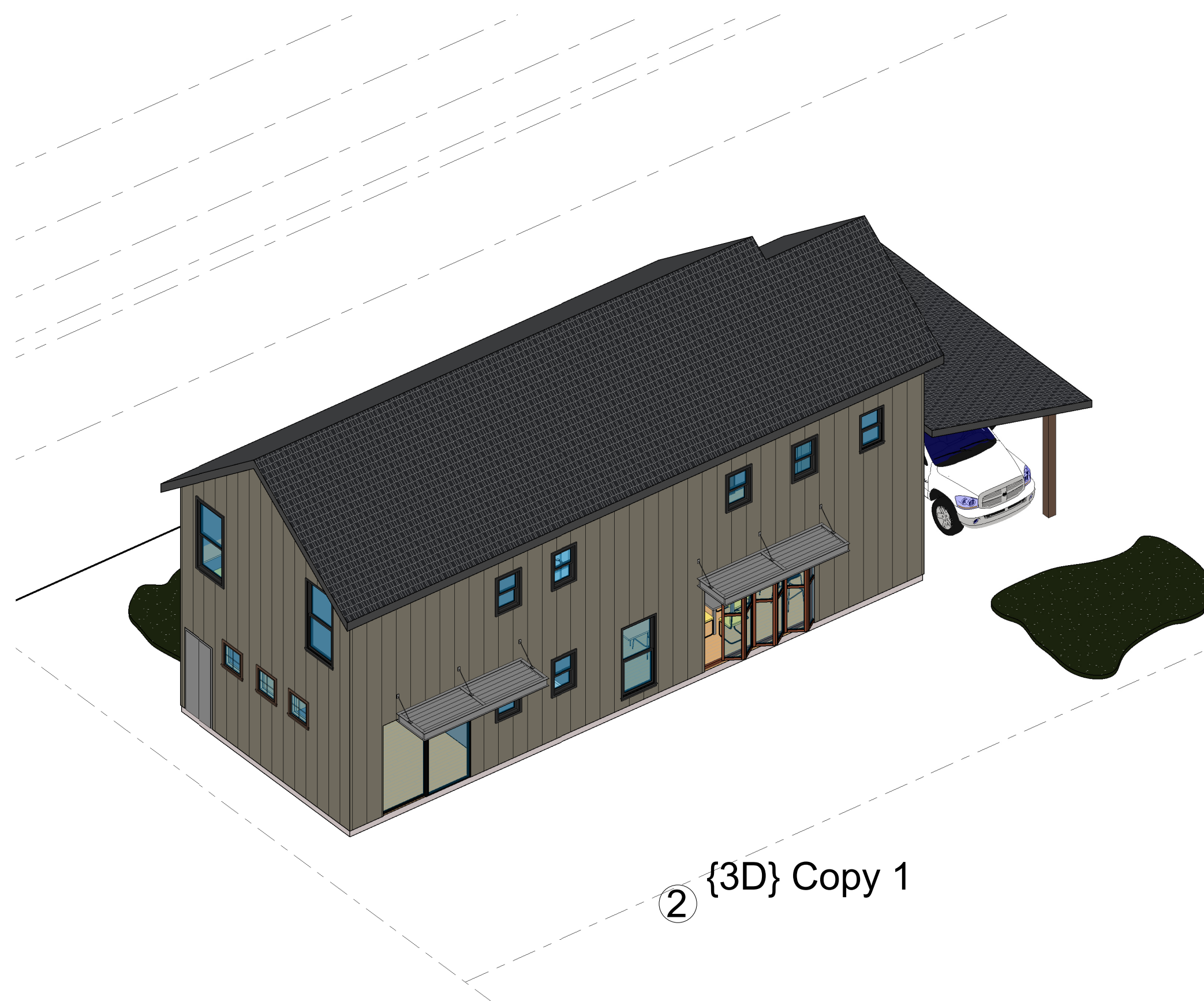
**PALMETTO II
SINGLE HOME**

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3D VIEW

A106

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② {3D} Copy 1