

District 3 Aquatics Facility



PUBLIC WORKS

PARKS & RECREATION



3110 Roosevelt Avenue
San Antonio, Texas

DATE OF ISSUE
18 NOVEMBER 2025

RIALTO STUDIO
PROJECT NUMBER
23010

COSA PROJECT NUMBER
23-03971

CLIENT PROJECT MANAGER
Desiree Salmon, PLA SITES AP
Assistant Capital Program Manager
City of San Antonio Public Works
Capital Delivery Department

MAYOR of SAN ANTONIO
Gina Ortiz Jones

CITY COUNCIL

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Misty Spears	District 9
Marc Whyte	District 10

VICINITY MAP



SHEET INDEX:

LANDSCAPE ARCHITECT

Rialto Studio, Inc.
210.828.1155

CIVIL ENGINEER

Gessner Engineering
210.877.GESSNER

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- C1001 Civil Erosion Control Notes
- C1100 Civil Details
- C1101 Civil Details
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ARCHITECT

Ford Powell Carson Architects & Planners
210.226.1246

AQUATICS ENGINEER

Brannon Corp Engineering & Consulting
903.597.2122

ARCHITECTURE

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- A001 Site Plan
- A101.1 Floor Plan
- A102.1 Reflected Ceiling Plans
- A103 Roof Plan
- A201 Exterior Elevations
- A301 Building Sections
- A320 Wall Sections
- A401 Enlarged Plans
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- A450 Interior Elevations
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- A452 Interior Elevations
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- SP1.2 Pool Dimensions
- SP1.3 Pool Dimensions Add Alternate #1
- SP1.4 Pool Dimensions Add Alternate #1
- SP1.5 Pool Equipment
- SP1.6 Pool Equipment Add Alternate #1
- SP1.7 Pool Equipment Add Alternate #1
- SP2.0 Pool Plumbing
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- SP3.2 Pool Mechanical Room Sections
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- SP4.1 Pool Sections
- SP5.0 Pool Details
- SP5.1 Pool Details
- SP5.2 Pool Details
- SP6.0 Pool Electrical Notes
- SP6.1 Pool Electrical Plan
- SP6.2 Pool Electrical Plan Add Alternate #1

STRUCTURAL ENGINEER

Intelligent Engineering Services, LLP
210.349.9098

MEP ENGINEER

CNG Engineering, PLLC
210.224.8841

COMMUNICATIONS CONSULTANT

DataCom Design Group
210.698.6455

STRUCTURAL ENGINEERING

- S001 Structural Notes
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- S004 Live Load Floor Plan
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- E3.0 Electrical Details
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- P3.1 Plumbing Details
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- T100 Site Plan - Communications
- T101-1 Floor Plan - Communications
- T301 Telecom Room Details - Communications
- T401 General Details - Communications

GENERAL NOTES:

- LIMIT OF WORK SHOWN IS DIAGRAMMATICAL IN NATURE. WORK SHALL EXTEND AS REQUIRED TO COMPLETE WORK IDENTIFIED IN THE CONSTRUCTION DRAWINGS.
- CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY EXISTING CONDITIONS THAT WILL PREVENT CONSTRUCTION AS DETAILED. IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION AS DOCUMENTED.
- EXAMINE THE AREAS AND CONDITIONS UNDER WHICH SITE WORK IS PERFORMED. REPORT ANY DISCREPANCIES WITH THE PLAN TO THE OWNER'S REPRESENTATIVE. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
- PRIOR TO MAKING ANY EXCAVATION, CONTACT ALL UTILITY COMPANIES TO LOCATE UNDERGROUND UTILITIES.
- CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO PROTECT EXISTING UTILITIES AT ALL TIMES.
- ANY EXISTING SITE IMPROVEMENT OR UTILITY REMOVED, DAMAGED OR UNDERCUT BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE OWNER'S REPRESENTATIVE (AND APPROVED BY THE RESPECTIVE UTILITY, IF NECESSARY) AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER CONDITION ANY DAMAGES TO EXISTING BUILDINGS, STRUCTURES, PAVING OR LANDSCAPE OR ANY PUBLIC OR PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS DURING INSTALLATION, ESTABLISHMENT, OR DURING THE SPECIFIED MAINTENANCE PERIOD. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY EXISTING DAMAGES PRIOR TO THE START OF CONSTRUCTION AND REPORT THIS TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING PERMITS, TESTS, APPROVALS, INSPECTIONS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT, INCLUDING ASSOCIATED FEES FOR EACH UNLESS OTHERWISE AGREED TO PRIOR TO OR DURING CONTRACTING.
- PROVIDE AN IN-PROGRESS SET AND FINAL AS-BUILT DRAWINGS OF FOUND UNDERGROUND UTILITIES, IRRIGATION, ELECTRICAL WIRING AND EQUIPMENT, AND OTHER EXISTING CONDITIONS THAT WILL IMPACT CONSTRUCTION AND MAKE AVAILABLE TO OTHER TRADES.
- SURVEY INFORMATION IS PROVIDED BY OWNER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS, ELEVATIONS AND DIMENSIONS.
- LOCATE, PROTECT, AND MAINTAIN BENCHMARKS, MONUMENTS, CONTROL POINTS, AND PROJECT ENGINEERING REFERENCE POINTS. RE-ESTABLISH DISTURBED OR DESTROYED ITEMS AT CONTRACTOR'S EXPENSE.
- ALL DIMENSIONS SHALL BE VERIFIED ON SITE. NOTIFY THE OWNER'S REPRESENTATIVE IF THERE ARE ANY DISCREPANCIES BEFORE PROCEEDING W/ THE WORK.
- CONTRACTOR'S BID SHALL INCLUDE STAKING BY SURVEYOR FOR ACCURATE HORIZONTAL AND VERTICAL LAYOUT OF IMPROVEMENTS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED REQUIREMENTS. ALIGNMENTS TAKE PRECEDENCE OVER WRITTEN DIMENSIONS. REPORT ANY DISCREPANCIES WITH THE PLAN TO THE LANDSCAPE ARCHITECT. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
- DIMENSIONS INDICATED ON PLANS ARE FOR HORIZONTAL CONTROL AND ARE ACCURATE IF MEASURED ON A LEVEL LINE. MEASURE HORIZONTAL CONTROL DIMENSIONS ON A LEVEL LINE, NOT PARALLEL WITH GROUND SLOPE.
- ALL DIMENSIONS TAKEN FROM VERTICAL SURFACES, I.E. CURBS & WALLS, ARE UNDERSTOOD TO BE MEASURED FROM THE FACE OF THE VERTICAL ELEMENT UNLESS OTHERWISE SPECIFIED.
- "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY VERTICAL AND HORIZONTAL.
- DIGITAL FILES MAY BE PROVIDED TO CONTRACTOR IF REQUESTED TO AID IN THE LAYOUT OF IMPROVEMENTS. DIGITAL FILES DO NOT SUPERSEDE WRITTEN DIMENSIONS OR ALIGNMENTS INDICATED ON PLANS.
- NO WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENTS HAVE NOT BEEN COMPLETED AND APPROVED.
- CONTRACTOR SHALL PERFORM ALL WORK WITH AS LITTLE SITE DISTURBANCE AS POSSIBLE WITHIN THE ROOT PROTECTION ZONES OR CRITICAL ROOT ZONES OF EXISTING TREES TO REMAIN. ANY PROPOSED WORK INSIDE OF THE TREE PROTECTION FENCE AND OR OUTSIDE OF THE LIMIT OF WORK SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE BEGINNING OF WORK.
- ALL DISTURBED AREAS, OTHER THAN PAVED AREAS, SHALL BE RE-VEGETATED, WATERED, AND REESTABLISHED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCKPILES AND WORK FROM VANDALISM, EROSION, OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- CONTRACTOR SHALL KNOW, UNDERSTAND, AND ABIDE BY ANY EROSION AND SEDIMENTATION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE.
- CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS, AND ALL OTHER POLLUTANTS FROM EXISTING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- CONTRACTOR SHALL PROVIDE FENCING AROUND PROJECT SITE DURING CONSTRUCTION.
- REFER TO CIVIL DRAWINGS FOR ALL UTILITY LOCATIONS AND FOR LAYOUT AND DETAILING OF ROADS & PARKING LOTS.
- COORDINATE ALL DEMOLITION AND CONSTRUCTION ACTIVITIES PRIOR TO COMMENCEMENT WITH FACILITY STAFF TO ENSURE SAFETY OF PATRONS.
- CONTRACTOR SHALL ERECT LIMITS OF WORK BARRICADES AT DIRECTION OF OWNER, SO THAT PEDESTRIAN CIRCULATION MAY CONTINUE UNINTERRUPTED, AS NECESSARY.
- CONTRACTOR SHALL PROVIDE FOR CONTINUOUS VEHICULAR SITE ACCESS AS REQUIRED BY OWNER AT OWNER'S DIRECTION.

UNDERGROUND UTILITIES:



EVERY PROJECT THAT INVOLVES DIGGING NEEDS TO BE LOCATED BEFORE GROUND IS BROKEN. TEXAS LAW REQUIRES EXCAVATORS TO CONTACT 811 TWO-BUSINESS DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) BEFORE EXCAVATING.

SPECIAL PROJECT CONSTRUCTION NOTES

- THIS PROJECT WILL BE CONSTRUCTED ON CITY-OWNED PROPERTY THAT IS ZONED FOR INFILL DEVELOPMENT.
- THE PROPERTY IS SURROUNDED BY DEVELOPED PROPERTIES THAT WILL BE IN ACTIVE USE FOR THE DURATION OF THE CONSTRUCTION PERIOD AND AS SUCH CERTAIN CONDITIONS WILL APPLY:
 - THE PAVED ACCESS DRIVEWAY FOR THIS PROJECT IS SHARED WITH A NEIGHBORING USE THAT HAS NO OTHER MEANS OF VEHICULAR ACCESS. ALL CONSTRUCTION, DELIVERY, SUPPORT, AND INSPECTION PERSONNEL AND VEHICLES MUST MAINTAIN FREE AND SAFE ACCESS TO THE YMCA FACILITIES AT ALL TIMES DURING WORK AND NON-WORKING HOURS.
 - CONSTRUCTION PERSONNEL SHALL BE PROHIBITED FROM USING OFF-SITE PARKING AREAS, BUILDINGS, RESTROOMS, UTILITIES, SIDEWALKS, AND OTHER EXTERIOR OR INTERIOR AREAS OF NEIGHBORING PROPERTIES AT ANY TIME DURING THE DURATION OF WORK FOR CONSTRUCTION-RELATED ACTIVITIES INCLUDING PARKING DURING DAILY WORK HOURS.
 - CONTRACTOR SHALL PROVIDE RESTROOM FACILITIES FOR CONSTRUCTION PERSONNEL AND WITHIN THE PROJECT LIMITS OF WORK THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CLEANUP AND REPAIR OF DAMAGES TO STREETS, SIDEWALKS, SIGNS, LANDSCAPING, LIGHTS, ETC. INCURRED BY HIS PERSONNEL, HIS SUBCONTRACTOR'S PERSONNEL, AND ANY AND ALL DELIVERY OR SERVICE PERSONNEL. CONTRACTOR SHALL PROVIDE NOTIFICATION, INCLUDING PHOTOGRAPHS, OF EXISTING DAMAGE TO PAVEMENT, SIDEWALKS AND CURBS PRIOR TO HIS OCCUPANCY.
- CERTAIN PRODUCTS REQUIRED FOR THE COMPLETION OF THE WORK AS DESIGNED WILL REQUIRE LENGTHY LEAD TIMES FOR FABRICATION AND DELIVERY. SUBMITTAL FOR APPROVAL OF LONG-LEAD PRODUCTS WILL BE REQUIRED WITHIN 60 DAYS OF NOTICE TO PROCEED SO AS NOT TO CAUSE DELAYS IN CONSTRUCTION SEQUENCING AND PHASING.
- CERTAIN CONSTRUCTION ACTIVITIES WILL BE SCHEDULE-DEPENDENT. REFER TO PLANTING PLANS FOR REQUIRED PERFORMANCE SCHEDULE.
- CERTAIN DESIGN COMPONENTS WILL BE PROVIDED BY A SEPARATE CONTRACTOR. REFER TO FOLLOWING SHEETS FOR EXPLANATION OF PROJECT SCOPE.
- THE CITY OF SAN ANTONIO SHALL PROVIDE QUALITY ASSURANCE FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS TESTING.

Bexar CAD - Property Details

<https://bexar.trueautomation.com/clientdb/Property.aspx?cid=110&prop...>

Bexar CAD

Property Search > 1254168 CITY OF SAN ANTONIO for Year 2023 Tax Year: 2023

Property

Account			
Property ID:	1254168	Legal Description:	NCB 7675 (MISSION DRIVE IN), LOT 45
Geographic ID:	07675-000-0450	Zoning:	IDZ
Type:	Real	Agent Code:	
Property Use Code:	5000		
Property Use Description:	EXEMPT - TOTAL EXEMPT		
Protest			
Protest Status:			
Informal Date:			
Formal Date:			
Location			
Address:	ROOSEVELT AVE SAN ANTONIO, TX 78214	Mapsco:	651A5
Neighborhood:	NBHD code12320	Map ID:	
Neighborhood CD:	12320		
Owner			
Name:	CITY OF SAN ANTONIO	Owner ID:	182751
Mailing Address:	PO BOX 839966 SAN ANTONIO, TX 78283-3966	% Ownership:	100.000000000000%
		Exemptions:	EX-XV

Values

(+) Improvement Homesite Value:	+	N/A
(+) Improvement Non-Homesite Value:	+	N/A
(+) Land Homesite Value:	+	N/A
(+) Land Non-Homesite Value:	+	N/A Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	N/A N/A
(+) Timber Market Valuation:	+	N/A N/A

(=) Market Value:	=	N/A
(-) Ag or Timber Use Value Reduction:	-	N/A

(=) Appraised Value:	=	N/A
(-) HS Cap:	-	N/A

(-) Assessed Value:	=	N/A

Taxing Jurisdiction

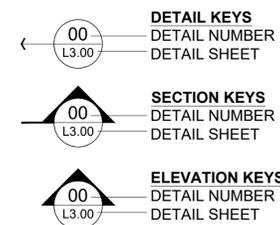
Owner: CITY OF SAN ANTONIO
 % Ownership: 100.000000000000%
 Total Value: N/A

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
06	BEXAR CO RD & FLOOD	N/A	N/A	N/A	N/A
08	SA RIVER AUTH	N/A	N/A	N/A	N/A

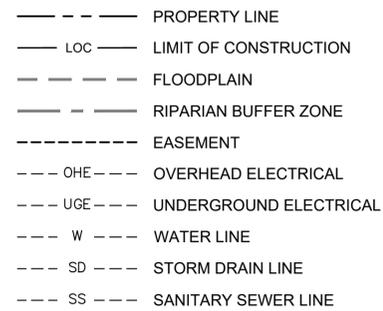
ABBREVIATIONS:

- BS BOTTOM OF STAIR
- CAL CALIPER
- CL CENTERLINE
- CMU CONCRETE MASONRY UNIT
- CONC CONCRETE
- CONT CONTAINER
- CY CUBIC YARD
- DIA DIAMETER
- DIM DIMENSION
- DWG(S) DRAWING(S)
- EA EACH
- ELEV ELEVATION
- EJ EXPANSION JOINT
- EX EXISTING
- FFE FINISH FLOOR ELEVATION
- FG FINISH GRADE
- FT FEET
- HT HEIGHT
- HP HIGH POINT
- IN INCHES
- INV INVERT
- IRR IRRIGATION
- LP LOW POINT
- MAX MAXIMUM
- MIN MINIMUM
- NTS NOT TO SCALE
- OC ON CENTER
- OCEW ON CENTER EACH WAY
- PL PROPERTY LINE
- R RADIUS
- REF REFER TO
- ROW RIGHT OF WAY
- RPZ ROOT PROTECTION ZONE
- SCH SCHEDULE
- SF SQUARE FOOT
- SIM SIMILAR
- SJ SCORE JOINT
- STD SLOPE TO DRAIN
- SS STAINLESS STEEL
- STL STEEL
- SY SQUARE YARD
- TS TOP OF STAIR
- TP TOP OF PAVING
- TC TOP OF COLUMN
- TD TOP OF DRAIN
- TW TOP OF WALL
- TF TOP OF FENCE
- TYP TYPICAL
- UON UNLESS OTHERWISE NOTED
- W/ WITH
- W/O WITHOUT

DETAIL SYMBOL LEGEND:



LINE TYPE LEGEND



**RIALTO
STUDIO**

Rialto Studio, Inc.
 Landscape Architecture
 2425 Broadway
 San Antonio, Texas 78215
 210.828.1155



**District 3
Aquatics Facility
San Antonio, TX**

ISSUE DATE 10/30/2025

REVISION

PROJECT NUMBER 23010
 DRAWN BY SFA
 CHECKED BY BE
 SCALE

SHEET TITLE

**GENERAL
PROJECT
NOTES AND
INFORMATION**

SHEET NUMBER

G1.00



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PROJECT NUMBER 23010

DRAWN BY SFA

CHECKED BY BE

SCALE 1"=30'-0"

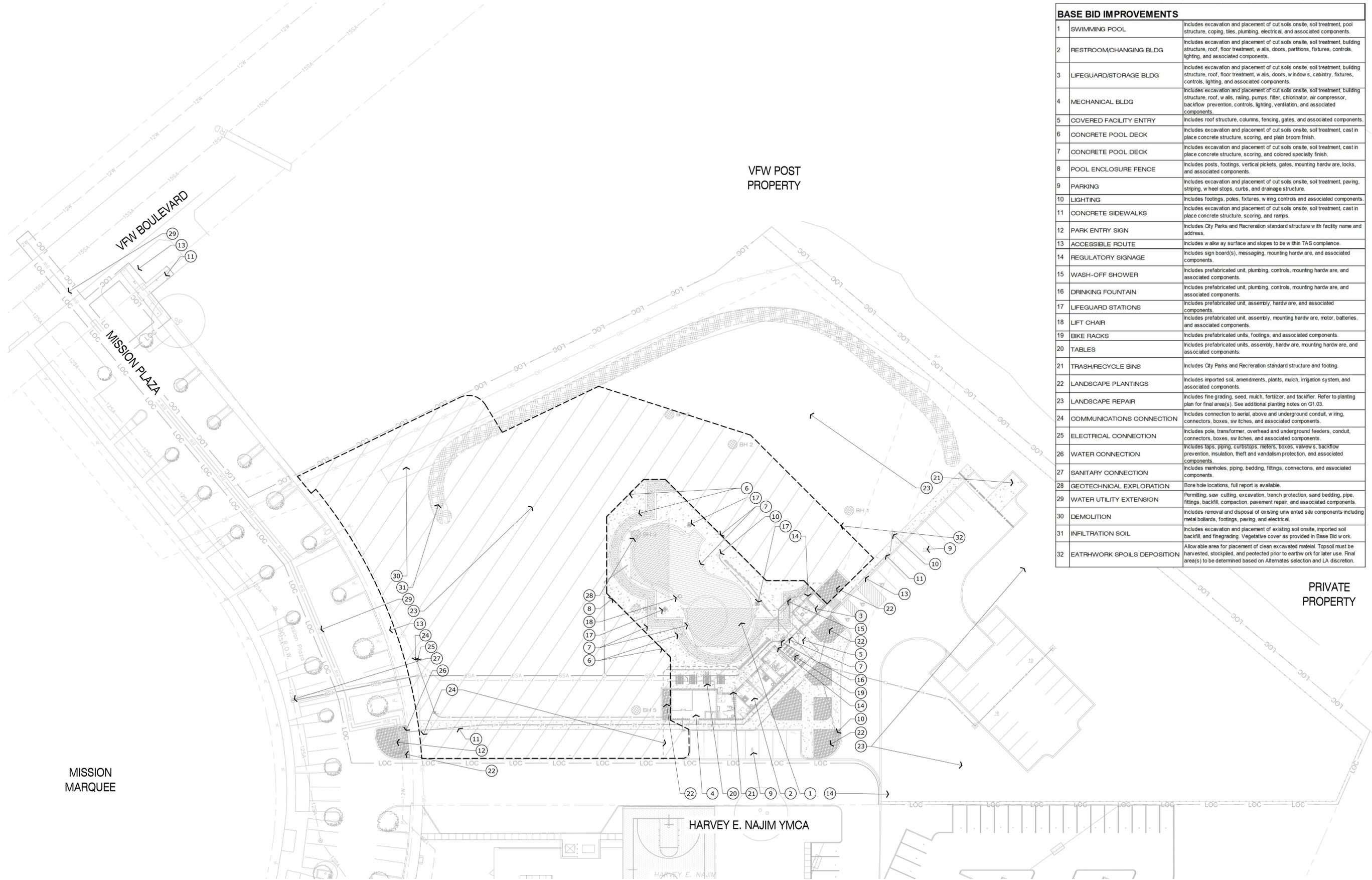
SHEET TITLE

**BASE BID
IMPROVEMENTS
PLAN**

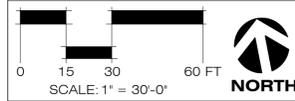
SHEET NUMBER

G1.01

BASE BID IMPROVEMENTS		
1	SWIMMING POOL	Includes excavation and placement of cut soils onsite, soil treatment, pool structure, coping, tiles, plumbing, electrical, and associated components.
2	RESTROOM/CHANGING BLDG	Includes excavation and placement of cut soils onsite, soil treatment, building structure, roof, floor treatment, w alls, doors, partitions, fixtures, controls, lighting, and associated components.
3	LIFEGUARD/STORAGE BLDG	Includes excavation and placement of cut soils onsite, soil treatment, building structure, roof, floor treatment, w alls, doors, w indows, cabinetry, fixtures, controls, lighting, and associated components.
4	MECHANICAL BLDG	Includes excavation and placement of cut soils onsite, soil treatment, building structure, roof, w alls, railing, pumps, filter, chlorinator, air compressor, backflow prevention, controls, lighting, ventilation, and associated components.
5	COVERED FACILITY ENTRY	Includes roof structure, columns, fencing, gates, and associated components.
6	CONCRETE POOL DECK	Includes excavation and placement of cut soils onsite, soil treatment, cast in place concrete structure, scoring, and plain broom finish.
7	CONCRETE POOL DECK	Includes excavation and placement of cut soils onsite, soil treatment, cast in place concrete structure, scoring, and colored specialty finish.
8	POOL ENCLOSURE FENCE	Includes posts, footings, vertical pickets, gates, mounting hardw are, locks, and associated components.
9	PARKING	Includes excavation and placement of cut soils onsite, soil treatment, paving, striping, w heel stops, curbs, and drainage structure.
10	LIGHTING	Includes footings, poles, fixtures, w iring, controls and associated components.
11	CONCRETE SIDEWALKS	Includes excavation and placement of cut soils onsite, soil treatment, cast in place concrete structure, scoring, and ramps.
12	PARK ENTRY SIGN	Includes City Parks and Recreation standard structure w ith facility name and address.
13	ACCESSIBLE ROUTE	Includes w alkway surface and slopes to be w ithin TAS compliance.
14	REGULATORY SIGNAGE	Includes sign board(s), messaging, mounting hardw are, and associated components.
15	WASH-OFF SHOWER	Includes prefabricated unit, plumbing, controls, mounting hardw are, and associated components.
16	DRINKING FOUNTAIN	Includes prefabricated unit, plumbing, controls, mounting hardw are, and associated components.
17	LIFEGUARD STATIONS	Includes prefabricated unit, assembly, hardw are, and associated components.
18	LIFT CHAIR	Includes prefabricated unit, assembly, mounting hardw are, motor, batteries, and associated components.
19	BIKE RACKS	Includes prefabricated units, footings, and associated components.
20	TABLES	Includes prefabricated units, assembly, hardw are, mounting hardw are, and associated components.
21	TRASH/RECYCLE BINS	Includes City Parks and Recreation standard structure and footing.
22	LANDSCAPE PLANTINGS	Includes imported soil, amendments, plants, mulch, irrigation system, and associated components.
23	LANDSCAPE REPAIR	Includes fine grading, seed, mulch, fertilizer, and tackifier. Refer to planting plan for final area(s). See additional planting notes on G1.03.
24	COMMUNICATIONS CONNECTION	Includes connection to aerial, above and underground conduit, w iring, connectors, boxes, sw itches, and associated components.
25	ELECTRICAL CONNECTION	Includes pole, transformer, overhead and underground feeders, conduit, connectors, boxes, sw itches, and associated components.
26	WATER CONNECTION	Includes taps, piping, curbslips, meters, boxes, valves, backflow prevention, insulation, theft and vandalism protection, and associated components.
27	SANITARY CONNECTION	Includes manholes, piping, bedding, fittings, connections, and associated components.
28	GEOTECHNICAL EXPLORATION	Bore hole locations, full report is available.
29	WATER UTILITY EXTENSION	Permitting, saw cutting, excavation, trench protection, sand bedding, pipe, fittings, backfill, compaction, pavement repair, and associated components.
30	DEMOLITION	Includes removal and disposal of existing un w anted site components including metal bollards, footings, paving, and electrical.
31	INFILTRATION SOIL	Includes excavation and placement of existing soil onsite, imported soil backfill, and finegrading. Vegetative cover as provided in Base Bid w ork.
32	EATHWORK SPOILS DEPOSITION	Allow able area for placement of clean excavated material. Topsoil must be harvested, stockpiled, and protected prior to earthw ork for later use. Final area(s) to be determined based on Alternates selection and LA discretion.



PRIVATE
PROPERTY



MISSION
MARQUEE

HARVEY E. NAJIM YMCA

VFW POST
PROPERTY

VFW BOULEVARD

MISSION PLAZA



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STUDIO**

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210.828.1155



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DRAWN BY SFA

CHECKED BY BE

SCALE 1"=30'-0"

SHEET TITLE

**ADD
ALTERNATES
PLAN**

SHEET NUMBER

G1.02

ALTERNATE 1 IMPROVEMENTS	
1.1 LAZY RIVER	Includes excavation and placement of cut soils onsite, soil treatment, pool structure, coping, tiles, plumbing, electrical, and associated components.
1.2 CONCRETE POOL DECK	Includes excavation and placement of cut soils onsite, soil treatment, cast in place concrete structure, scoring, and plain broom finish.
1.3 CONCRETE POOL DECK	Includes excavation and placement of cut soils onsite, soil treatment, cast in place concrete structure, scoring, and colored specialty finish.
1.4 POOL ENCLOSURE FENCE	Includes posts, footings, vertical pickets, gates, mounting hardware, locks, and associated components.
1.5 PARKING	Includes excavation and placement of cut soils onsite, soil treatment, paving, striping, w heel stops, curbs, and drainage structure.
1.6 LIGHTING	Includes footings, poles, fixtures, wiring, controls and associated components.
1.7 REGULATORY SIGNAGE	Includes sign board(s), messaging, mounting hardware, and associated components.
1.8 LIFEGUARD STATIONS	Includes prefabricated unit, assembly, hardware, and associated components.

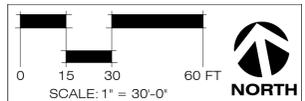
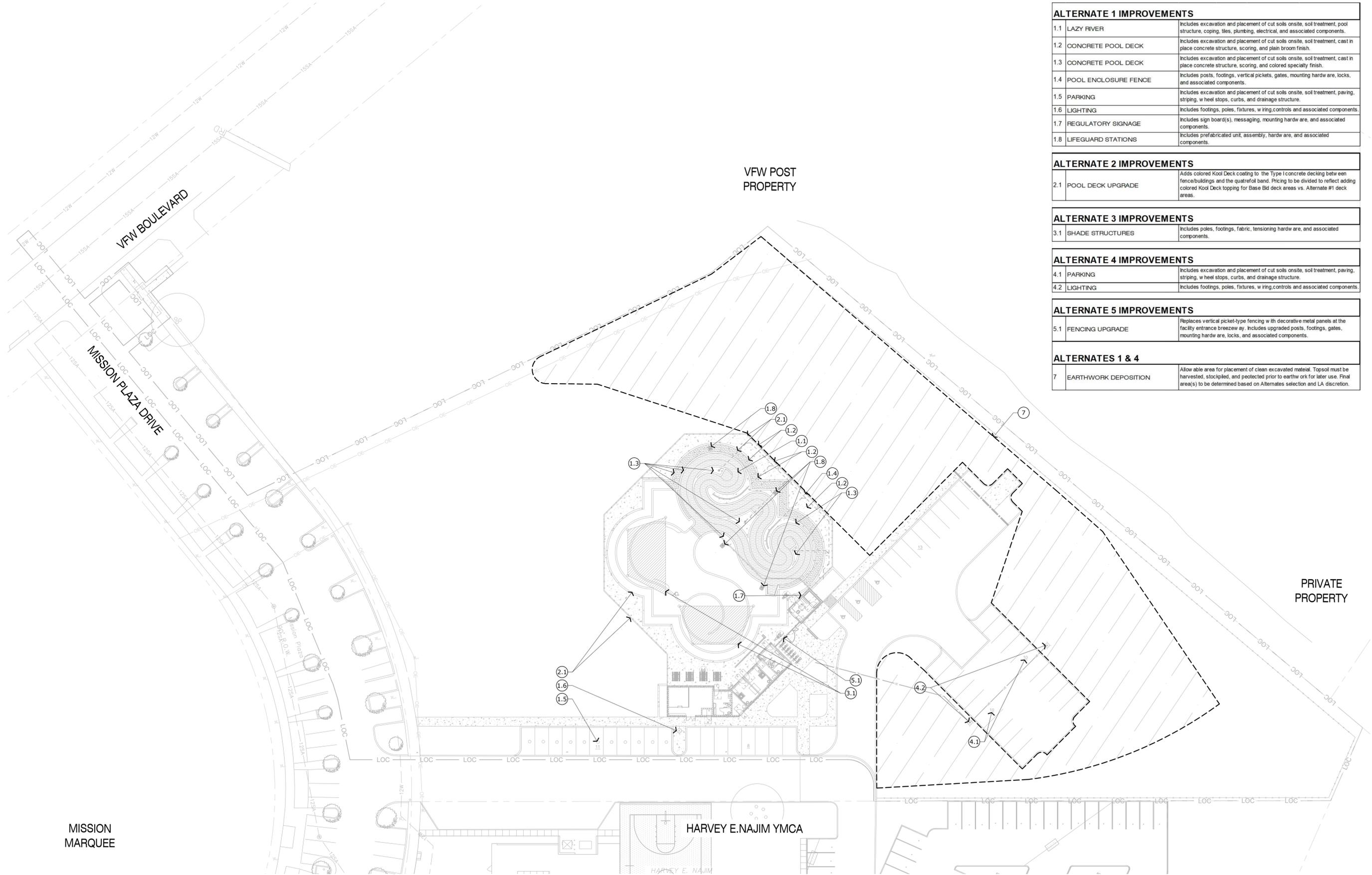
ALTERNATE 2 IMPROVEMENTS	
2.1 POOL DECK UPGRADE	Adds colored Kool Deck coating to the Type I concrete decking between fence/buildings and the quarter of band. Pricing to be divided to reflect adding colored Kool Deck topping for Base Bid deck areas vs. Alternate #1 deck areas.

ALTERNATE 3 IMPROVEMENTS	
3.1 SHADE STRUCTURES	Includes poles, footings, fabric, tensioning hardware, and associated components.

ALTERNATE 4 IMPROVEMENTS	
4.1 PARKING	Includes excavation and placement of cut soils onsite, soil treatment, paving, striping, w heel stops, curbs, and drainage structure.
4.2 LIGHTING	Includes footings, poles, fixtures, wiring, controls and associated components.

ALTERNATE 5 IMPROVEMENTS	
5.1 FENCING UPGRADE	Replaces vertical picket-type fencing with decorative metal panels at the facility entrance breezeway. Includes upgraded posts, footings, gates, mounting hardware, locks, and associated components.

ALTERNATES 1 & 4	
7 EARTHWORK DEPOSITION	Allowable area for placement of clean excavated material. Topsoil must be harvested, stockpiled, and protected prior to earthwork for later use. Final area(s) to be determined based on Alternates selection and LA discretion.



MISSION
MARQUEE

HARVEY E. NAJIM YMCA

VFW POST
PROPERTY

PRIVATE
PROPERTY

Bexar CAD

Property Search > 1254168 CITY OF SAN ANTONIO for Year 2023 Tax Year: 2023

Property

Account	Property ID: 1254168	Legal Description: NCB 7675 (MISSION DRIVE IN) LOT 45
	Geographic ID: 07675-000-0450	Zoning: IDZ
	Type: Real	Agent Code:
	Property Use Code: 3000	
	Property Use Description: EXEMPT - TOTAL EXEMPT	
Protest	Protest Status:	
	Informal Date:	
	Formal Date:	
Location	Address: ROOSEVELT AVE SAN ANTONIO, TX 78214	Mapset: 651A5
	Neighborhood: WIND code 12320	Map ID:
	Neighborhood CD: 12320	
Owner	Name: CITY OF SAN ANTONIO	Owner ID: 182751
	PO BOX: 03996	% Ownership: 100.000000000000
	Mailing Address: SAN ANTONIO, TX 78283-3996	Exemptions: EK,IV

Values

(+) Improvement Homestead Value:	N/A
(-) Improvement Non-Homestead Value:	N/A
(+) Land Homestead Value:	N/A
(+) Land Non-Homestead Value:	N/A Ag / Timber Use Value
(+) Agricultural Market Valuation:	N/A
(+) Timber Market Valuation:	N/A
(-) Market Value:	N/A
(-) Ag or Timber Use Value Reduction:	N/A
(+) Appraised Value:	N/A
(-) HS Cap:	N/A
(-) Assessed Value:	N/A

Taxing Jurisdiction

Owner:	CITY OF SAN ANTONIO				
% Ownership:	100.000000000000				
Total Value:	N/A				
Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
06	BEXAR CO RD & FLOOD	N/A	N/A	N/A	N/A
08	SA RIVER AUTH	N/A	N/A	N/A	N/A

LEGEND

-  PARKING LOT SHADING AREA
-  GROSS FLOOR AREA
- LOC LIMIT OF CONSTRUCTION
- PT 50% | 437 PARKING SHADE CREDIT
- TOTAL SF OF SHADE CREDIT
- PERCENTAGE OF SHADE CREDIT
- CT FINAL CANOPY CREDIT

CODE COMPLIANCE

PROPERTY DESCRIPTION

Property Description: NCB 7675 (MISSION DRIVE IN) Lot 45
 Owner's Representative: Kevin Sadler, San Antonio Public Works Department
 Zoning: IDZ
 Landscape water source: POTABLE WATER

PARKING:

35-526, Table 526-3b: Parking Requirements for Recreational Facility Gross Floor Area (buildings and aquatics area):	1.5/1000 SF GFA 12,645 SF
Automobile Parking Required	19 spaces
Automobile Parking Spaces Provided	21 spaces

35-343.01(k):
 The minimum parking requirements in subsection 35-526(b) shall not apply to IDZ-1. Within IDZ-2 and IDZ-3 the minimum parking requirements in subsection 35-526(b) may be reduced by fifty (50) percent.
 Automobile Parking Provided: 21 spaces
 Bicycle Parking Required for IDZ (25%): 6 spaces
 Bicycle Parking Spaces Provided: 8 spaces

LANDSCAPE:

MANDATORY CRITERIA

- Irrigation:**
Landscape areas shall be irrigated with a system that is suitable for the type of plantings installed. An in ground irrigation system consisting of water line, water emitters and a controller is required to have a separate water service if the San Antonio Water System is the purveyor.
- Parking Lot Shading:**
Canopy trees shall be provided to shade a minimum of 25% of a parking lot. Existing trees preserved on a site within 12 feet of any edge of a parking lot or in an island or peninsula not less than 9 feet by 18 feet shall be calculated at 100%. Newly planted trees planted in an island or peninsula not less than 9 feet by 18 feet shall be calculated at 75%. Newly planted trees planted adjacent to a parking lot within 12 feet of any edge of a parking lot shall be calculated at 50%. (20) points are awarded for compliance with this section.
- Landscape Requirements for IDZ Zoning:**
35-343.01(j). Only twenty-five (25) points shall be required under subsection 35-511(d) (elective criteria), for landscaping on lots within the 'IDZ' district.

PARKING LOT SHADING

Total Parking Area:	7,148 SF
SF of shade required @ 25% coverage:	1,787 SF

Proposed trees @ 25%:

Mexican Sycamore (1200)	
(3) trees x 600 =	1,800 SF
Red Oak (1200)	
(3) trees x 600 =	1,800 SF
TOTAL PARKING LOT SHADING PROVIDED:	3,600 SF

POINTS EARNED : 25

TREE PRESERVATION

Full credit in accordance with the criteria shall be earned for the preservation of trees within the Street yard up to thirty (30) points. Half credit may be earned for trees outside of the Street yard up to a maximum of fifteen (15) points.

No trees exist on this lot.

Landscape Points Earned

Parking Lot Shading	25 pts.
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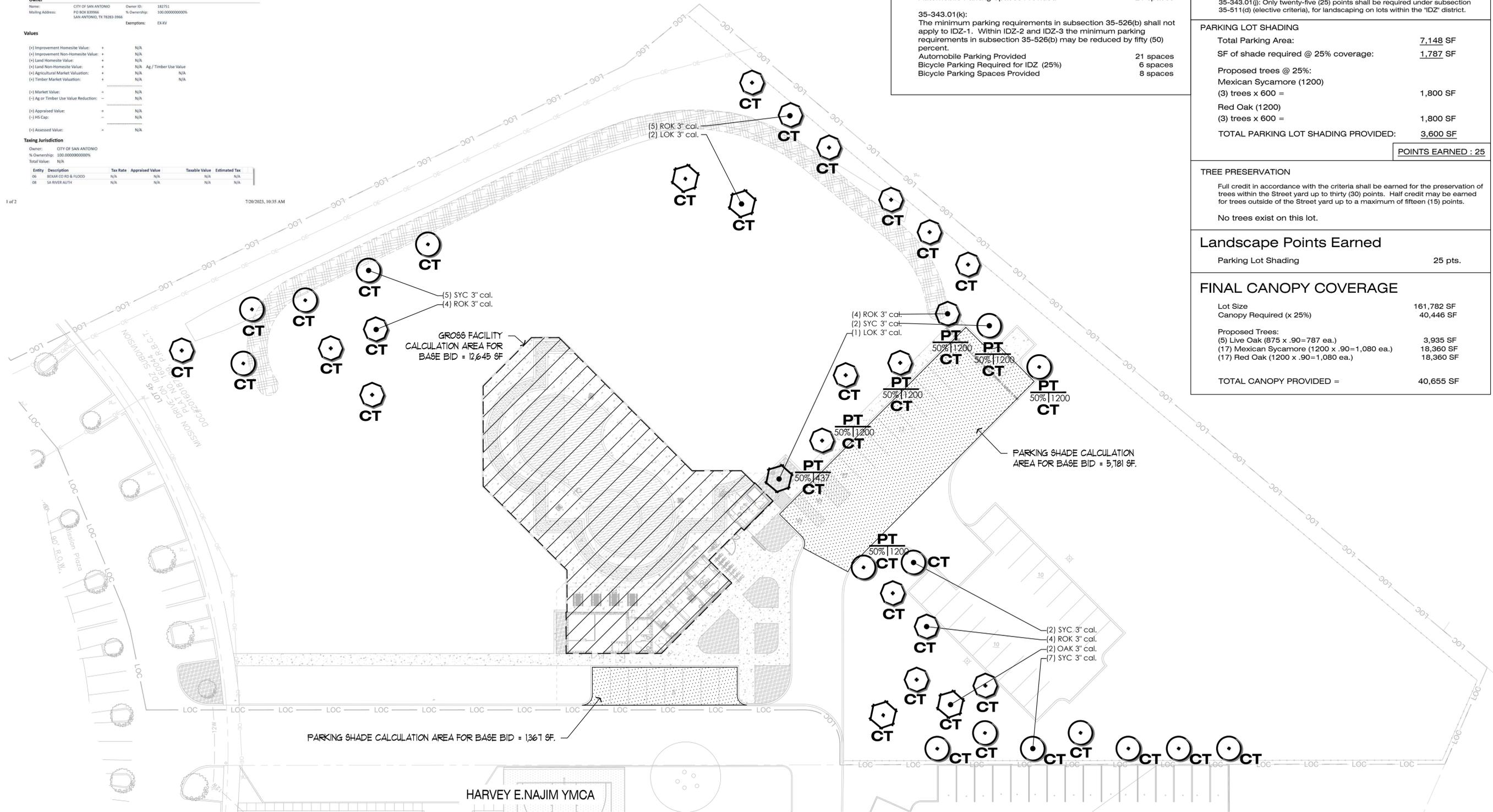
FINAL CANOPY COVERAGE

Lot Size	161,782 SF
Canopy Required (x 25%)	40,446 SF

Proposed Trees:

(5) Live Oak (875 x .90=787 ea.)	3,935 SF
(17) Mexican Sycamore (1200 x .90=1,080 ea.)	18,360 SF
(17) Red Oak (1200 x .90=1,080 ea.)	18,360 SF

TOTAL CANOPY PROVIDED =	40,655 SF
--------------------------------	------------------



**RIALTO
STUDIO**

Rialto Studio, Inc.
 Landscape Architecture
 2425 Broadway
 San Antonio, Texas 78215
 210.828.1155



**District 3
Aquatics Facility**
 San Antonio, TX

ISSUE DATE 10/30/2025

REVISION

PROJECT NUMBER 23010

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CHECKED BY BE

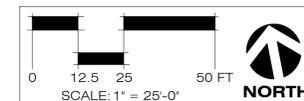
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SHEET TITLE

Landscape
 Code
 Compliance
 Plan

SHEET NUMBER

L1.00



Bejar CAD

Property Search > 1254168 CITY OF SAN ANTONIO for Year 2023 Tax Year: 2023

Property

Account	35-324
Property ID:	1254168
Legal Description:	NCB 7675 (MISSION DRIVE W), LOT 45
Geographic ID:	07675-000-0450
Zoning:	802
Type:	Real
Agent Code:	
Property Use Code:	3000
Property Use Description:	EXEMPT - TOTAL EXEMPT
Protest	
Protest Status:	
Informal Date:	
Formal Date:	
Location	
Address:	ROOSEVELT AVE SAN ANTONIO, TX 78214
Map ID:	651A5
Neighborhood:	WIND CODE 12320
Neighborhood CD:	12320
Owner	
Name:	CITY OF SAN ANTONIO
Owner ID:	182751
PO BOX:	03996
% Ownership:	100.000000000000
Mailing Address:	SAN ANTONIO, TX 78283-3996
Exemptions:	EK,IV

Values

(+) Improvement Homestead Value:	N/A
(-) Improvement Non-Homestead Value:	N/A
(+) Land Homestead Value:	N/A
(-) Land Non-Homestead Value:	N/A
(+) Agricultural Market Valuation:	N/A
(-) Timber Market Valuation:	N/A
(+) Market Value:	N/A
(-) Ag or Timber Use Value Reduction:	N/A
(+) Appraised Value:	N/A
(-) HS Cap:	N/A
(+) Assessed Value:	N/A

Taxing Jurisdiction

Owner:	CITY OF SAN ANTONIO				
% Ownership:	100.000000000000				
Total Value:	N/A				
Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
06	BEJAR CO RD & FLOOD	N/A	N/A	N/A	N/A
08	SA RIVER AUTH	N/A	N/A	N/A	N/A

LEGEND

-  PARKING LOT SHADING AREA
-  GROSS FLOOR AREA
-  LOC - LIMIT OF CONSTRUCTION
-  PARKING SHADE CREDIT
-  TOTAL SF OF SHADE CREDIT PERCENTAGE OF SHADE CREDIT
-  FINAL CANOPY CREDIT

PARKING - BASE BID PLUS ALTERNATE 1 ONLY

35-526, Table 526-3b:	1.5/1000 SF GFA
Parking Requirements for Recreational Facility	19,500 SF
Gross Floor Area (buildings and aquatics area):	30 spaces
Total Automobile Parking Required	32 spaces
Total Automobile Parking Spaces Provided	
35-343.01(k):	
The minimum parking requirements in subsection 35-526(b) shall not apply to IDZ-1. Within IDZ-2 and IDZ-3 the minimum parking requirements in subsection 35-526(b) may be reduced by fifty (50) percent.	
Total Automobile Parking Provided	32 spaces
Bicycle Parking Required for IDZ (25%)	8 spaces
Bicycle Parking Spaces Provided	8 spaces

PARKING LOT SHADING - BASE BID PLUS ALTERNATE 1 ONLY

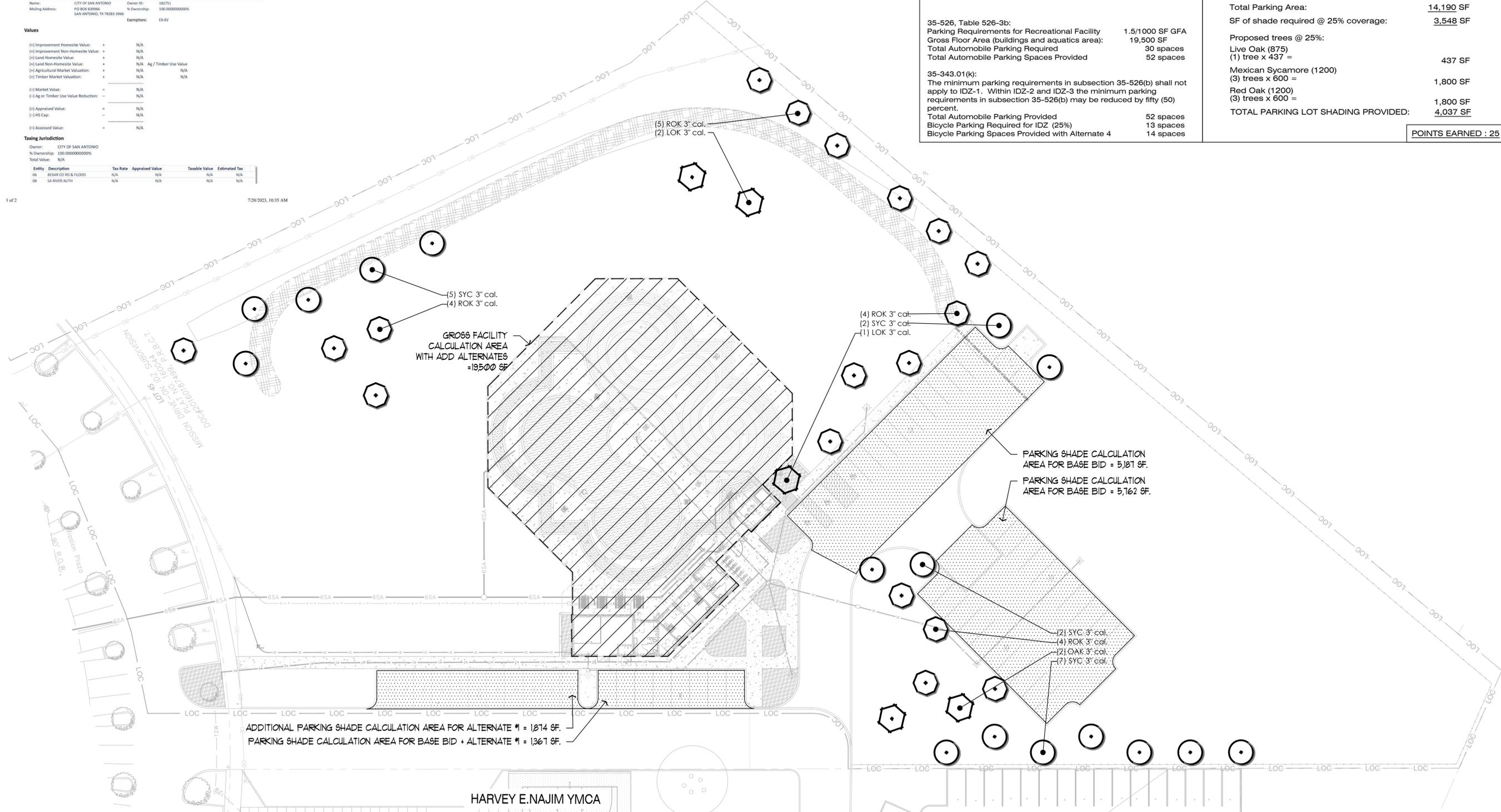
Total Parking Area:	8,428 SF
SF of shade required @ 25% coverage:	2,107 SF
Proposed trees @ 25%:	
Live Oak (875)	
(1) tree x 437 =	437 SF
Mexican Sycamore (1200)	
(3) trees x 600 =	1,800 SF
Red Oak (1200)	
(3) trees x 600 =	1,800 SF
TOTAL PARKING LOT SHADING PROVIDED:	4,037 SF
POINTS EARNED : 25	

PARKING - BASE BID PLUS ALTERNATES 1&4

35-526, Table 526-3b:	1.5/1000 SF GFA
Parking Requirements for Recreational Facility	19,500 SF
Gross Floor Area (buildings and aquatics area):	30 spaces
Total Automobile Parking Required	52 spaces
Total Automobile Parking Spaces Provided	
35-343.01(k):	
The minimum parking requirements in subsection 35-526(b) shall not apply to IDZ-1. Within IDZ-2 and IDZ-3 the minimum parking requirements in subsection 35-526(b) may be reduced by fifty (50) percent.	
Total Automobile Parking Provided	52 spaces
Bicycle Parking Required for IDZ (25%)	13 spaces
Bicycle Parking Spaces Provided with Alternate 4	14 spaces

PARKING LOT SHADING - BASE BID PLUS ALTERNATES 1&4

Total Parking Area:	14,190 SF
SF of shade required @ 25% coverage:	3,548 SF
Proposed trees @ 25%:	
Live Oak (875)	
(1) tree x 437 =	437 SF
Mexican Sycamore (1200)	
(3) trees x 600 =	1,800 SF
Red Oak (1200)	
(3) trees x 600 =	1,800 SF
TOTAL PARKING LOT SHADING PROVIDED:	4,037 SF
POINTS EARNED : 25	



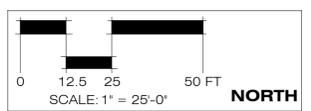
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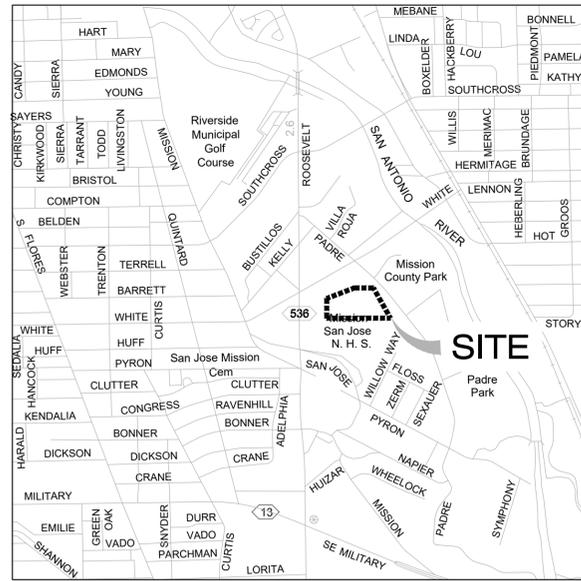
District 3
Aquatics Facility
San Antonio, TX



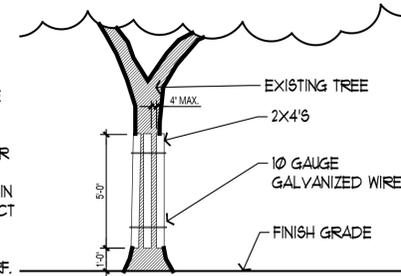
ISSUE DATE	10/30/2023
REVISION	
PROJECT NUMBER	23010
DRAWN BY	SFA
CHECKED BY	BE
SCALE	1"=25'-0"
SHEET TITLE	
Landscape Code Compliance Add Alternates	
SHEET NUMBER	
L1.01	



VICINITY MAP



- NOTES:
1. PROTECTIVE LUMBER SHALL NOT BE DIRECTLY NAILED TO THE TREE
 2. 2X4'S SHALL BE HELD SECURELY IN PLACE WITH 10 GAUGE WIRE WRAPPED OVER THE LUMBER AND AROUND THE TREE AT MIN. OF 2 LOCATIONS.
 3. THE GAP BETWEEN THE BOARDS IS TO BE 4 INCHES OR LESS.
 4. PROVIDE 6" OF MULCH WITHIN DRIP LINE OF TREE TO PROTECT ROOTS FROM CONSTRUCTION ACTIVITIES WHEN THERE IS NO EXISTING UNDERSTORY OR TURF.



1 DETAIL: 2X4 TREE PROTECTION
SCALE: 1/4"= 1'-0"

TREE PROTECTION NOTES

1. TREE SURVEY REVEALED NO SIGNIFICANT OR HERITAGE TREES EXIST ON THIS PROPERTY.
2. TREE PROTECTION WILL BE PROVIDED FOR OFF-SITE TREES AFFECTED BY CONSTRUCTION AS SHOWN.
3. THIS PROPERTY DOES NOT LIE IN THE 100 YEAR FLOOD PLAN NOR AN ENVIRONMENTALLY SENSITIVE AREA.



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District 3
Aquatics Facility
San Antonio, TX

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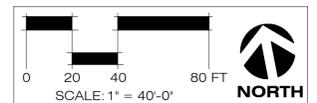
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SHEET TITLE

Tree Protection Plan

SHEET NUMBER

L1.02



SITE MATERIAL & FINISH SCHEDULE							
KEY	ITEM	DESCRIPTION / LOCATION	MANUFACTURER / SUPPLIER	MATERIAL / PRODUCT	FINISH	COLOR	NOTES
SM-01	CONCRETE PAVING - TYPE I	SITE WALKS & POOL DECK OUTSIDE THE QUATREFOIL	N/A	4,000 PSI CONCRETE	LT. BROOM FINISH, SCORED AS SHOWN ON PLANS	NORMAL GRAY	4" THICKNESS TYPICAL. REFERENCE DETAILS, PROVIDE 4'x4' MIN. MOCK UP.
SM-02	CONCRETE PAVING - TYPE II	POOL DECK QUATRIFOIL BANDING	N/A	4,000 PSI CONCRETE WITH KOOL DECK COATING	KEYSTONE KOOL DECK TRADITIONAL FINISH, SCORED AS SHOWN ON PLANS	KOOL DECK 'SEDONA TAN.'	4" THICKNESS TYPICAL. REFERENCE DETAILS, PROVIDE 4'x4' MIN. MOCK UP.
SM-03	CONCRETE PAVING - TYPE III	POOL DECK ADJACENT TO WATER FEATURES	N/A	4,000 PSI CONCRETE WITH KOOL DECK COATING	KEYSTONE KOOL DECK TRADITIONAL FINISH, SCORED AS SHOWN ON PLANS	KOOL DECK 'AQUA.'	4" THICKNESS TYPICAL. REFERENCE DETAILS, PROVIDE 4'x4' MIN. MOCK UP.
SM-04	6' POOL FENCE w/GATES	POOL DECK PERIMETER	AMERISTAR FENCE PRODUCTS	ECHOLON MAJESTIC FENCE	PAINTED	BLACK	REF. DETAIL 7/L3.02 FOR FENCE REF. DETAIL 8/L3.02 FOR GATE
SM-05	CHANNEL DRAIN	POOL DECK	NDS	NDS DURA SLOPE CHANNEL DRAIN #S DS-090N THRU DS-097N (INCLUDE 'DEEP' AND 'NEUTRAL' PRODUCTS)	POLYETHYLENE	LIGHT GREY	INSTALL WITH END CAP #DS-224, CATCH BASIN #DS-340, AND COUPLING #1242 PER MANUFACTURER'S INSTRUCTION. REF. DETAILS 6 & 7/L3.01.
SM-05A	CHANNEL DRAIN	POOL DECK	NDS	NDS DURA SLOPE CHANNEL DRAIN #DS-090N WITH DURA SLOPE RADIUS COUPLINGS AND GRATES	POLYETHYLENE	LIGHT GREY	INSTALL WITH #DS-224 END CAP AND DS-227 END OUTLET PER MANUFACTURER'S INSTRUCTION. REF. SIMILAR DETAIL 6/L3.01.
SM-06	CHANNEL DRAIN GRATE	POOL DECK	NDS	NDS DURA SLOPE PLASTIC PERFORATED CHANNEL GRATE #DS-671	POLYOLEFIN	WHITE	ADA COMPLIANT. INSTALL PER MANUFACTURER'S INSTRUCTION. REF. DETAILS 6/L3.02 and 7/L3.02.
SM-07	ROUND BRASS GRATE	ALTERNATE #1 LAZY RIVER DECK ISLANDS	NDS	3" ROUND BRASS GRATE w/PVC COLLAR #909B	SATIN	SATIN BRASS	INSTALL WITH BRASS SCREWS PER MANUFACTURER'S INSTRUCTION. REF. DETAILS 8/L3.01.

SITE MATERIAL & FINISH SCHEDULE - ALTERNATE #2							
KEY	ITEM	DESCRIPTION / LOCATION	MANUFACTURER / SUPPLIER	MATERIAL / PRODUCT	FINISH	COLOR	NOTES
SM-08	CONCRETE PAVING - TYPE I	SITE WALKS & POOL DECK OUTSIDE THE QUATREFOIL	N/A	4,000 PSI CONCRETE WITH KOOL DECK COATING	KEYSTONE KOOL DECK TRADITIONAL FINISH, SCORED AS SHOWN ON PLANS	KOOL DECK 'SAND BUFF.'	4" THICKNESS TYPICAL. REFERENCE DETAILS, PROVIDE 4'x4' MIN. MOCK UP.

SITE FURNISHINGS SCHEDULE							
KEY	ITEM	DESCRIPTION / LOCATION	MANUFACTURER / SUPPLIER	MATERIAL / PRODUCT	FINISH	COLOR	NOTES
SF-01	BIKE RACK	SITE	LANDSCAPE FORMS; CONTACT MELISSA HENAO-ROBLEDO (269) 337-1307	BOLA BIKE RACK	DESIGNER PALETTE ARCHITECTURAL SERIES	TBD	REF. DETAILS
SF-02	WATER FOUNTAIN & BOTTLE FILLER	POOL COMPOUND	MOST DEPENDABLE FOUNTAINS	MODEL 10145 SMFA	TBD	TBD	PROVIDE RECESSED HOSE BIBB WITH LOCKABLE DOOR
SF-03	OUTDOOR SHOWER	POOL COMPOUND	MOST DEPENDABLE FOUNTAINS	MODEL 565 SM	TBD	TBD	REF. DETAILS
SF-04	TRASH AND RECYCLING RECEPTICAL	POOL COMPOUND	LANDSCAPE FORMS; CONTACT MELISSA HENAO-ROBLEDO (269) 337-1307	MULTIPLICITY LITTER; DOUBLE EMBED	DESIGNER PALETTE ARCHITECTURAL SERIES	TBD	INSTALL PER MANUFACTURER'S DIRECTIONS
SF-05	LIFE GUARD CHAIR	POOLSIDE	S.R. SMITH	SENTRY SLGC-42	HDPE AND STAINLESS STEEL	WHITE	Ø-505 CONCRETE ANCHORS
SF-06	CALL BOX	LIFE GUARD ROOM	AA COMMUNICATIONS	MODEL RB911E4G	MANUFACTURER'S STANDARD PRODUCT	MANUFACTURER'S STANDARD PRODUCT	REF. PLANS FOR LOCATION
SF-07	TABLES	POOL COMPOUND	PILOT ROCK	WTPS SERIES 6 UNIVERSAL ACCESS PORTABLE TABLE MODEL NO. SPC-TB-245	THERMO-PLASTIC COATED STEEL CHANNEL	TBD	REF. PLANS FOR LOCATION
SF-08	SIGN FRAMES	PARK ENTRANCE & PARK RULES SIGHS	CUSTOM FABRICATION	STEEL w/WELDED JOINTS	PARKS AND REC. STANDARD PAINTING PROCESS	PARKS AND REC. STANDARD PAINT COLOR	REF. PLANS FOR LOCATION

POOL FINISH SCHEDULE												
KEY	DESCRIPTION	LOCATION	MANUFACTURER	MODEL	FIXTURE FINISH	LIGHT SOURCE	LAMP	COLOR TEMP.	MOUNTING	VOLTAGE	ACCESSORIES	NOTES
	REFER TO AQUATICS DRAWINGS FOR TILE, COPING, MARKERS, PLASTER, ETC.											

LIGHT FIXTURE SCHEDULE												
KEY	DESCRIPTION	LOCATION	MANUFACTURER	MODEL	FIXTURE FINISH	LIGHT SOURCE	LAMP	COLOR TEMP.	MOUNTING	VOLTAGE	ACCESSORIES	NOTES
	REFER TO ELECTRICAL DRAWINGS FOR COMPLETE LIGHTING SCHEDULE.											

CONCRETE NOTES:

- UNLESS OTHERWISE NOTED ON PLANS, CONCRETE SHALL BE MINIMUM 3,000 PSI AT 28 DAYS AND A MINIMUM OF FOUR (4) INCHES THICKNESS.
- SUBMIT PROPOSED MIX DESIGN AND TEST DATA FOR EACH TYPE AND STRENGTH OF CONCRETE SPECIFIED OR PROPOSED.
- FLEXIBLE BASE, WHERE SPECIFIED, SHALL COMPLY WITH TXDOT ITEM 247, GRADE 1, WITH A MAXIMUM AGGREGATE SIZE OF 3/8".
- REINFORCING BARS AND JOINT DOWEL BARS SHALL BE STEEL BARS CONFORMING TO ASTM A615, GRADE 60. REINFORCING BARS SHALL BE COLD BENT TO SHAPES SHOWN. ONCE STEEL HAS BEEN BENT, IT MAY NOT BE RE-BENT.
- WIRE MESH, IF SPECIFIED, SHALL BE WELDED PLAIN STEEL WIRE FABRIC CONFORMING TO ASTM A185.
- STAKE LAYOUT OF ALL FLATWORK FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- FORMWORK SHALL BE CONSTRUCTED OF WOOD OR METAL. FORMWORK SHALL BE SATISFACTORY TO THE OWNER'S REPRESENTATIVE AND BE STRAIGHT, FREE OF WARP AND OF A DEPTH EQUAL TO THE DEPTH OF THE CONCRETE. CURVED SECTIONS SHALL BE SMOOTH AND TANGENT. ADJOINING SECTIONS OF FORMWORK SHALL BE SET FLUSH WITH NO OVERLAP OR JOG. THEY SHALL BE SECURELY STAKED TO LINE AND GRADE AND MAINTAINED IN A TRUE POSITION DURING THE DEPOSITING OF CONCRETE.
- REINFORCING STEEL SHALL BE PLACED IN THE POSITION SHOWN IN THE PLANS. CARE SHALL BE EXERCISED TO KEEP ALL STEEL IN ITS PROPER LOCATION AND HORIZONTAL DURING CONCRETE PLACEMENT. BLOCK STEEL MIN. 1 1/2" FROM EDGE OF CONCRETE FOR MINIMUM CONCRETE COVERAGE OVER AND AROUND ALL REINFORCING STEEL.
- NOTE SPECIAL REINFORCING REQUIREMENTS AT SHARP JOINTING ANGLES.
- CONCRETE REINFORCEMENT SUPPORTS SHALL BE UTILIZED, USE OF ROCKS, BRICKS, WOOD, VERTICAL STAKES AND OTHER SUPPORTS WILL NOT BE ACCEPTED.
- WHERE CONCRETE FLATWORK ABUTS A DRIVEWAY, CURB, RETAINING WALL, OR OTHER VERTICAL SURFACE, APPROVED EXPANSION MATERIAL SHALL BE PLACED ALONG ITS ENTIRE LENGTH. SIMILAR EXPANSION MATERIAL SHALL BE PLACED AROUND ALL OBSTRUCTIONS PROTRUDING THROUGH FLATWORK.
- PLACE EXPANSION JOINTS AND SCORE JOINTS AS SHOWN ON PLANS. WHERE NOT INDICATED ON PLANS, EXPANSION JOINTS SHALL BE PROVIDED AT A MAXIMUM OF 30'-0" O.C.E.W. AND SCORE JOINTS SHALL BE PROVIDED AT A MAXIMUM OF 6'-0" O.C.E.W.
- WHERE SCORE JOINTS ARE SAWCUT, THEY MUST BE COMPLETE WITHIN 8 HRS OF CONCRETE FINISHING.
- ALL JOINTS TO BE STRAIGHT AND CONSISTENT. JOINTS SHALL BE WITHIN A TOLERANCE OF 1/4 INCH IN 10 FEET AS DETERMINED BY A 10-FOOT-LONG STRAIGHTEDGE PLACED ALONG THE JOINT.
- SCORE JOINTS SHALL NOT EXTEND BEYOND AN INTERSECTING SCORE OR EXPANSION JOINT UNLESS INDICATED TO DO SO ON PLAN.
- PROTECT CONCRETE INSTALLATIONS FROM DAMAGE DURING SUBSEQUENT CONSTRUCTION ACTIVITIES. BARRICADE NEWLY POURED PAVING UNTIL CONCRETE HAS ATTAINED A MINIMUM DESIGN STRENGTH.
- REFERENCE STRUCTURAL AND CIVIL PLANS FOR ADDITIONAL REQUIREMENTS.
- CONSTRUCT MOCK-UP(S) OF EACH CONCRETE FINISH AS NOTED IN THE MATERIAL SCHEDULE. OBTAIN ACCEPTANCE BY OWNER'S REPRESENTATIVE OF VISUAL QUALITIES OF THE MOCK-UP(S) PRIOR TO PROCEEDING WITH WORK. RETAIN ACCEPTABLE PANEL(S) IN AN UNDISTURBED CONDITION, SUITABLY MARKED, DURING CONSTRUCTION AS STANDARD FOR JUDGING COMPLETENESS OF WORK. MOCK-UPS SHALL BE 25 SF MIN. UNLESS OTHERWISE NOTED.
- COLOR ADMIXTURE FOR INTEGRALLY COLORED CONCRETE AND CURING COMPOUND FOR INTEGRALLY COLORED CONCRETE SHALL BE SUPPLIED BY THE SAME MANUFACTURER AND SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. APPLY CURING COMPOUND AT CONSISTENT TIME FOR EACH POUR TO MAINTAIN COLOR CONSISTENCY.

SPECIAL POOL DECK NOTES:

- USE 5 TO 6-BAG CEMENT MIX FOR POOL AND LAZY RIVER DECK.
- DO NOT INCLUDE ANY ADDITIVES SUCH AS FLY ASH, POZZOLANS, RETARDANTS, OR OTHER CURING ADDITIVES.
- APPLY LIGHT BROOM FINISH PRIOR TO KOOL DECK TOPPING INSTALLATION.
- KOOL DECK TOPPING TO BE COLOR INTEGRAL, SEE MATERIALS SCHEDULE FOR SPECIFICS.
- APPLY KOOL DECK TOPPING ONLY WHEN AMBIENT AIR TEMPERATURES ARE ABOVE 50°F OR BELOW 90°

DIMENSIONING and JOINTING NOTES:

- NOTIFY LANDSCAPE ARCHITECT 72 HOURS IN ADVANCE OF SCHEDULED CEMENT POUR FOR DECK INSTALLATION PHASES.
- FOLLOW JOINT LAYOUT AS INDICATED ON PLANS AND INSTALL STRINGS INDICATING JOINT PATTERN FOR REVIEW AND APPROVAL PRIOR TO CEMENT POUR. PERMANENTLY MARK POSITIONS OF ALL JOINTS ON FORMS.
- INSTALL SPECIAL STEEL REINFORCEMENT WHERE INDICATED ON PLANS 24 HOURS PRIOR TO CEMENT POUR.
- MARK CONTRACTION JOINTS WITH CHALK LINE AND SAW-CUT IN THE PRESENCE OF THE LANDSCAPE ARCHITECT WITHIN 8 HOURS OF CEMENT POUR.
- FAILURE TO ADHERE TO THESE NOTES IN ANY WAY MAY CAUSE REJECTION AND NON-PAYMENT OF THE DECK INSTALLATION.

METAL FABRICATION NOTES:

- CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS FOR ALL METAL FABRICATIONS INCLUDING, BUT NOT LIMITED TO, HANDRAILS, GUARDRAILS, FENCES, GATES, SIGNS, ETC. FABRICATION SHALL NOT COMMENCE UNTIL SHOP DRAWINGS ARE APPROVED BY OWNER'S REPRESENTATIVE. REFERENCE DETAILS AND MATERIALS SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PREASSEMBLE ITEMS IN THE SHOP TO THE GREATEST EXTENT PRACTICAL. USE CONNECTIONS THAT MAINTAIN STRUCTURAL VALUE OF JOINED PIECES.
- GRIND ALL WELDS SMOOTH AND REMOVE ANY BURRS, ROUGH AREAS, AND SHARP EDGES PRIOR TO PRIMING/PAINTING.
- ALL METAL SPECIFIED TO BE PAINTED SHALL BE SHOP PRIMED (TWO COATS) WITH RUST INHIBITIVE PRIMER AND FIELD PAINTED. COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT. TOUCH-UP PAINT AS REQUIRED AFTER INSTALLATION.
- ALL SEALANT USED AT METAL WORK SHALL MATCH COLOR OF ADJACENT METAL.
- WHERE GROUTING IN CONCRETE IS SPECIFIED, USE GROUT THAT IS NON-SHRINK, NON-METALLIC, NON-STAINING, NON-CORROSIVE, NON-GASEOUS COMPLYING WITH ASTM C1107
- FABRICATOR SHALL VERIFY ALL METAL MEMBER SIZING AND THICKNESS TO ENSURE STRUCTURAL INTEGRITY OF THE FABRICATION.
- REFERENCE STRUCTURAL DRAWINGS FOR METAL MEMBER SIZES AND SPECIFICATIONS. NOTIFY LANDSCAPE ARCHITECT IF THERE IS A CONFLICT BETWEEN LANDSCAPE AND STRUCTURAL DRAWINGS.



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PROJECT NUMBER 23010
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SCALE NOTES

SHEET TITLE
**CONSTRUCTION
NOTES
AND
MATERIALS**

SHEET NUMBER

L2.00



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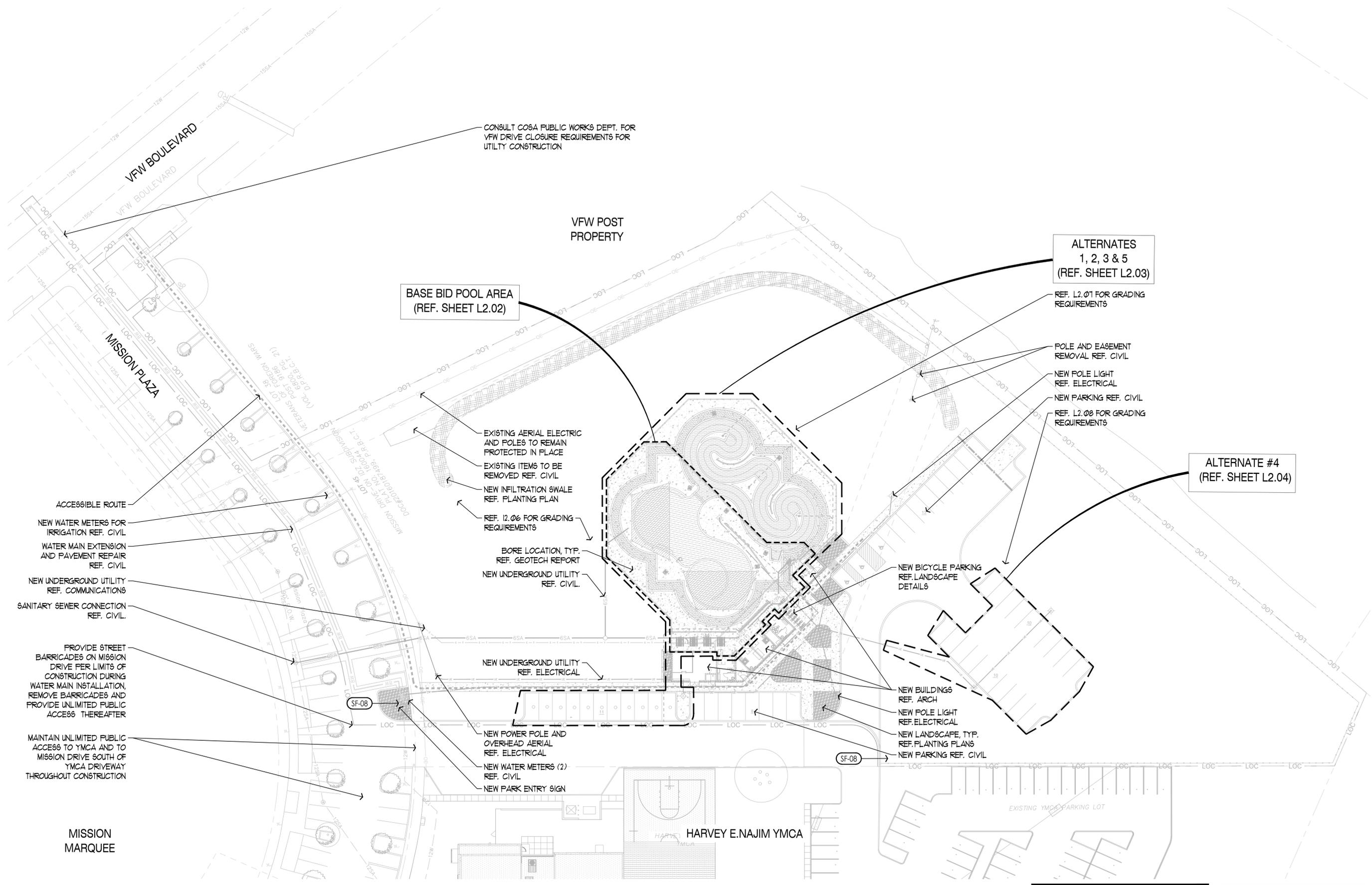
PROJECT NUMBER 23010
DRAWN BY SFA
CHECKED BY BE
SCALE 1"=30'-0"

SHEET TITLE

**OVERALL
SITE
PLAN**

SHEET NUMBER

L2.01



CONSULT COSA PUBLIC WORKS DEPT. FOR VFW DRIVE CLOSURE REQUIREMENTS FOR UTILITY CONSTRUCTION

BASE BID POOL AREA (REF. SHEET L2.02)

ALTERNATES 1, 2, 3 & 5 (REF. SHEET L2.03)

REF. L2.01 FOR GRADING REQUIREMENTS

POLE AND EASEMENT REMOVAL REF. CIVIL

NEW POLE LIGHT REF. ELECTRICAL

NEW PARKING REF. CIVIL

REF. L2.08 FOR GRADING REQUIREMENTS

ALTERNATE #4 (REF. SHEET L2.04)

EXISTING AERIAL ELECTRIC AND POLES TO REMAIN PROTECTED IN PLACE

EXISTING ITEMS TO BE REMOVED REF. CIVIL

NEW INFILTRATION SWALE REF. PLANTING PLAN

REF. L2.06 FOR GRADING REQUIREMENTS

BORE LOCATION, TYP. REF. GEOTECH REPORT

NEW UNDERGROUND UTILITY REF. CIVIL

NEW BICYCLE PARKING REF. LANDSCAPE DETAILS

NEW BUILDINGS REF. ARCH

NEW POLE LIGHT REF. ELECTRICAL

NEW LANDSCAPE, TYP. REF. PLANTING PLANS

NEW PARKING REF. CIVIL

NEW UNDERGROUND UTILITY REF. ELECTRICAL

NEW POWER POLE AND OVERHEAD AERIAL REF. ELECTRICAL

NEW WATER METERS (2) REF. CIVIL

NEW PARK ENTRY SIGN

ACCESSIBLE ROUTE

NEW WATER METERS FOR IRRIGATION REF. CIVIL

WATER MAIN EXTENSION AND PAVEMENT REPAIR REF. CIVIL

NEW UNDERGROUND UTILITY REF. COMMUNICATIONS

SANITARY SEWER CONNECTION REF. CIVIL

PROVIDE STREET BARRICADES ON MISSION DRIVE PER LIMITS OF CONSTRUCTION DURING WATER MAIN INSTALLATION, REMOVE BARRICADES AND PROVIDE UNLIMITED PUBLIC ACCESS THEREAFTER

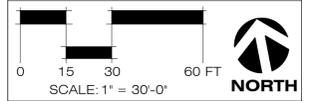
MAINTAIN UNLIMITED PUBLIC ACCESS TO YMCA AND TO MISSION DRIVE SOUTH OF YMCA DRIVEWAY THROUGHOUT CONSTRUCTION

MISSION MARQUEE

HARVEY E. NAJIM YMCA

EXISTING YMCA PARKING LOT

NOTE:
REF. L2.00 FOR CONSTRUCTION NOTES.
REF. L2.06 FOR GRADING REQUIREMENTS.

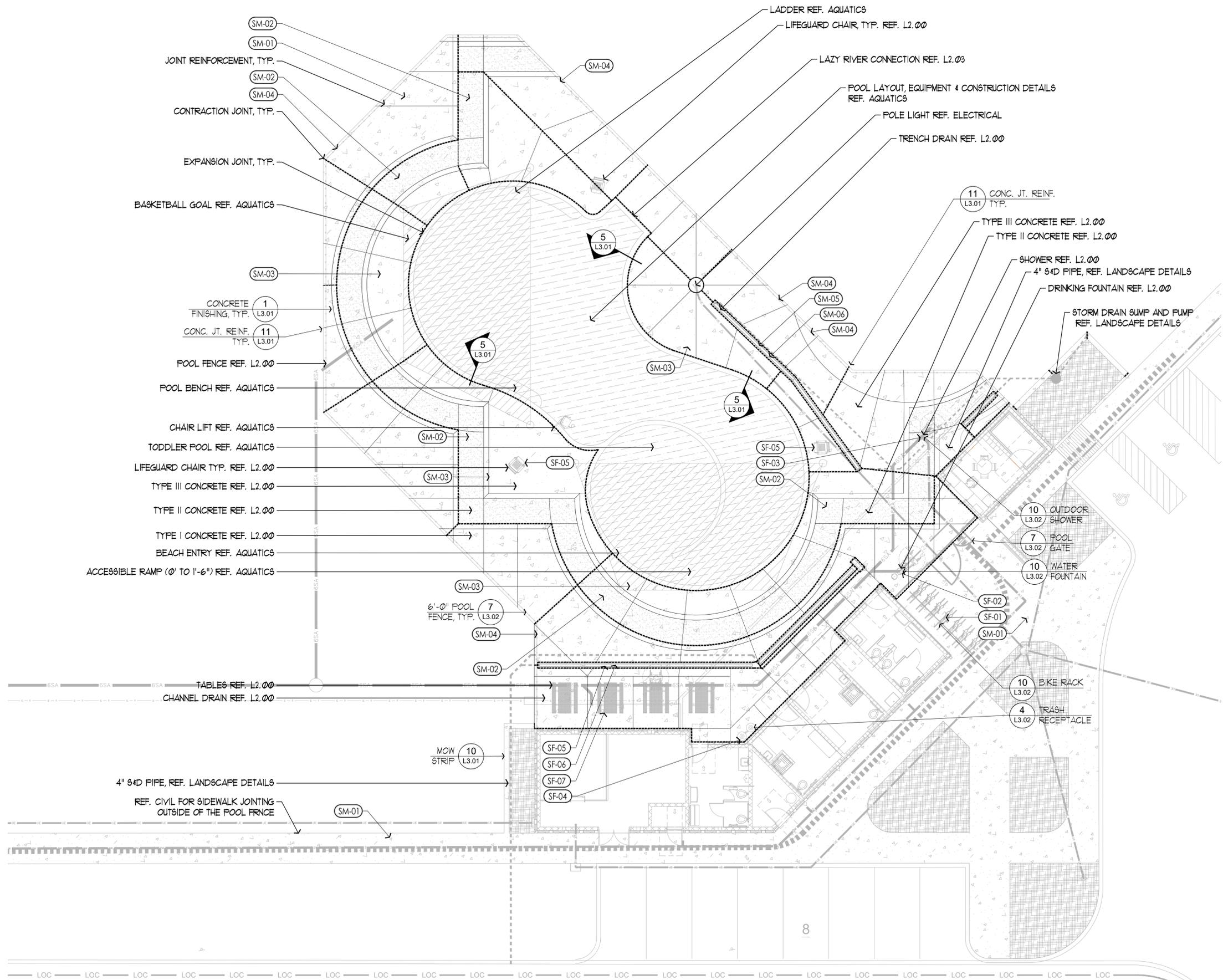


MATERIAL SCHEDULE:
REF. SCHEDULE ON L2.00

KEY	DESCRIPTION
SM-01	CONCRETE PAVING - TYPE I
SM-02	CONCRETE PAVING - TYPE II
SM-03	CONCRETE PAVING - TYPE III
SM-04	POOL FENCE
SM-05	CHANNEL DRAIN
SM-06	CHANNEL DRAIN GRATE
SM-07	ROUND BRASS GRATE
SM-08	ALT #2: CONCRETE PAVING - TYPE I
SF-01	BIKE RACK
SF-02	WATER FOUNTAIN & BOTTLE FILLER
SF-03	OUTDOOR SHOWER
SF-04	TRASH AND RECYCLING RECEPTAL
SF-05	LIFE GUARD CHAIR
SF-06	CALL BOX
SF-07	TABLES
SF-08	SIGN FRAMES

LEGEND:

- CONTRACTION JOINT
- EXPANSION JOINT
- ⊗ JOINT REINFORCEMENT



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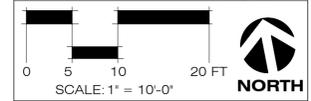
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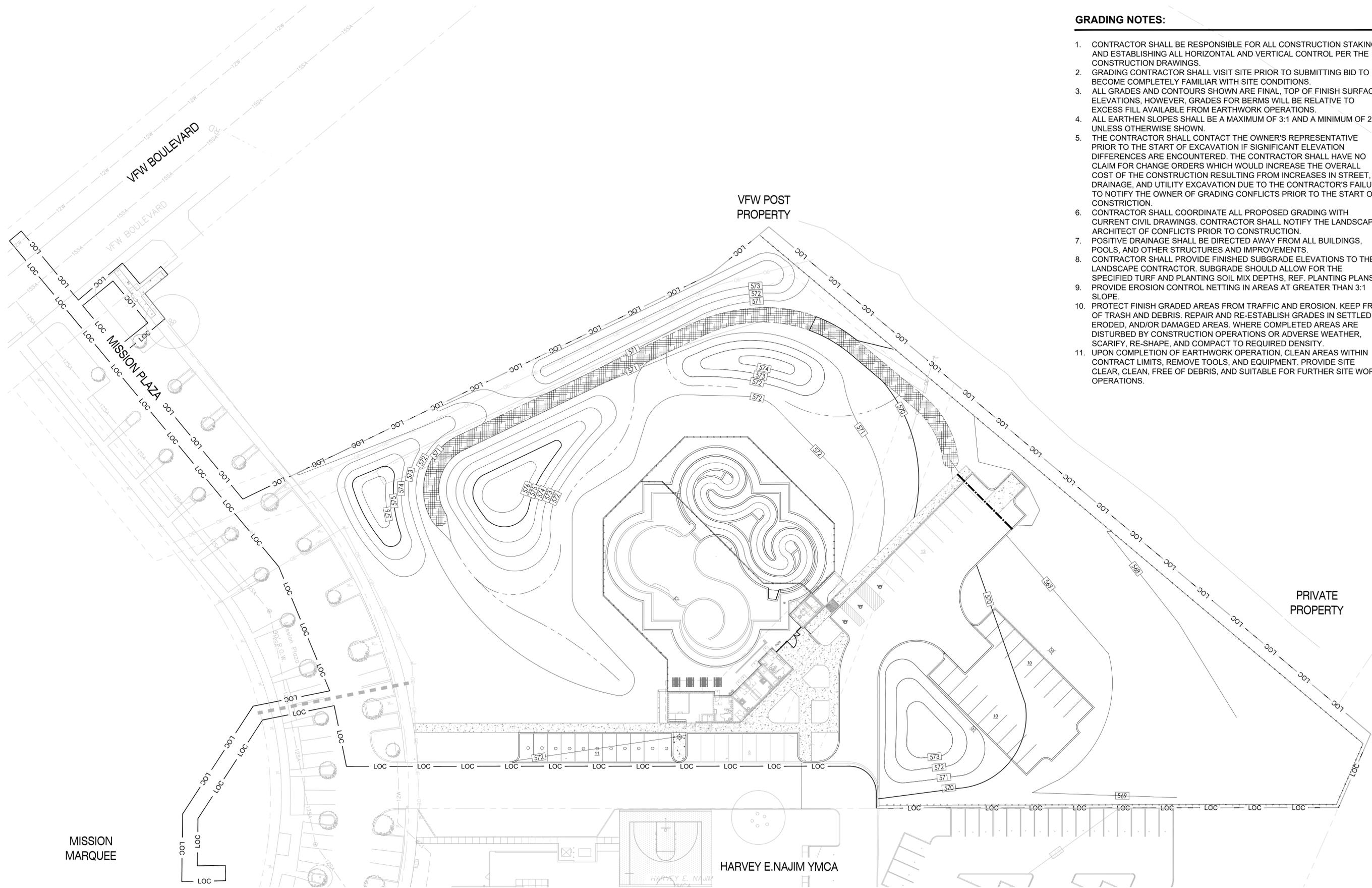
SHEET TITLE

Enlarged Site Plan

SHEET NUMBER

L2.02





GRADING NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.
2. GRADING CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
3. ALL GRADES AND CONTOURS SHOWN ARE FINAL, TOP OF FINISH SURFACE ELEVATIONS, HOWEVER, GRADES FOR BERMS WILL BE RELATIVE TO EXCESS FILL AVAILABLE FROM EARTHWORK OPERATIONS.
4. ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 2% UNLESS OTHERWISE SHOWN.
5. THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF EXCAVATION IF SIGNIFICANT ELEVATION DIFFERENCES ARE ENCOUNTERED. THE CONTRACTOR SHALL HAVE NO CLAIM FOR CHANGE ORDERS WHICH WOULD INCREASE THE OVERALL COST OF THE CONSTRUCTION RESULTING FROM INCREASES IN STREET, DRAINAGE, AND UTILITY EXCAVATION DUE TO THE CONTRACTOR'S FAILURE TO NOTIFY THE OWNER OF GRADING CONFLICTS PRIOR TO THE START OF CONSTRUCTION.
6. CONTRACTOR SHALL COORDINATE ALL PROPOSED GRADING WITH CURRENT CIVIL DRAWINGS. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS PRIOR TO CONSTRUCTION.
7. POSITIVE DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDINGS, POOLS, AND OTHER STRUCTURES AND IMPROVEMENTS.
8. CONTRACTOR SHALL PROVIDE FINISHED SUBGRADE ELEVATIONS TO THE LANDSCAPE CONTRACTOR. SUBGRADE SHOULD ALLOW FOR THE SPECIFIED TURF AND PLANTING SOIL MIX DEPTHS, REF. PLANTING PLANS.
9. PROVIDE EROSION CONTROL NETTING IN AREAS AT GREATER THAN 3:1 SLOPE.
10. PROTECT FINISH GRADED AREAS FROM TRAFFIC AND EROSION. KEEP FREE OF TRASH AND DEBRIS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED, AND/OR DAMAGED AREAS. WHERE COMPLETED AREAS ARE DISTURBED BY CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, SCARIFY, RE-SHAPE, AND COMPACT TO REQUIRED DENSITY.
11. UPON COMPLETION OF EARTHWORK OPERATION, CLEAN AREAS WITHIN CONTRACT LIMITS, REMOVE TOOLS, AND EQUIPMENT. PROVIDE SITE CLEAR, CLEAN, FREE OF DEBRIS, AND SUITABLE FOR FURTHER SITE WORK OPERATIONS.



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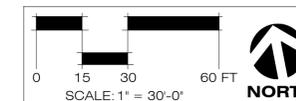
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SCALE 1"=30'-0"

SHEET TITLE
**Overall
Landscape
Grading
Plan**

SHEET NUMBER

L2.06





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SHEET TITLE
**Pool
 Grading
 Plan**

SHEET NUMBER
L2.07

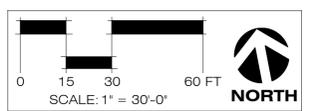
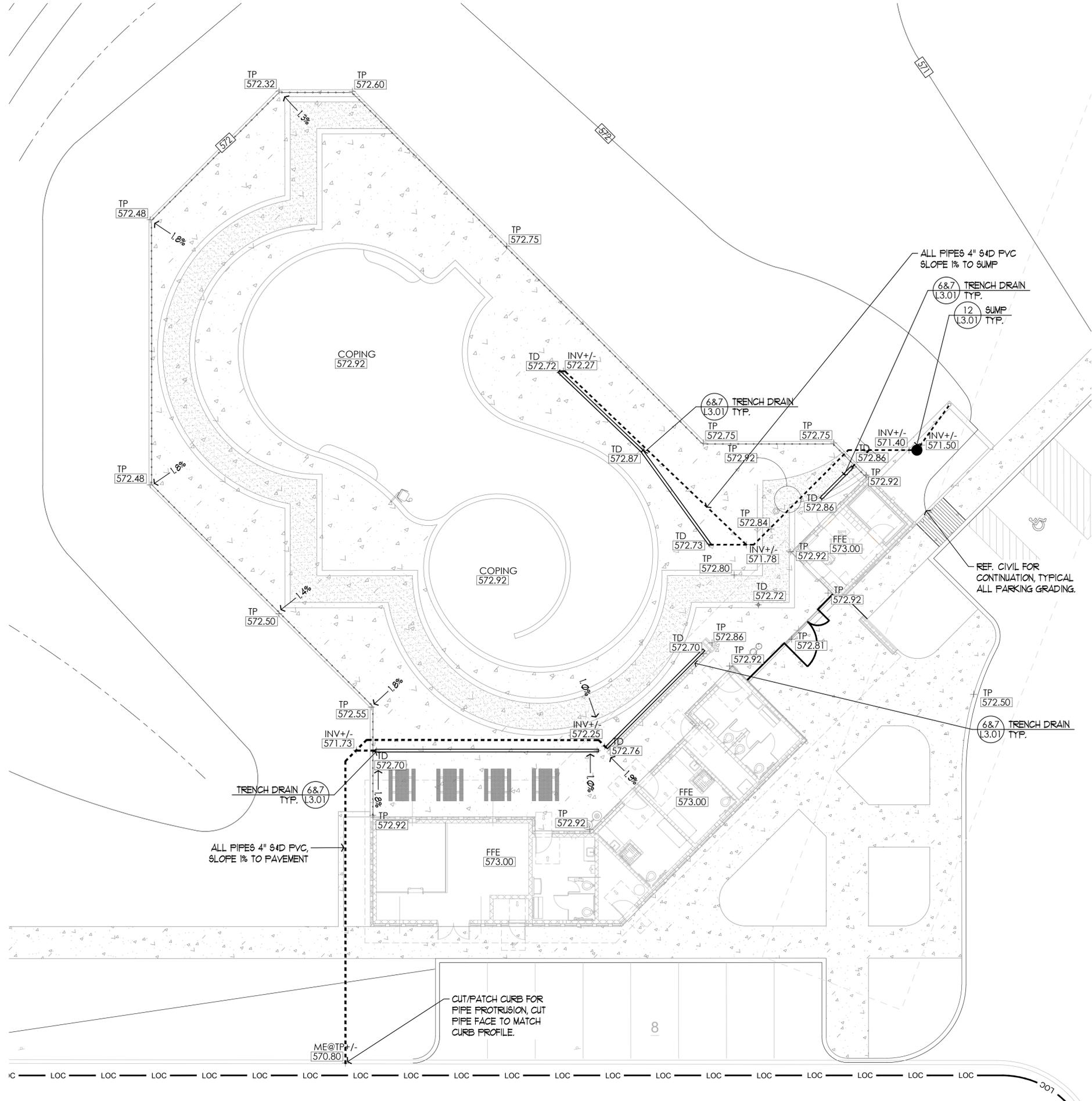
POOL GRADING NOTES:

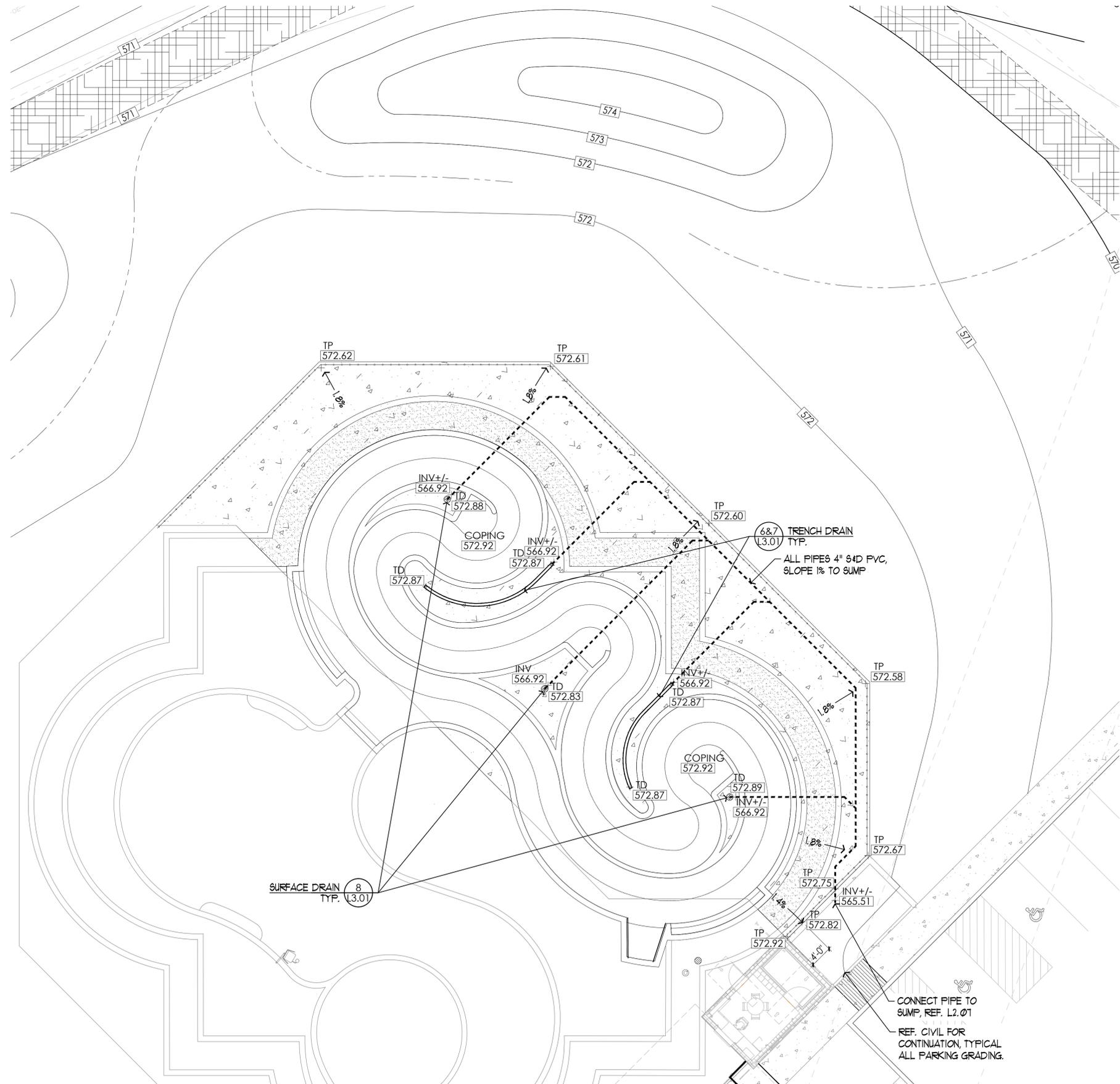
1. THE POOL DECK ELEVATION SHALL ABUT BUILDINGS AT APPROXIMATELY 1" BELOW FINISHED FLOOR ELEVATIONS. THE CONTRACTOR SHALL MODIFY AS NEEDED AT DOORS AND ENTRIES TO ACCOMMODATE AMERICANS WITH DISABILITIES ACT SLOPE REQUIREMENTS.
2. THE TOP OF PAVEMENT ELEVATION ON POOL COPING SHALL BE AT A CONSTANT ELEVATION THROUGHOUT, INCLUDING WALLS WITHIN THE POOL.
3. REFER TO AQUATICS DRAWINGS FOR ELEVATIONS AND DIMENSIONS WITHIN THE POOL.
4. A CONSTANT ELEVATION IS REQUIRED SURROUNDING THE OUTDOOR SHOWER DRAIN TO PREVENT STORMWATER INTRUSION.
5. NOTE TRENCH DRAINS AND STORMWATER PIPING REQUIRED.

GRADING LEGEND

- 100- EXISTING CONTOUR
- 100- PROPOSED CONTOUR

ABBREVIATIONS
 FG FINISH GRADE
 INV INVERT ELEVATION
 TP TOP OF PAVING
 TD TOP OF DRAIN





LAZY RIVER GRADING NOTES:

1. THE TOP OF PAVEMENT ELEVATION ON POOL COPING SHALL BE AT A CONSTANT ELEVATION THROUGHOUT, INCLUDING WALLS WITHIN THE RIVER.
2. REFER TO AQUATICS DRAWINGS FOR ELEVATIONS AND DIMENSIONS WITHIN THE RIVER.
3. NOTE ADDITIONAL DRAIN INLETS AND STORMWATER PIPING REQUIRED.
4. INSTALL DRAIN PIPING NOT LESS THAN 12 INCHES BELOW THE RIVER CONCRETE.

GRADING LEGEND

- - - - - EXISTING CONTOUR
- — — — — PROPOSED CONTOUR

ABBREVIATIONS
 FG FINISH GRADE
 INV INVERT ELEVATION
 TP TOP OF PAVING
 TD TOP OF DRAIN



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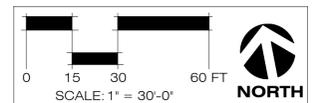
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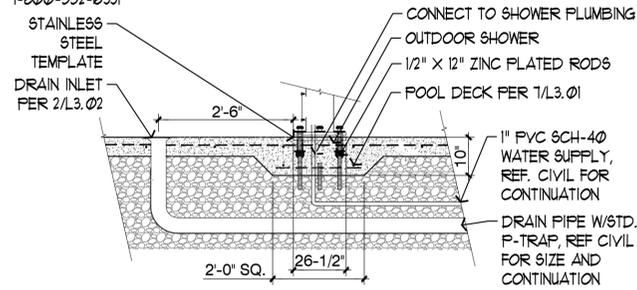
Lazy River
 Grading
 Plan

SHEET NUMBER

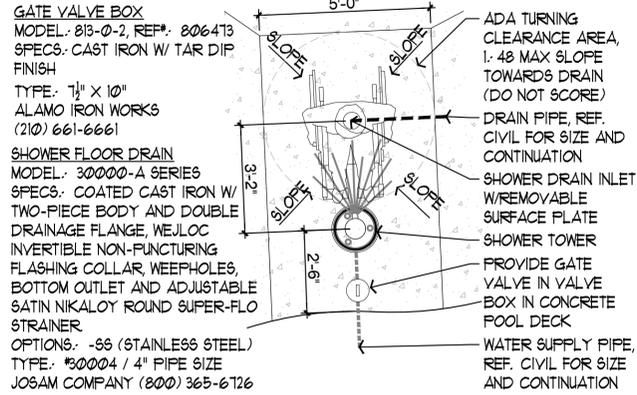
L2.08



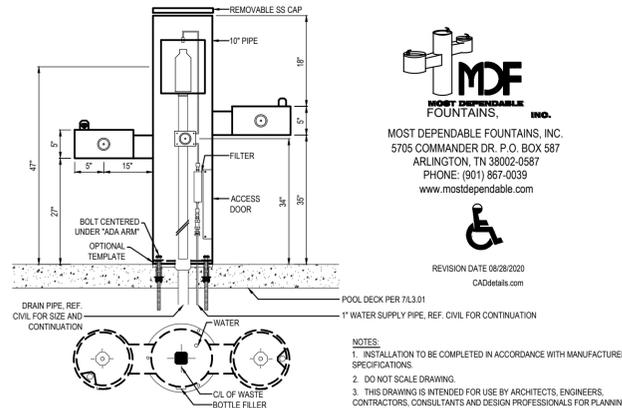
NOTE: SHOWER SHALL BE MODEL # 565 SM, IN COLOR NOTED.
 MOST DEPENDABLE FOUNTAINS, 5705 COMMANDER DR., ARLINGTON, TN
 1-800-552-6331



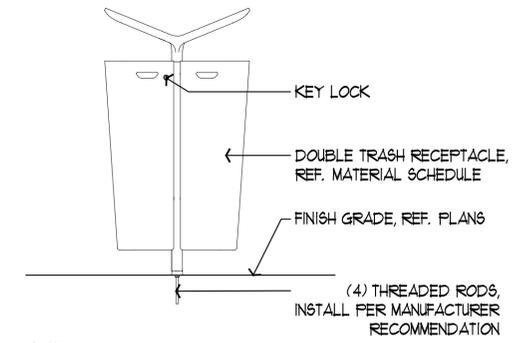
1 SECTION: SHOWER FOOTING
 N.T.S.



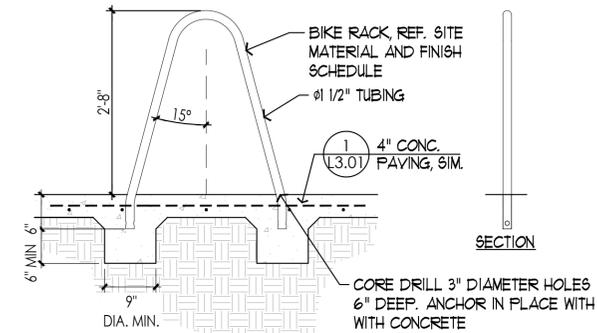
2 PLAN: OUTDOOR SHOWER
 SCALE: 3/8" = 1'-0"



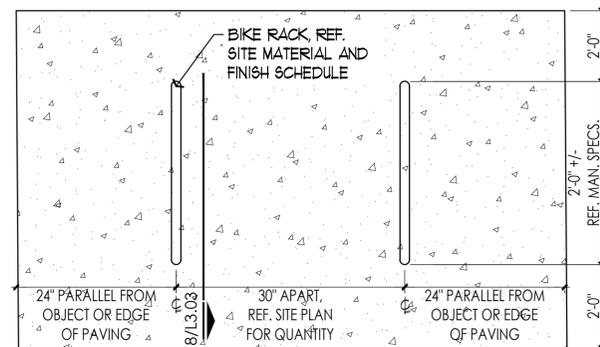
3 DETAIL: WATER FOUNTAIN
 SCALE: 3/8" = 1'-0"



4 DETAIL: TRASH RECEPTACLE
 SCALE: 3/4" = 1'-0"



5 DETAIL: BIKE RACK
 SCALE: 3/4" = 1'-0"

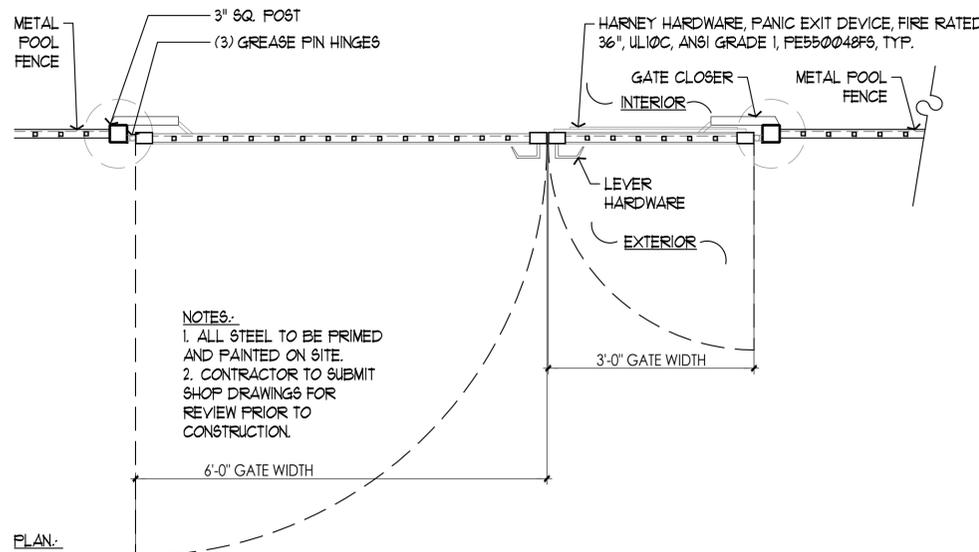
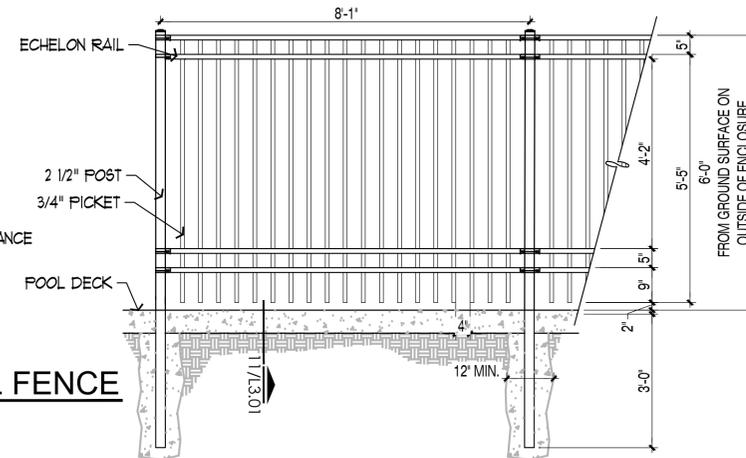


6 PLAN: BIKE RACK LAYOUT
 SCALE: 1" = 1'-0"

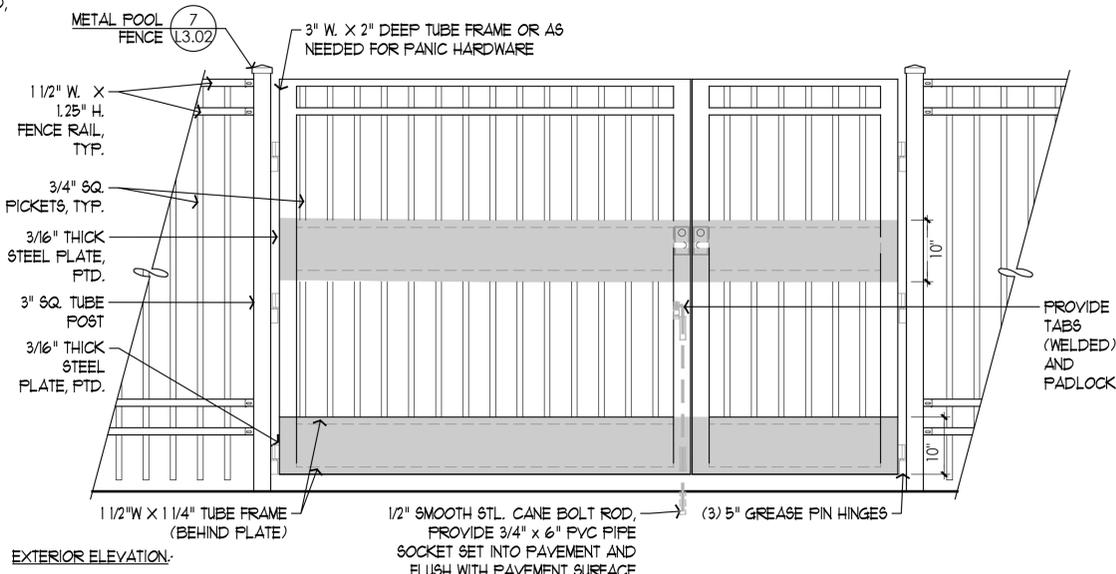
ECHOLON PLUS MAJESTIC
 4-RAIL POOL FENCE, 6' NOM. HEIGHT
 AMERISTAR FENCE PRODUCTS
 #AMB4T28R1
 P.O. BOX 581000, 1555 N. MINGO
 RD. TULSA, OK 74116
 PHONE: 918.835.0898
 FAX: 811.926.3141
 WWW.AMERISTARFENCE.COM

NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. BLACK FINISH PER MANUFACTURER
 4. REFER TO GRADING PLANS FOR FENCES IN SLOPING GRADES. SLOPE TOP RAIL WITH FINISH GRADE.

7 DETAIL: 6'-0" POOL FENCE
 SCALE: 1/2" = 1'-0"



8 DETAIL: POOL ENTRY GATE
 SCALE: 3/4" = 1'-0"



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SCALE	AS SHOWN
SHEET TITLE	Landscape Construction Details
SHEET NUMBER	L3.02



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SHEET TITLE

Landscape
Construction
Details

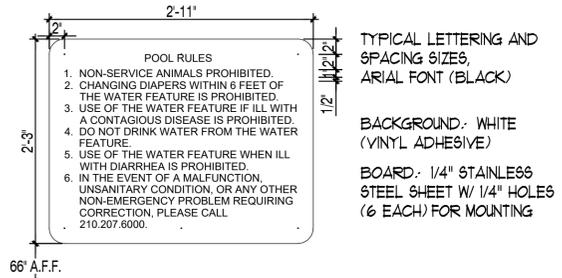
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L3.03



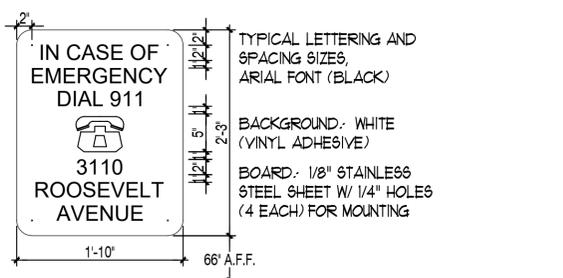
1 ELEVATION: PARK ENTRY SIGN
SCALE: 1"= 1'-0"

NOTE: MOUNT ON BUILDING WALL AS INDICATED IN PLAN, FASTEN WITH METAL EXPANSION ANCHORS AND STAINLESS STEEL ANTI-VANDAL SCREWS.



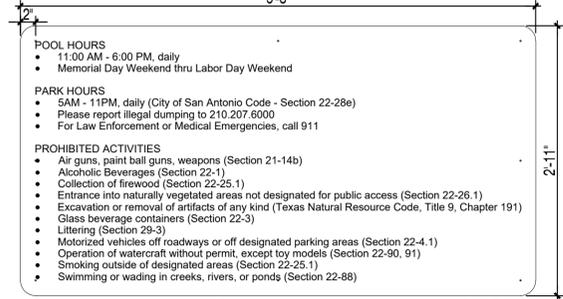
3 DETAIL: POOL RULES SIGN
SCALE: 1"= 1'-0"

NOTE: MOUNT ON BUILDING WALL AS INDICATED IN PLAN, FASTEN WITH METAL EXPANSION ANCHORS AND STAINLESS STEEL ANTI-VANDAL SCREWS.



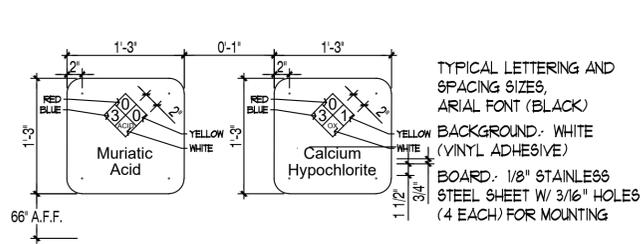
4 ELEVATION: EMERGENCY SIGN
SCALE: 1"= 1'-0"

NOTE: MOUNT ON FRAME AS INDICATED, FASTEN WITH SELF-TAPPING STAINLESS STEEL ANTI-VANDAL SCREWS.

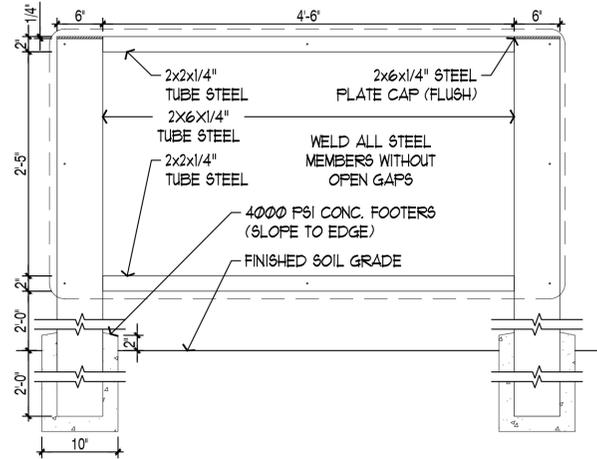


2 ELEVATION: PARK RULES SIGN
SCALE: 1"= 1'-0"

NOTE: MOUNT ON CHEMICAL ROOM DOOR EXTERIOR, FASTEN WITH STAINLESS STEEL ANTI-VANDAL SCREWS.

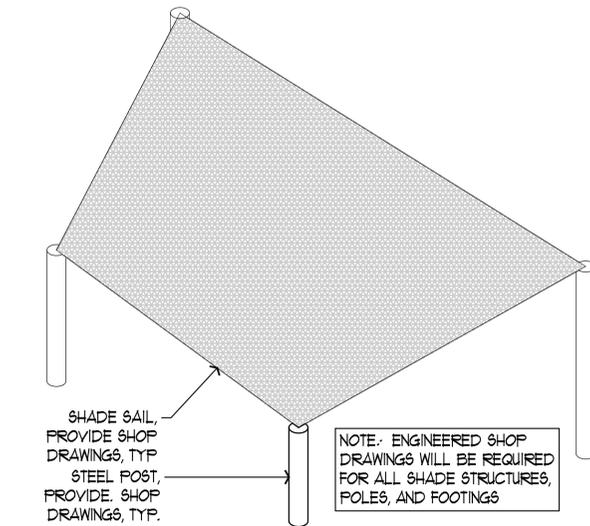


5 DETAIL: HAZARD SIGNAGE
SCALE: NOT TO SCALE

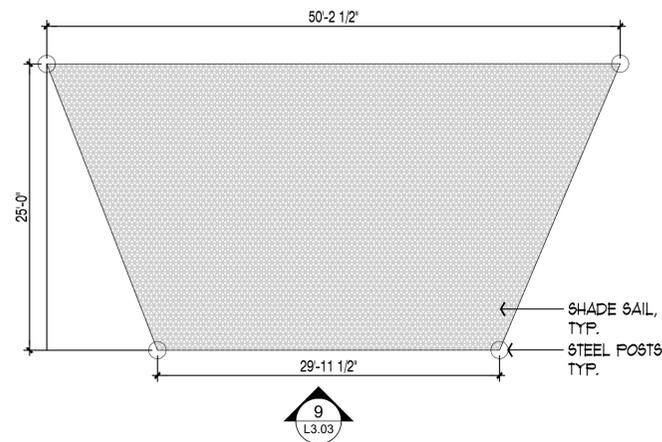


NOTE: MOUNT ON BUILDING WALL AS INDICATED IN PLAN, FASTEN WITH METAL EXPANSION ANCHORS AND STAINLESS STEEL ANTI-VANDAL SCREWS.

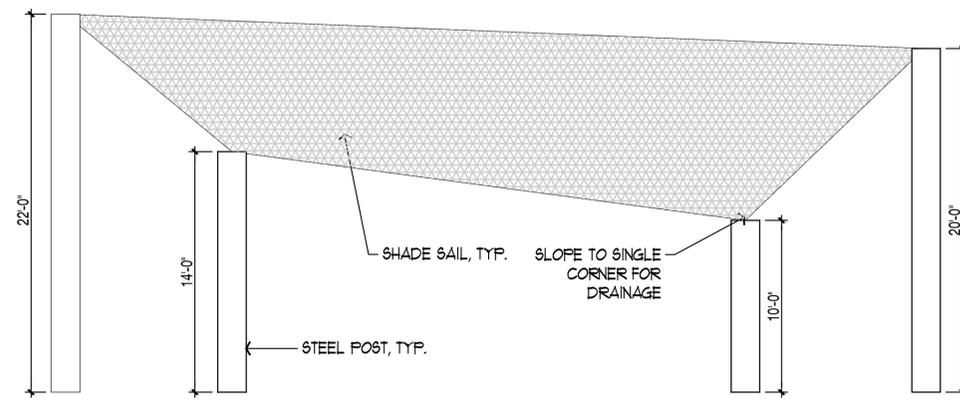
6 DETAIL: MAINTENANCE SIGN
SCALE: 1"= 1'-0"



7 DETAIL: SHADE STRUCTURE
SCALE: NTS



8 PLAN: SHADE STRUCTURE
SCALE: 1/8"= 1'-0"



9 ELEVATION: SHADE STRUCTURE
SCALE: 3/16"= 1'-0"



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GENERAL LANDSCAPE NOTES

1. ALL TREES AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 4 INCHES MULCH. MAINTAIN A 1FT AREA FROM THE BASE OF THE TREE FREE OF MULCH.
2. LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY QUESTIONS REGARDING APPLICATION OF PROPOSED PLANT MATERIAL PRIOR TO INSTALLATION.
3. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL TREES, SHRUBS, AND GROUNDCOVER IN A HEALTHY STATE UNDER THE CONTRACT UNTIL FINAL ACCEPTANCE BY THE OWNER.
4. ALL QUANTITIES SHOWN ON PLANS TO BE VERIFIED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL LABELED PLANT MATERIAL ON PLANS (NOT TABULATION).
5. ALL PLANTS MUST COMPLY WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND MEET OR EXCEED HEIGHT AND SPREAD REQUIREMENTS LISTED ON THE PLANT SCHEDULE.
6. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT EXISTING IMPROVEMENTS AND UTILITIES AT ALL TIMES.

LEGEND

- MULCHED AREA
- SEED AREA
- LIMIT OF CONSTRUCTION



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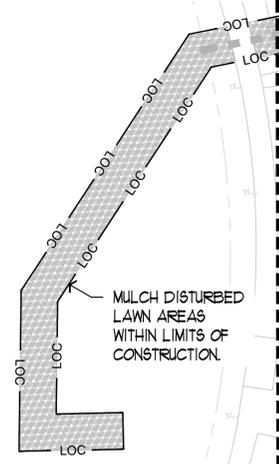
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PROJECT NUMBER	23010
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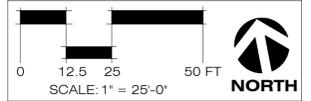
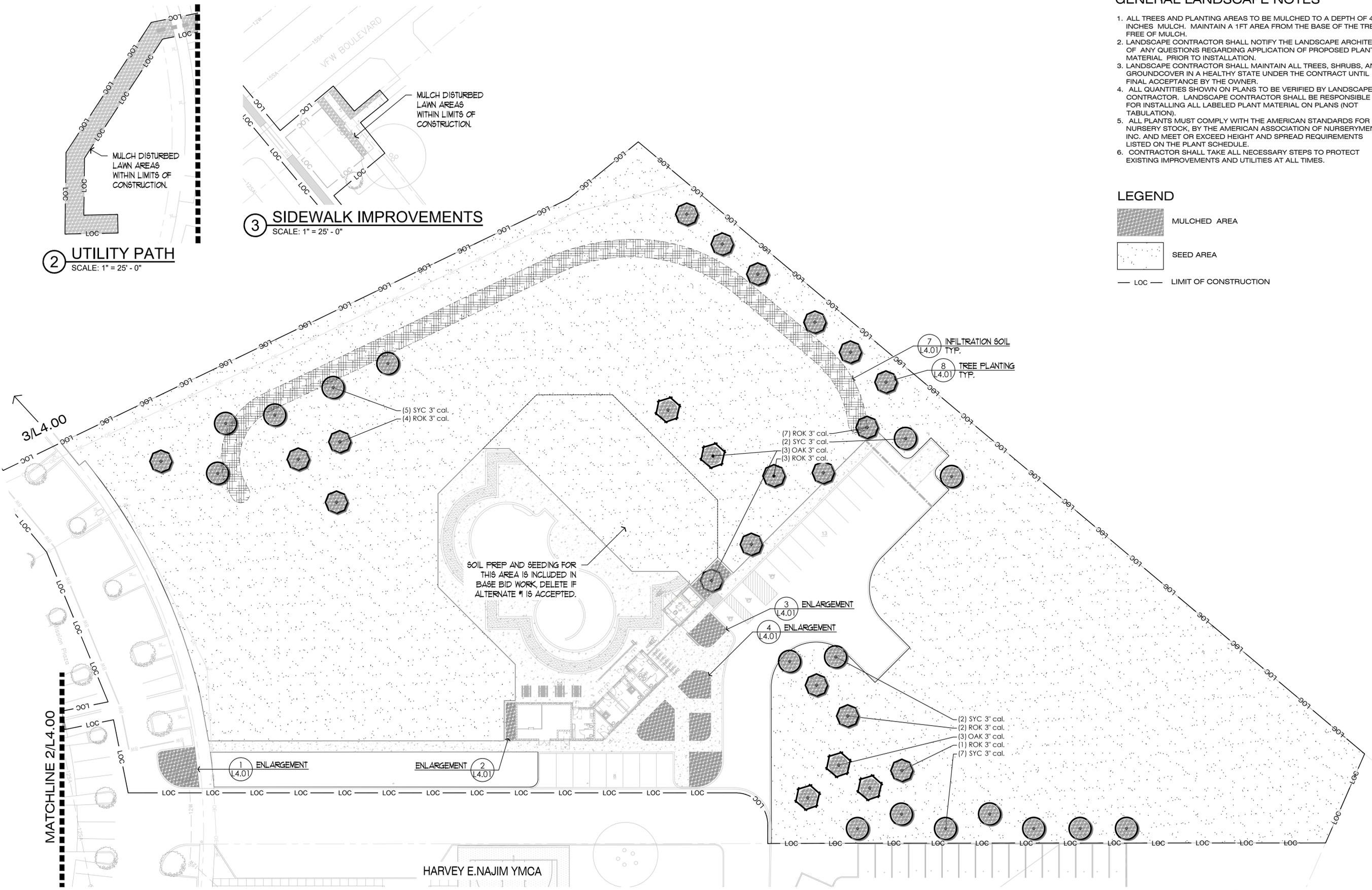
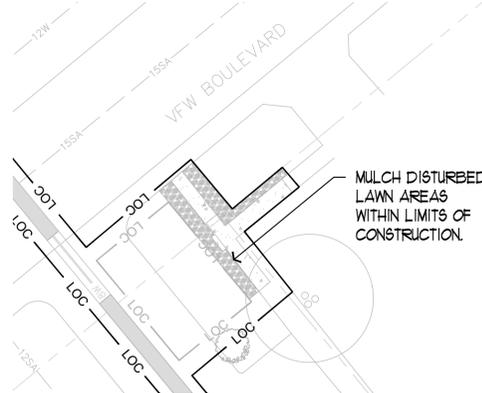
SHEET TITLE
**Landscape
Planting
Plan**

SHEET NUMBER
L4.00

2 UTILITY PATH
SCALE: 1" = 25' - 0"



3 SIDEWALK IMPROVEMENTS
SCALE: 1" = 25' - 0"





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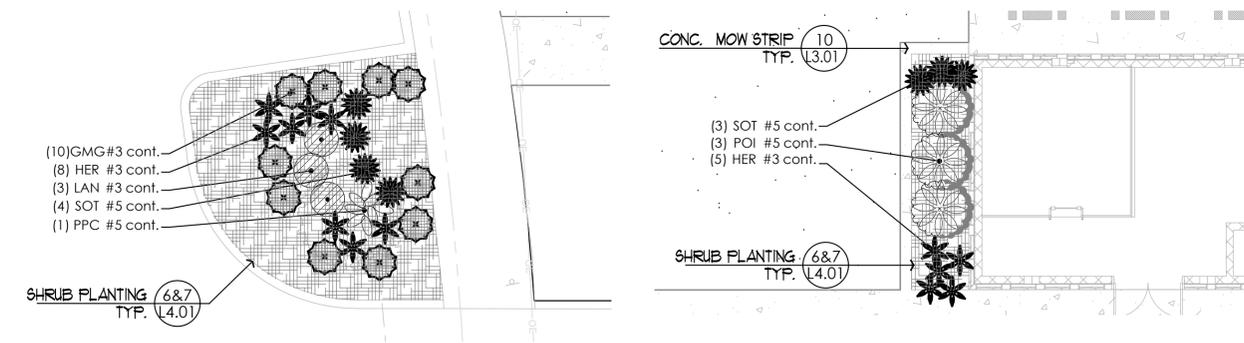
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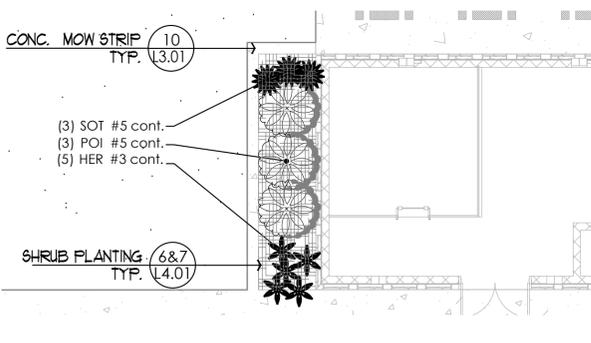
Landscape
Enlargements
Details and
Materials

SHEET NUMBER

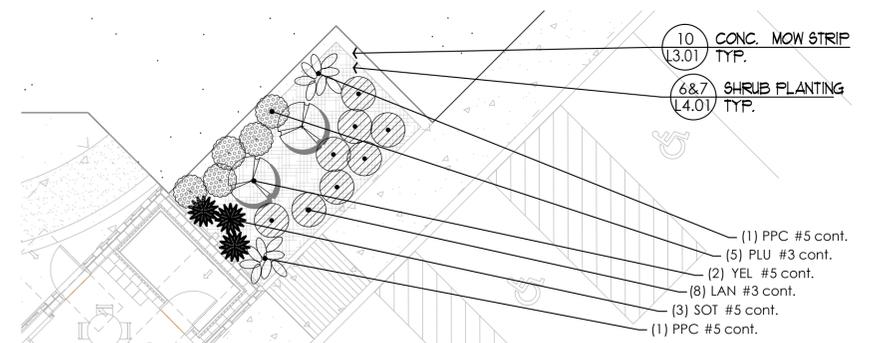
L4.01



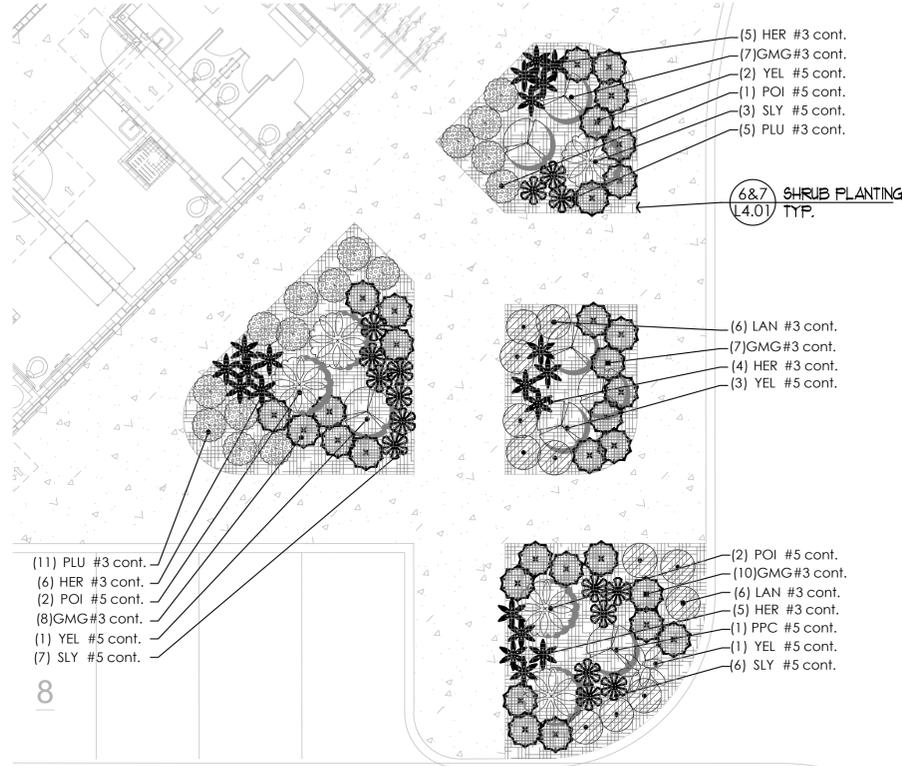
1 ENLARGEMENT
SCALE: 1/8" = 1'-0"



2 ENLARGEMENT

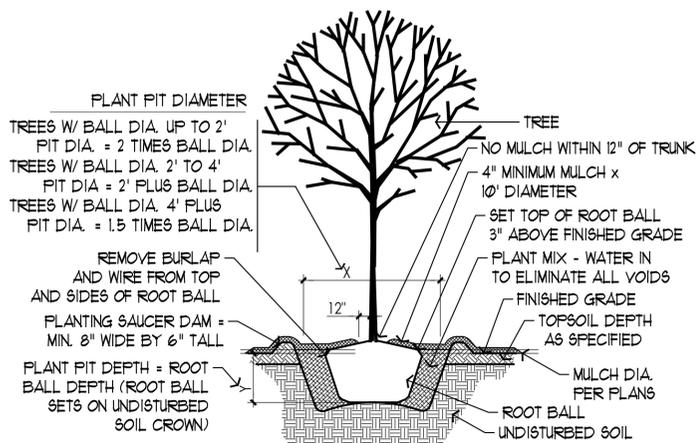


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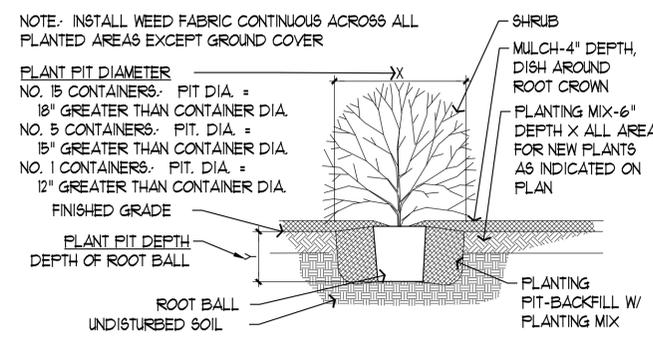


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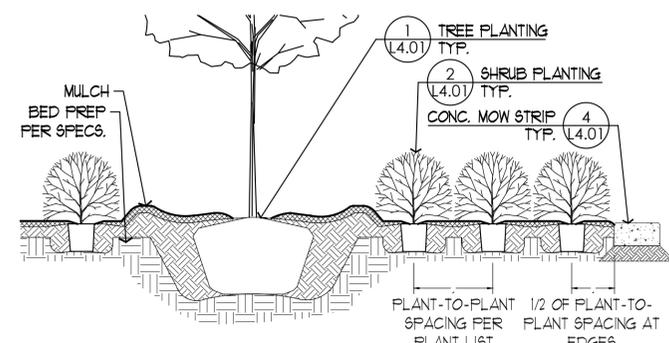
LANDSCAPE PLAN MATERIALS LIST									
PLANTS									
QTY	KEY	UNIT	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
TREES									
16	SYC	EA	Mexican Sycamore	<i>Platanus mexicana</i>	3" cal.	min. 12'	min. 8'	as shown	straight trunks without split leaders, min. 60" clear trunks, full symmetrical canopies
18	ROK	EA	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	min. 10"	min. 6'	as shown	straight trunks without split leaders, min. 60" clear trunks, full symmetrical canopies
5	OAK	EA	Live Oak	<i>Quercus virginiana</i>	3" cal.	min. 8'	min. 6'	as shown	straight trunks without split leaders, min. 60" clear trunks, full symmetrical canopies
ORNAMENTALS									
9	POI	EA	Pride of Barbados	<i>Caesalpinia pulcherrima</i>	#5 cont ainer	min. 24"	18"-24"	as shown	fully rooted; full, unrimed crowns; weed and insect free
11	YEL	EA	Yellowbells	<i>Tecoma stans</i>	#5 cont ainer	min. 24"	18"-24"	as shown	fully rooted; full, unrimed crowns; weed and insect free
5	PPR	EA	Prickly Pear - Spineless	<i>Opuntia ellisiana</i>	#5 cont ainer	min. 18"	12"-16"	as shown	fully rooted; full, unrimed crowns; weed and insect free
16	SOT	EA	Texas Sotol	<i>Dasyliiron texanum</i>	#5 cont ainer	min. 12"	12"-16"	as shown	fully rooted; full, unrimed crowns; weed and insect free
16	SLY	EA	Soft Leaf Yucca	<i>Yucca pendula</i>	#5 cont ainer	min. 12"	12"-16"	as shown	fully rooted; full, unrimed crowns; weed and insect free
38	HER	EA	Red Hesperaloe	<i>Hesperaloe parviflora</i>	#3 cont ainer	min. 10"	8"-12"	as shown	fully rooted; full, unrimed crowns; weed and insect free
26	PLU	EA	Dwf. Plumbago	<i>Ceratostigma plumbaginoides</i>	#3 cont ainer	min. 8"	8"-8"	as shown	fully rooted; full, unrimed crowns; weed and insect free
27	LAC	EA	Confetti Lantana	<i>Lantana x 'Moni'</i>	#3 cont ainer	min. 8"	8"-12"	as shown	fully rooted; full, unrimed crowns; weed and insect free
42	GMG	EA	Gulf Muhly Grass	<i>Muhlenbergia capillaris</i>	#3 cont ainer	min. 16"	8"-12"	as shown	fully rooted; full, unrimed crowns; weed and insect free
TURFGRASS									
111,335	BER	SY	Common Bermuda	<i>Cynodon dactylon</i>	Solid Hydro Seed			solid	State Certified Seed, min. 90% final live coverage
MULCH & SOIL									
538	1864	SY	Organic Mulch	<i>Native Double Grind</i>	<4"	4" depth		solid	depth as specified, max. 3" particle length
180		CY	Infiltration Soil			min 12" depth			50% fine compost and 50% clean, sharp sand, thoroughly blended prior to placement in pit volume shall account for settlement
CONCRETE MOW STRIP									
61		LF	C.I.P. Concrete			5" thick	12" wide	solid	control joints @ 10' O.C., contraction joints @ 30' O.C., medium broom finish



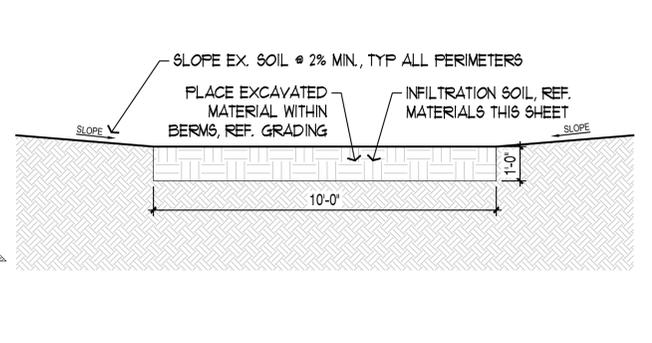
5 DETAIL: TREE PLANTING
NOT TO SCALE



6 DETAIL: SHRUB PLANTING
NOT TO SCALE



7 SECTION: SHRUB LAYOUT
NOT TO SCALE



8 SECTION: INFILTRATION SOIL
SCALE: 3/8" = 1'-0"



**RIALTO
STUDIO**

Rialto Studio, Inc.
Landscape Architecture
2425 Broadway
San Antonio, Texas 78215
210.828.1155



**District 3
Aquatics Facility**
San Antonio, TX

ISSUE DATE 10/30/2025

REVISION

PROJECT NUMBER 23010

DRAWN BY SFA

CHECKED BY BE

SCALE 1"=25'-0"

SHEET TITLE

Special
Landscape
Planting
Plan

SHEET NUMBER

L4.02

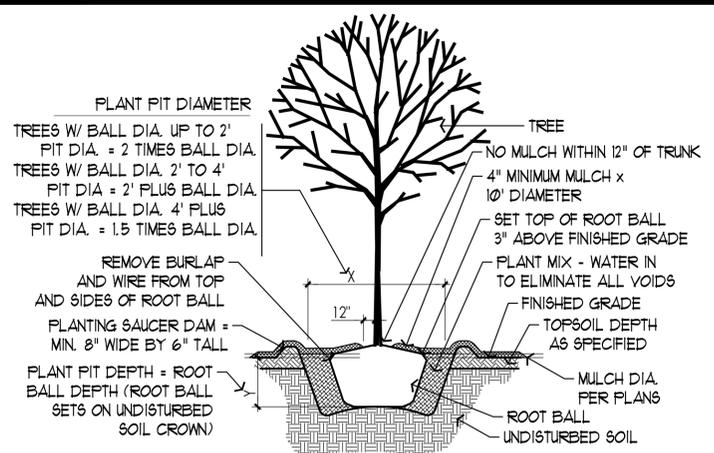
SPECIAL TREE PLANTING MATERIALS LIST									
QTY	KEY	UNIT	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
6	ELM	EA	Cedar Elm	<i>Ulmus crassifolia</i>	6" cal.	14'	8'	as shown	straight trunks without split leaders, min. 60" clear trunks, full symmetrical canopies
4	SYC	EA	Mexican Sycamore	<i>Platanus mexicana</i>	6" cal.	18'	12'	as shown	straight trunks without split leaders, min. 60" clear trunks, full symmetrical canopies
3	MOK	EA	Mexican White Oak	<i>Quercus polymorpha</i>	6" cal.	18'	10'	as shown	straight trunks without split leaders, min. 60" clear trunks, full symmetrical canopies
5	OAK	EA	Live Oak	<i>Quercus virginiana</i>	6" cal.	12'	8'	as shown	min. 60" clear trunks, full symmetrical canopies
6	RBT	EA	Texas Redbud	<i>Cercis texensis</i>	4" cal.	8'	4'	as shown	min. 36" clear trunks, full symmetrical canopies
7	TWO	EA	Texas Wild Olive	<i>Cardia boissieri</i>	4" cal.	8'	4'	as shown	min. 36" clear trunks, full symmetrical canopies
8	ACA	EA	Acacia	<i>Quercus virginiana</i>	4" cal.	8'	8'	as shown	low branching desired, full symmetrical canopies
6	RET	EA	Texas Paloverde	<i>Parkinsonia texana</i>	4" cal.	8'	8'	as shown	low branching desired, full symmetrical canopies
5	YAU	EA	Yaupon Holly	<i>Ilex vomitoria</i>	4" cal.	12'	6'	as shown	multi trunk, full symmetrical canopies
MULCH									
	MUL	SY	Organic Mulch	<i>Native Double Grind</i>	<3"	4" depth		solid	depth as specified by 10' diameter at all trees

GENERAL LANDSCAPE NOTES

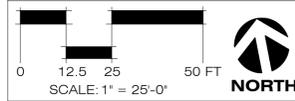
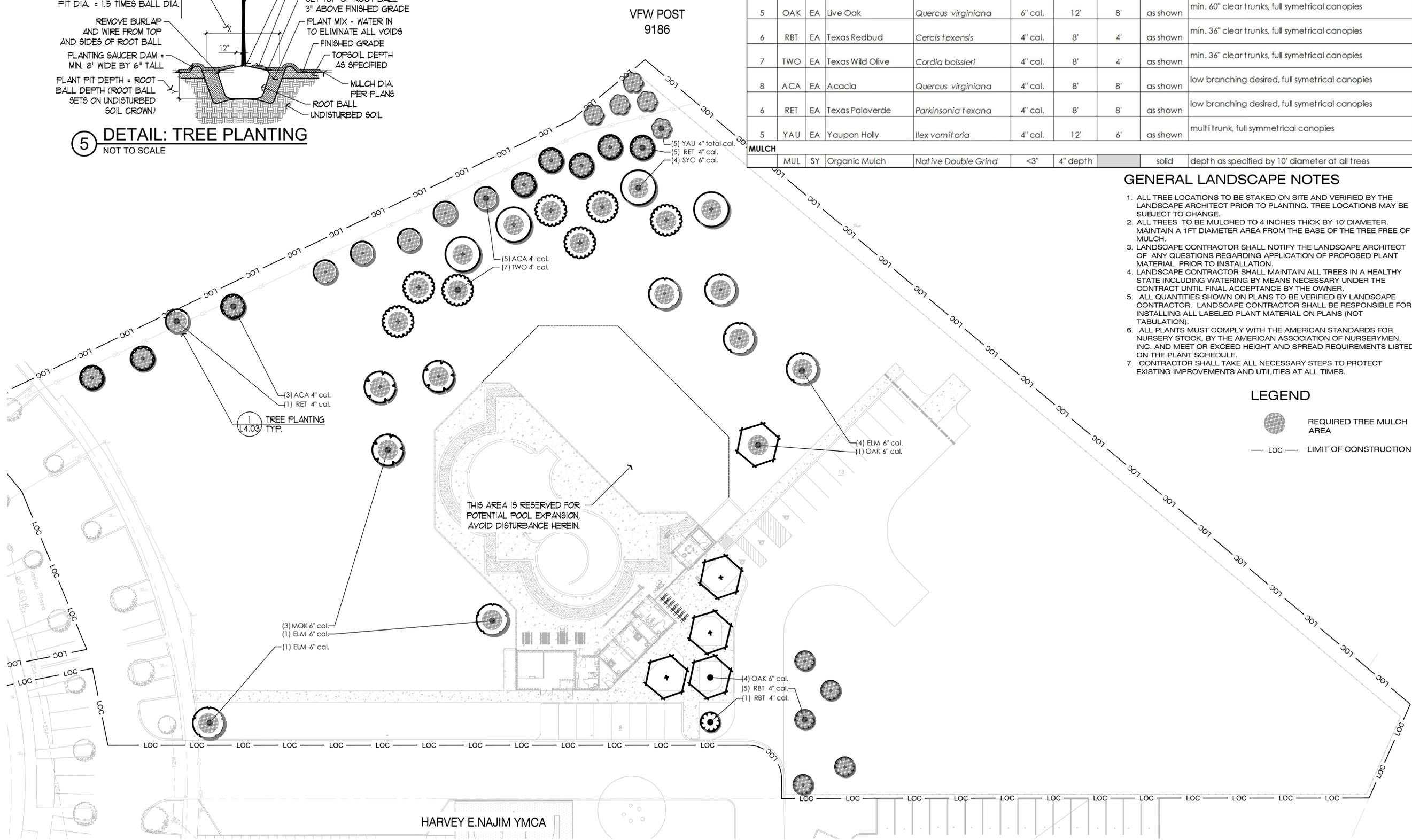
- ALL TREE LOCATIONS TO BE STAKED ON SITE AND VERIFIED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. TREE LOCATIONS MAY BE SUBJECT TO CHANGE.
- ALL TREES TO BE MULCHED TO 4 INCHES THICK BY 10' DIAMETER. MAINTAIN A 1FT DIAMETER AREA FROM THE BASE OF THE TREE FREE OF MULCH.
- LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY QUESTIONS REGARDING APPLICATION OF PROPOSED PLANT MATERIAL PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL TREES IN A HEALTHY STATE INCLUDING WATERING BY MEANS NECESSARY UNDER THE CONTRACT UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL QUANTITIES SHOWN ON PLANS TO BE VERIFIED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL LABELED PLANT MATERIAL ON PLANS (NOT TABULATION).
- ALL PLANTS MUST COMPLY WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND MEET OR EXCEED HEIGHT AND SPREAD REQUIREMENTS LISTED ON THE PLANT SCHEDULE.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT EXISTING IMPROVEMENTS AND UTILITIES AT ALL TIMES.

LEGEND

- REQUIRED TREE MULCH AREA
- LIMIT OF CONSTRUCTION



5 **DETAIL: TREE PLANTING**
NOT TO SCALE



This irrigation plan conforms to the irrigation design equipment standards set out in 35-510(j) and 35-511(c)(6) of the City of San Antonio Unified Development Code and also complies with the requirements of chapter 344, 344.72-344.77 of the Texas Administrative Code.

The irrigation system does not provide 100% coverage of the site, refer plans and/or specifications for area(s) to be covered. The drawings may be diagrammatic in nature for clarity. Some piping or components may be shown larger than scale or appear to be in hardscape areas. The installer should take this into consideration and interpret the design to provide full coverage of the areas shown with all piping in sleeves, common trenches, at the back of curbs or in other planted areas. The installer is responsible for providing all work contained in the drawings, notes, specifications, and details. The installer is required by law to notify at least two (2) working days prior to any excavation one of the following:

- Lone Star 811 (800-669-8344)
- Texas 811 (800-344-8377)

The installer shall verify that static water supply pressure exceeds the design pressure by a minimum of 10%. If less, notify in writing this office, the owner, or owner's representative for a resolution. Installer shall hold harmless this office, the owner, or owner's representative for failure to make such notification prior to starting construction and thereby accepts all costs and obligations for system supply pressure corrections.

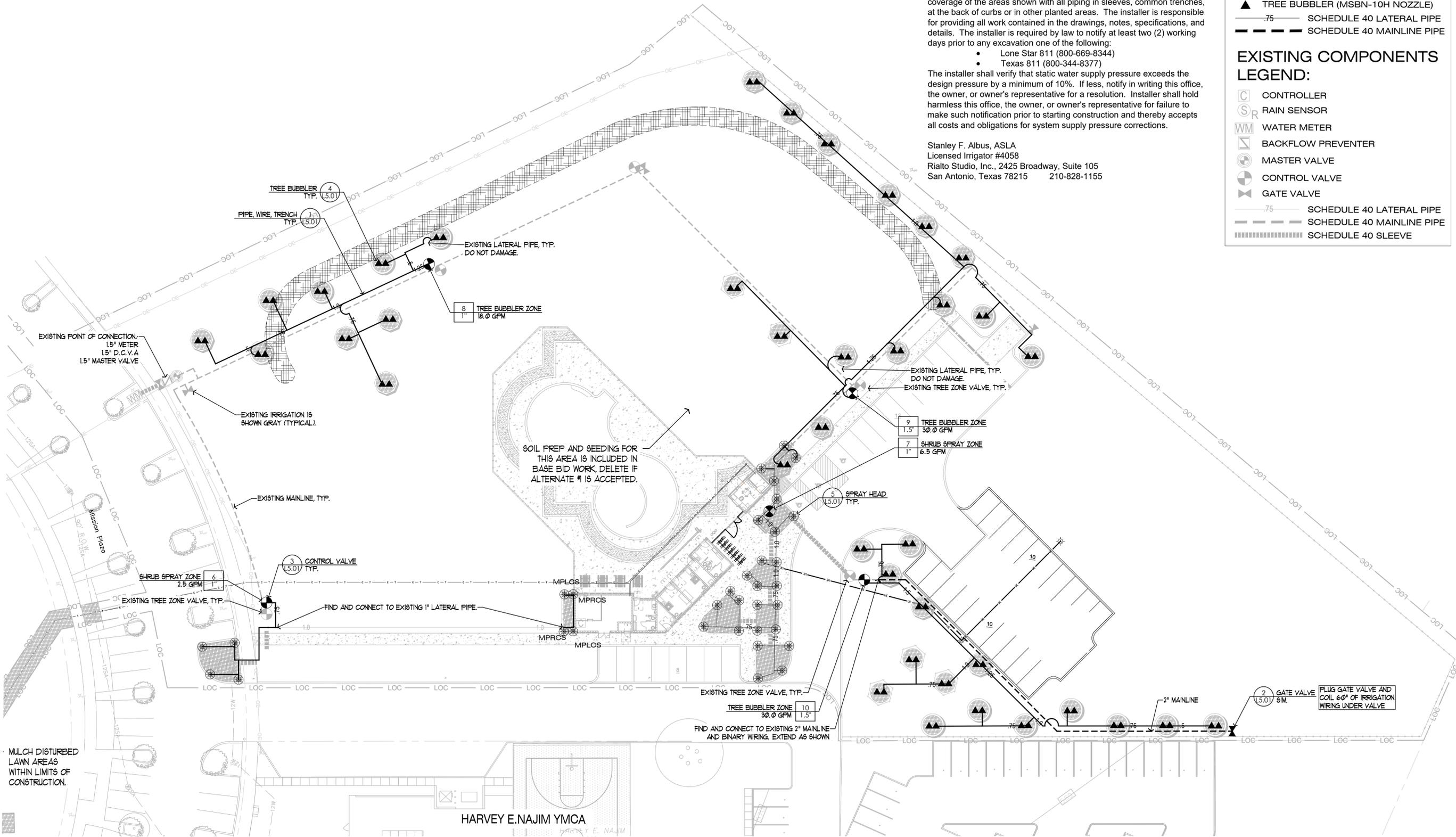
Stanley F. Albus, ASLA
 Licensed Irrigator #4058
 Rialto Studio, Inc., 2425 Broadway, Suite 105
 San Antonio, Texas 78215 210-828-1155

LEGEND:

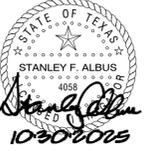
- TURF SPRAY ZONE
1.5" 32.5 GPM
- CONTROL VALVE
- GATE VALVE
- SHRUB SPRAY (M1000 SERIES NOZZLE)
- TREE BUBBLER (MSBN-10H NOZZLE)
- .75 SCHEDULE 40 LATERAL PIPE
- SCHEDULE 40 MAINLINE PIPE

EXISTING COMPONENTS LEGEND:

- CONTROLLER
- RAIN SENSOR
- WATER METER
- BACKFLOW PREVENTER
- MASTER VALVE
- CONTROL VALVE
- GATE VALVE
- .75 SCHEDULE 40 LATERAL PIPE
- SCHEDULE 40 MAINLINE PIPE
- SCHEDULE 40 SLEEVE



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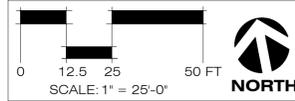
District 3
Aquatics Facility
 San Antonio, TX

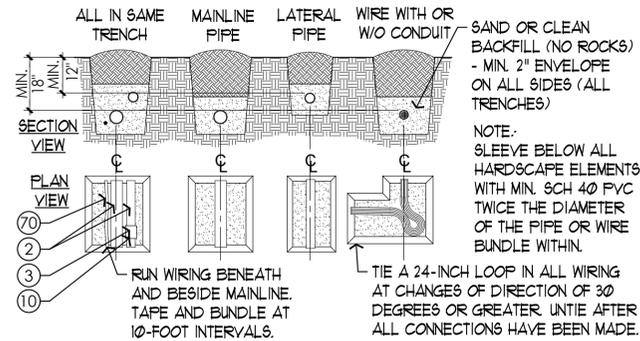
ISSUE DATE	10/30/2025
REVISION	

PROJECT NUMBER 23010
 DRAWN BY JW
 CHECKED BY SFA
 SCALE 1"=25'-0"
 SHEET TITLE

Irrigation Plan

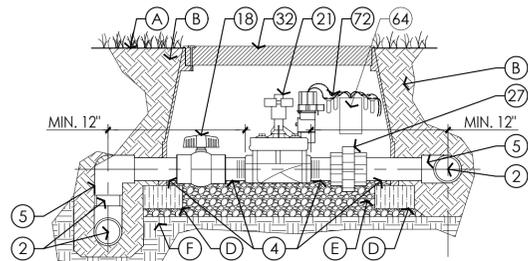
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L5.00



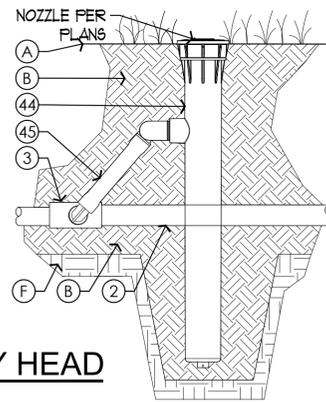


1 **DETAIL: PIPE, WIRE & TRENCHING**
SCALE: VARIES

NOTES:
1. USE SCH 80 PVC EACH SIDE OF VALVE COMPONENTS AS INDICATED.
2. USE GRAVEL TO ADJUST VALVE BOX HEIGHT.

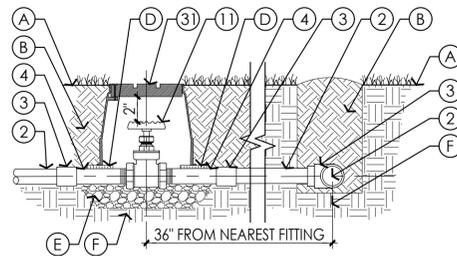


3 **DETAIL: CONTROL VALVE**
SCALE: 1-1/2" = 1'-0"



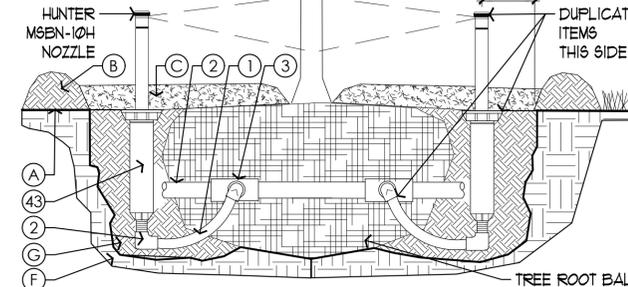
5 **DETAIL: SPRAY HEAD**
SCALE: 3" = 1'-0"

NOTE:
1. FOR 3" AND SMALLER PIPING.
2. MAINTAIN MIN. 2" CLEARANCE BETWEEN VALVE TOP AND BOX LID.



2 **DETAIL: GATE VALVE (3" & SMALLER)**
SCALE: 1" = 1'-0"

NOTE:
1. INSTALL QUANTITY OF BUBBLER HEADS INDICATED ON PLANS, COVER HEADS WITH MULCH AFTER FINAL INSPECTION



4 **DETAIL: TREE BUBBLER**
SCALE: 3" = 1'-0"

RECOMMENDED WATERING SCHEDULE

ZONE PERFORMANCE DATA (RUN TIMES @ 80% E.T.)							
ZONE NO.	APPLICATION	VALVE SIZE	FLOW RATE	AVE. PREC. RATE	MINUTES FOR 1"	MINUTES FOR 1/2"	MINUTES FOR 1/3"
6	SHRUB SPRAY	1"	2.5 GPM	0.41 IN./HR	117	58	39
7	SHRUB SPRAY	1"	6.5 GPM	0.41 IN./HR	117	58	39
8	TREE BUBBLER	1"	18.0 GPM	1.00 IN./HR	48	24	16
9	TREE BUBBLER	1.5"	30.0 GPM	1.00 IN./HR	48	24	16
10	TREE BUBBLER	1.5"	30.0 GPM	1.00 IN./HR	48	24	16
NOTE: This is intended to serve as a guide only. Contractor should evaluate actual water needs and schedule each zone to ensure proper plant growth and development.					378	188	126
					6 Hr 18 Min	3 Hr 8 Min	2 Hr 6 Min

FRICITION LOSS CALCULATIONS

PRESSURE CALCULATIONS		
CRITICAL ZONE (#10 @ 30.0 GPM)		
DEVICE	SIZE	PSI REQUIRED
SERVICE AND METER	1.5"	2.0
BACKFLOW PREVENTER	1.5"	4.0
MASTER VALVE	1.5"	1.5
MAINLINE (637' @ 30.0 gpm)	2.0"	3.8
ELEVATION RISE (FALL)	1'	0.4
CONTROL VALVE	1.5"	1.5
LATERAL PIPE	.75"-1.25"	2.3
SWING JOINT	1/2"	1.0
NOZZLE	N/A	30.0
TOTAL DESIGN PRESSURE		46.5

PRODUCTS:

(SUBMITTAL REQUIRED FOR ALL ITEMS SPECIFIED, SEE DETAILS FOR APPLICABLE ITEMS. MISSING #'S ARE ITEMS NOT USED)

KEY# ITEM

- 1 PVC-FLEXIBLE PIPE
- 2 PVC-SCH 40 PIPE (NO 1/2" PIPE)
- 3 PVC-SCH 40 FITTINGS
- 4 PVC-SCH 80 PIPE
- 5 PVC CONDUIT & FITTINGS
- 10 PRIMER & GLUE (WELDON P70 PURPLE PRIMER, 725 SOLVENT CEMENT FOR RIGID AND FLEXIBLE PIPE UP TO 4", 717 FOR 6" TO 12" PIPE)
- 11 VALVE-GATE-BRONZE (NIBCO CLASS 125 SERIES #T-113)
- 15 VALVE-BALL-SCH 80 PVC (SPEARS UTILITY BALL VALVE, BLUE HANDLE)
- 18 VALVE-ZONE CONTROL (HUNTER ICV-101 OR 151G)
- 24 UNION-SCH 80 PVC
- 31 VALVE BOX-9" ROUND (OLDCASTLE POLYMER #910)
- 32 VALVE BOX- STANDARD (OLDCASTLE POLYMER #1118-12)
- 43 POP-UP TURF SPRAY HEAD (RAIN BIRD RD-06-P30-F) WITH HUNTER MSBN 10H NOZZLE
- 44 POP-UP TURF SPRAY HEAD (RAIN BIRD RD-12-P30-F)
- 45 SWING JOINT-1/2" (RAIN BIRD SA125050)
- 64 DECODER-CONTROL VALVE (HUNTER EZ-1)
- 70 WIRE-24V-ZONES (HUNTER ID-1-WIRE, 14AWG)
- 72 WIRE CONNECTORS-24v (3M DBR OR DBY)
- 73 EARTH GROUND-ROD (5/8" x 96" COPPER CLAD STEEL)
- 74 SOLID COPPER WIRE, 8 AWG
- 75 CAD-WELD CONNECTION (PAIGE ONE-SHOT)

PRODUCTS (NO SUBMITTAL REQUIRED):

KEY# ITEM

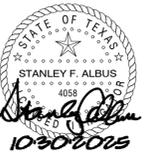
- A. FINISH GRADE
- B. SOIL BACKFILL
- C. MULCH (PER PLANTING SPEC.)
- D. BRICKS-MIN. (4 EACH BOX)
- E. GRAVEL BED (1" WASHED LIMESTONE)
- F. UNDISTURBED SOIL
- G. PLANTING SOIL (SEE PLANTING PLAN FOR SPECIFICATION)

GENERAL IRRIGATION NOTES

- 1. HEAD SPACING, NOZZLE SIZE AND COVERAGE PATTERNS VARY. OBSERVE AND INSTALL LAYOUT AS SHOWN.
- 2. SYMBOLS DENOTE HEAD TYPE, NOZZLE FOR SHRUB SPRAY HEADS SHALL BE HUNTER M1000 SERIES UNLESS OTHERWISE SPECIFIED ON PLANS. NOZZLES FOR TREE BUBBLERS SHALL BE HUNTER MSBN-10H.
- 3. 12" SPRAY HEADS ARE INTENDED FOR ALL AREAS WITH SHRUBS. INSTALLER IS TO ADJUST ALL HEADS FOR 100% COVERAGE OF THE LANDSCAPED AREAS WITH MINIMUM OVERSPRAY. OBSERVE HEAD SPACING NEAR LANDSCAPED AREAS.
- 4. UNLABELED PIPE IS .75" SCHEDULE 40 PVC, DO NOT USE ANY .5" PIPE FOR IRRIGATION.
- 5. LATERAL SLEEVES WILL BE TWICE THE DIAMETER OF PIPES WITHIN OR MINIMUM 4" (WHICHEVER IS LARGER). MAINLINE SLEEVES TO BE MINIMUM 6" DIAMETER.
- 6. INSTALL WIRING IN A SEPARATE SLEEVE WITHIN MAINLINE SLEEVE, SIZE AS NECESSARY.
- 7. VERIFY ALL R.O.W. DIMENSIONS WITH APPROPRIATE JURISDICTION.
- 8. CONTRACTOR SHALL TAKE STEPS NECESSARY TO PROTECT UTILITIES AND EXISTING FENCING AT ALL TIMES.
- 9. THESE PLANS REPRESENT THE FINAL PHASE OF A MULTI-PHASE INSTALLATION. AS-BUILT PLANS WILL BE PROVIDED INDICATING FIRST PHASE COMPONENTS FOR CONNECTIONS.



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District 3
Aquatics Facility
 San Antonio, TX

ISSUE DATE 10/30/2025

REVISION

PROJECT NUMBER 23010
DRAWN BY JW
CHECKED BY SFA
SCALE As Shown

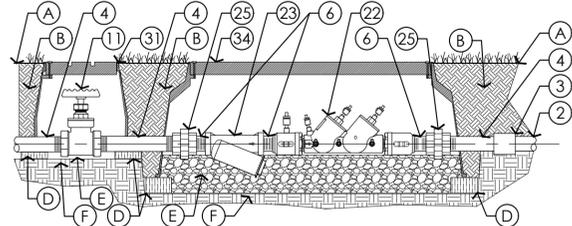
SHEET TITLE

Irrigation
Details, Notes,
Calculations

SHEET NUMBER

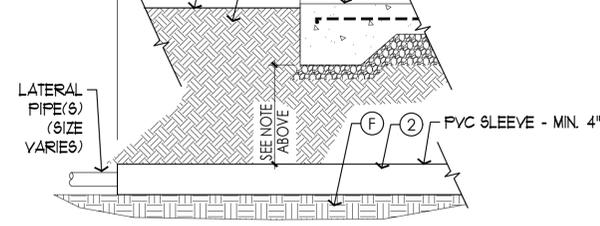
L5.01

- NOTE:
- POINT OF CONNECTION COMPONENTS: GATE VALVE, STRAINER, DC.
 - ALL PIPE AND COMPONENTS TO MATCH WATER METER SIZE UNLESS OTHERWISE INDICATED IN DRAWINGS.
 - SIZE BACKFLOW PREVENTER VALVE BOX TO ALLOW FREE ACCESS TO ALL COMPONENTS WITHOUT REMOVAL OF BOX.



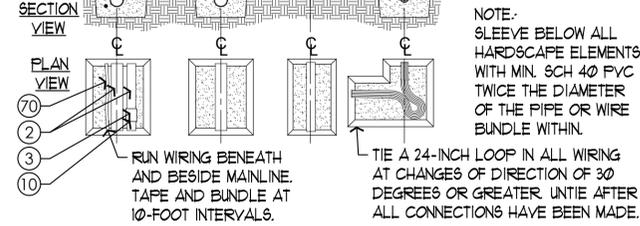
1 **DETAIL: POINT OF CONNECTION**
SCALE: 1" = 1'-0"

- NOTE:
- DEPTH BELOW SIDEWALK MIN. 12"
 - DEPTH BELOW ROADWAYS MIN. 18"



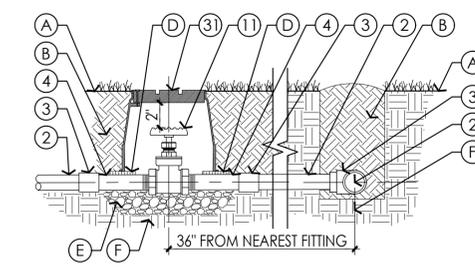
2 **DETAIL: SLEEVE UNDER PAVING**
SCALE: 1" = 1'-0"

- ALL IN SAME TRENCH
MAINLINE PIPE
LATERAL PIPE
WIRE WITH OR W/O CONDUIT
- SAND OR CLEAN BACKFILL (NO ROCKS) - MIN. 2" ENVELOPE ON ALL SIDES (ALL TRENCHES)
- NOTE: SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH MIN. 8CH 40 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
- TIE A 24-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OF 30 DEGREES OR GREATER UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.



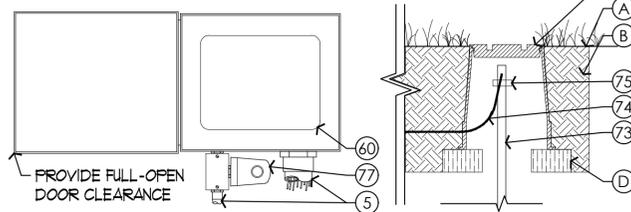
3 **DETAIL: PIPE, WIRE & TRENCHING**
SCALE: VARIES

- NOTE:
- FOR 3" AND SMALLER PIPING.
 - MAINTAIN MIN. 2" CLEARANCE BETWEEN VALVE TOP AND BOX LID.



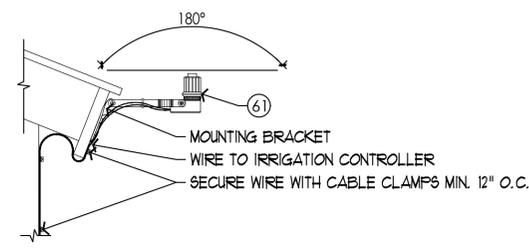
4 **DETAIL: GATE VALVE (3" & SMALLER)**
SCALE: 1" = 1'-0"

- NOTE:
- MOUNT CONTROLLER ON WALL PER MANUFACTURER'S INSTRUCTION AT EYE LEVEL.
 - PROVIDE CONTROLLER GROUNDING PER A.S.I.C. GUIDELINES.
 - PROVIDE CONDUIT SIZED TO FREELY ACCEPT ALL WIRES CONTAINED.
 - PROVIDE METALLIC UNION BOX FOR SURGE SUPPRESSION INSTALLATION (CERTIFIED ELECTRICIAN TO INSTALL 120V POWER AND SURGE SUPPRESSOR).



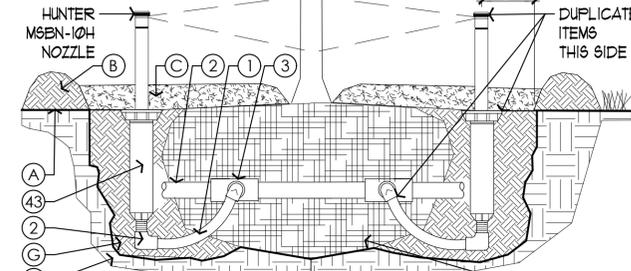
5 **DETAIL: IRRIGATION CONTROLLER**
SCALE: 1-1/2" = 1'-0"

- NOTE:
- CONFIRM LOCATION OF INSTALLATION WITH LANDSCAPE ARCHITECT, PROVIDE UNOBSTRUCTED ACCESS TO RAIN.
 - INSTALL ON ROOF, WALL, OR POLE AS INDICATED IN DRAWINGS.



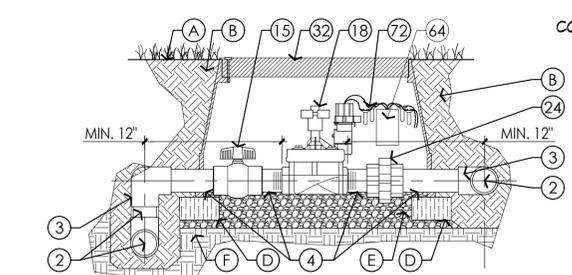
6 **DETAIL: RAIN SENSOR**
SCALE: 1-1/2" = 1'-0"

- NOTE:
- INSTALL QUANTITY OF BUBBLER HEADS INDICATED ON PLANS, COVER HEADS WITH MULCH AFTER FINAL INSPECTION

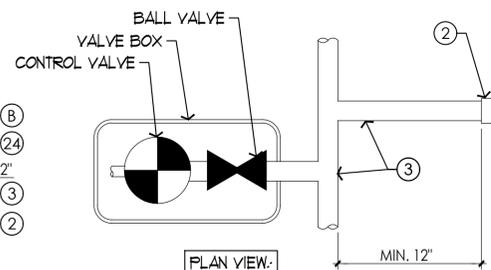


7 **DETAIL: TREE BUBBLER**
SCALE: 3" = 1'-0"

- NOTES:
- USE 8CH 80 PVC EACH SIDE OF VALVE COMPONENTS AS INDICATED.
 - USE GRAVEL TO ADJUST VALVE BOX HEIGHT.
 - INSTALL PIPE STUB FOR FUTURE USE.



8 **DETAIL: CONTROL VALVE W/ PIPE STUB**
SCALE: 1-1/2" = 1'-0"



RECOMMENDED WATERING SCHEDULE

ZONE PERFORMANCE DATA (RUN TIMES @ 80% E.T.)						
ZONE NO.	APPLICATION	VALVE SIZE	FLOW RATE	AVE. PREC. RATE	MINUTES FOR 1"	MINUTES FOR 1/2"
1	TREE BUBBLER	1"	6.0 GPM	1.00 IN./HR	48	24
2	TREE BUBBLER	1.5"	31.0 GPM	1.00 IN./HR	48	24
3	TREE BUBBLER	1.5"	31.0 GPM	1.00 IN./HR	48	24
4	TREE BUBBLER	1.5"	25.0 GPM	1.00 IN./HR	48	24
5	TREE BUBBLER	1.5"	24.0 GPM	1.00 IN./HR	48	24
					240	120
					4 Hr 0 Min	2 Hr 0 Min
						1 Hr 20 Min

PRESSURE LOSS CALCULATIONS

PRESSURE CALCULATIONS CRITICAL ZONE (#3 @ 31.0 GPM)		
DEVICE	SIZE	PSI REQUIRED
SERVICE AND METER	1.5"	2.0
BACKFLOW PREVENTER	1.5"	4.0
MASTER VALVE	1.5"	1.5
MAINLINE (15' @ 31.0 gpm)	2.0"	1.0
ELEVATION RISE (FALL)	1'	0.4
CONTROL VALVE	1.5"	1.5
LATERAL PIPE	75'-1.25"	2.7
SWING JOINT	1/2"	1.0
NOZZLE	N/A	30.0
TOTAL DESIGN PRESSURE		44.1
PUMP PRESSURE REQUIRED		48.5

PRODUCTS:

(SUBMITTAL REQUIRED FOR ALL ITEMS SPECIFIED, SEE DETAILS FOR APPLICABLE ITEMS. MISSING #'S ARE ITEMS NOT USED)

KEY# ITEM

- PVC-FLEXIBLE PIPE
- PVC-SCH 40 PIPE (NO 1/2" PIPE)
- PVC-SCH 40 FITTINGS
- PVC-SCH 80 PIPE
- PVC CONDUIT & FITTINGS
- BRASS PIPE & FITTINGS
- PRIMER & GLUE (WELDON P70 PURPLE PRIMER, 725 SOLVENT CEMENT FOR RIGID AND FLEXIBLE PIPE UP TO 4", 717 FOR 6" TO 12" PIPE)
- VALVE-GATE-BRONZE (NIBCO CLASS 125 SERIES #T-113)
- VALVE-BALL-SCH 80 PVC (SPEARS UTILITY BALL VALVE, BLUE HANDLE)
- VALVE-ZONE CONTROL (HUNTER ICV-101 OR 151G)
- VALVE-DOUBLE CHECK ASSEMBLY (WILKINS 350)
- STRAINER (REFERENCE #22)
- UNION-SCH 80 PVC
- UNION-BRONZE
- VALVE BOX-9" ROUND (OLDCASTLE POLYMER #910)
- VALVE BOX- STANDARD (OLDCASTLE POLYMER #1118-12)
- VALVE BOX- 17"X30" (OLDCASTLE POLYMER #1730)
- POP-UP TURF SPRAY HEAD (RAIN BIRD RD-06-P30-F)
- CONTROLLER (HUNTER HCC WITH (1) ICM-400 MODULE AND (1) EZ-DS MODULE)
- SENSOR-RAIN (HUNTER WRF-CLIK)
- DECODER-CONTROL VALVE (HUNTER EZ-1)
- WIRE-24V-ZONES (HUNTER ID-1-WIRE, 14AWG)
- WIRE CONNECTORS-24v (3M DBR OR DBY)
- EARTH GROUND-ROD (5/8" x 96" COPPER CLAD STEEL)
- SOLID COPPER WIRE, 8 AWG
- CAD-WELD CONNECTION (PAIGE ONE-SHOT)
- 120v SURGE SUPPRESSION (PAIGE ELECTRICAL #250090LED)

PRODUCTS (NO SUBMITTAL REQUIRED):

KEY# ITEM

- FINISH GRADE
- SOIL BACKFILL
- MULCH (PER PLANTING SPEC.)
- BRICKS-MIN. (4 EACH BOX)
- GRAVEL BED (1" WASHED LIMESTONE)
- UNDISTURBED SOIL
- PLANTING SOIL (SEE PLANTING PLAN FOR SPECIFICATION)

SPECIAL IRRIGATION NOTES:

- OBSERVE AND INSTALL LAYOUT AS SHOWN.
- SYMBOLS DENOTE HEAD TYPE, NOZZLES FOR TREE BUBBLERS SHALL BE HUNTER MSBN-10H.
- UNLABELED PIPE IS .75" SCHEDULE 40 PVC, DO NOT USE ANY .5" PIPE FOR IRRIGATION.
- LATERAL SLEEVES WILL BE TWICE THE DIAMETER OF PIPES WITHIN OR MINIMUM 4" (WHICHEVER IS LARGER). MAINLINE SLEEVES TO BE MINIMUM 6" DIAMETER.
- INSTALL WIRING IN A SEPARATE SLEEVE WITHIN MAINLINE SLEEVE, SIZE AS NECESSARY.
- VERIFY ALL R.O.W. DIMENSIONS WITH APPROPRIATE JURISDICTION.
- CONTRACTOR SHALL TAKE STEPS NECESSARY TO PROTECT UTILITIES AND EXISTING FENCING AT ALL TIMES.
- THESE DRAWINGS REPRESENT THE FIRST OF A MULTI-PHASE INSTALLATION. INSTALL ALL COMPONENTS SHOWN AND AT SIZES INDICATED TO ENABLE FUTURE EXPANSION BY OTHERS.



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Rialto Studio, Inc.
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210.828.1155



District 3
Aquatics Facility
San Antonio, TX

ISSUE DATE 10/30/2025

REVISION

PROJECT NUMBER 23010
DRAWN BY JW
CHECKED BY SFA
SCALE 1"=25'-0"

SHEET TITLE

Special Irrigation
Details, Notes,
Calculations

SHEET NUMBER

L5.03

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR CONSTRUCTION JUNE 2008, OR LATEST.
- NO EXTRA PAYMENT SHALL BE ALLOWED FOR WORK CALLED FOR ON THE PLANS, BUT NOT INCLUDED IN THE BID PROPOSAL. THIS INCIDENTAL WORK WILL BE REQUIRED AND SHALL BE INCLUDED IN THE PAY ITEM TO WHICH IT RELATES.
- THE CONTRACTOR SHALL PROVIDE ACCESS FOR THE DELIVERY OF MAIL BY THE U.S. POSTAL SERVICE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING FENCES, CONCRETE ISLANDS, STREET PAVING, CURBS, SHRUBS, BUSHES OR DRIVEWAYS. (NO SEPARATE PAY ITEM).
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL SIGNS AND BARRICADES ARE PROPERLY INSTALLED AND MAINTAINED. ALL LOCATIONS AND DISTANCES WILL BE DECIDED UPON IN THE FIELD BY THE CONTRACTOR, USING THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". THE CITY'S CONSTRUCTION INSPECTOR AND TRAFFIC ENGINEERING REPRESENTATIVE WILL ONLY BE RESPONSIBLE TO INSPECT BARRICADES AND SIGNS. IF, IN THE OPINION OF THE TRAFFIC ENGINEERING REPRESENTATIVE AND THE CONSTRUCTION INSPECTOR, THE BARRICADES AND SIGNS DO NOT CONFORM TO ESTABLISHED STANDARDS OR ARE INCORRECTLY PLACED OR ARE INSUFFICIENT IN QUANTITY TO PROTECT THE GENERAL PUBLIC, THE CONSTRUCTION INSPECTOR SHALL HAVE THE OPTION TO STOP OPERATIONS UNTIL SUCH TIME AS THE CONDITIONS ARE CORRECTED.
- IF THE NEED ARISES, ADDITIONAL BARRICADES AND DIRECTIONAL DEVICES MAY BE ORDERED BY THE TRAFFIC ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.171 C.P.S. MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR TWENTY FOUR (24) HOURS PRIOR TO BACKFILL OF ANY UTILITY TRENCHES TO SCHEDULE FOR DENSITY TEST AS REQUIRED.
- CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES, MARKS, ETC. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO DETERMINE THE LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO EXCAVATION OPERATION:

SAN ANTONIO WATER SYSTEM (SAWS)	233-2010
BEXAR METROPOLITAN WATER DISTRICT (BEXAR MET)	354-6538 / 357-5741
COSA DRAINAGE	207-8048
COSA SIGNAL OPERATIONS	207-7720 / 207-7765
TEXAS STATE WIDE ONE CALL LOCATOR	1-800-344-8377
- CITY PUBLIC SERVICE ENERGY	
- TIME WARNER	
- AT&T	
- MCI	
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM AVAILABLE RECORDS AND ARE NOT GUARANTEED, BUT SHALL BE INVESTIGATED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO AND FOR THE MAINTENANCE AND PROTECTION OF THE EXISTING UTILITIES EVEN IF THEY ARE NOT SHOWN ON THE PLANS. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HERE ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND HE SHALL BE RESPONSIBLE FOR PROTECTION OF SAME DURING CONSTRUCTION.
- ALL WASTE MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE HIS SOLE RESPONSIBILITY TO DISPOSE OF THIS MATERIAL OFF THE LIMITS OF THE PROJECT. NO WASTE MATERIAL SHALL BE PLACED IN EXISTING LOWS THAT WILL BLOCK OR ALTER FLOW LIMITS OF EXISTING ARTIFICIAL OR NATURAL DRAINAGE.
- THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIAL IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.
- THE CONTRACTOR SHALL MAINTAIN ALL ADJOINING STREETS AND TRAVELED ROUTES FREE FROM SPILLED AND /OR TRACKED CONSTRUCTION MATERIALS AND /OR DEBRIS.
- IF THE CONTRACTOR ENCOUNTERS ANY ARCHAEOLOGICAL DEPOSITS DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR MUST STOP EXCAVATION IMMEDIATELY, CONTACT THE CITY INSPECTOR, AND CALL THE CITY HISTORIC PRESERVATION OFFICE AT 207-7306 OR 207-3327 FOR AN ARCHAEOLOGICAL INVESTIGATION. THE CONTRACTOR CANNOT BEGIN EXCAVATION AGAIN WITHOUT WRITTEN PERMISSION FROM THE CITY.

IF MORE THAN THREE (3) DAYS ARE REQUIRED FOR INVESTIGATION (NOT INCLUDING HOLIDAY AND WEEKENDS) AND IF THE CONTRACTOR IS UNABLE TO WORK IN OTHER AREAS, THEN THE CONTRACTOR WILL BE ALLOWED TO NEGOTIATE FOR ADDITIONAL CONSTRUCTION TIME UPON WRITTEN REQUEST WITHIN TEN (10) DAYS AFTER THE FIRST NOTICE TO THE CITY OF ARCHAEOLOGICAL INVESTIGATION FOR EACH EVENT.

IF THE TIME REQUIRED FOR INVESTIGATION IS LESS THAN OR EQUAL TO THREE (3) DAYS FOR EACH EVENT, CONTRACT DURATION WILL NOT BE EXTENDED.
- IF SUSPECTED CONTAMINATION IS ENCOUNTERED DURING CONSTRUCTION OPERATIONS, C.O.S.A. SHALL BE NOTIFIED IMMEDIATELY WHEN CONTAMINATED SOILS AND /OR GROUNDWATER ARE ENCOUNTERED AT LOCATIONS NOT IDENTIFIED IN THE PLANS. THE NOTIFICATION SHOULD INCLUDE THE STATION NUMBER, TYPE OF CONTAMINATED MEDIA, EVIDENCE OF CONTAMINATION AND MEASURES TAKEN TO CONTAIN THE CONTAMINATED MEDIA AND PREVENT PUBLIC ACCESS. THE CONTAMINATED SOIL AND /OR GROUNDWATER SHALL NOT BE REMOVED FROM THE LOCATION WITHOUT PRIOR C.O.S.A. APPROVAL.

THE CONTRACTOR MUST STOP THE EXCAVATION IMMEDIATELY AND CONTACT THE C.O.S.A. INSPECTOR. THE CONTRACTOR CANNOT BEGIN EXCAVATION ACTIVITIES WITHOUT WRITTEN PERMISSION FROM THE CITY.
- CONTRACTOR IS TO INCLUDE A MAILBOX POST BLOCKOUT FOR VACANT LOTS AND ALL RESIDENCES WHICH DO NOT HAVE MAILBOXES AT THE CURB. BLOCKOUTS ARE PROVIDED FOR FUTURE USE BY THE POST OFFICE.

- CONTRACTOR SHALL NOT REMOVE OR ADJUST ANY VIA FACILITIES. THE CONTRACTOR MUST CONTACT VIA FOURTEEN DAYS PRIOR, FOR THE REMOVAL OF BENCHES, STOP POLES OR ANY OTHER VIA FACILITIES THAT MAY BE PRESENT. PLEASE PROVIDE THIRTY DAYS PRIOR NOTICE FOR SHELTER REMOVAL (TELEPHONE NOS: (210) 362-2155 OR (210) 362-2096). THE CONTRACTOR OR WILL BE LIABLE FOR ANY DAMAGES TO VIA FACILITIES NOT REMOVED BY VIA. THE CONTRACTOR IS REQUIRED TO REPLACE ALL FLATWORK REMOVED OR DAMAGED IN THE COURSE OF EXECUTING THE CONTRACT UNLESS OTHERWISE NOTED BY VIA. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING VIA FACILITIES IF ADJACENT TO WORK AREA.

TREE PROTECTION AND PRESERVATION GENERAL NOTES

- NO UTILITY OR STREET EXCAVATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED.
- TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. DURING CONSTRUCTION ACTIVITY, AT LEAST A SIX-INCH LAYER OF COARSE MULCH SHALL BE PLACED AND MAINTAINED OVER THE ROOT PROTECTION ZONE (NO SEPARATE PAY ITEM).
- THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR FOR GUIDANCE.
- ROOTS WILL BE CUT WITH A ROCK SAW OR BY HAND, NOT BY AN EXCAVATOR OR OTHER ROAD CONSTRUCTION EQUIPMENT.
- ALL CURB AND SIDEWALK WORK SHALL USE ALTERNATIVE CONSTRUCTION METHODS TO MINIMIZE EXTENSIVE ROOT DAMAGE TO TREES (REFER TO DETAILS).
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH, OR WET BURLAP.
- NO EQUIPMENT, VEHICLES OR MATERIALS SHALL OPERATE OR BE STORED WITHIN THE ROOT PROTECTION ZONE OF ANY TREE NEAR THE PROJECT. ROOT PROTECTION ZONE IS 1 FOOT OF RADIUS PER INCH OF TREE'S DIAMETER. A 10-INCH DIAMETER TREE WOULD HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. OAK WOUNDS SHALL BE PAINTED OVER WITHIN 30 MINUTES TO PREVENT OAK WILT.
- SAPLINGS, SHRUBS OR BUSHES TO BE CLEARED FROM THE PROTECTED ROOT ZONE AREA OF A LARGE TREE SHALL BE REMOVED BY HAND AS DESIGNATED BY THE INSPECTOR.
- NO WIRES, NAILS OR OTHER MATERIAL MAY BE ATTACHED TO PROTECTED TREES.
- TREES, TREE LIMBS, BUSHES AND SHRUBS LOCATED IN THE CITY STREET OR ALLEY RIGHT-OF-WAY OR PERMANENT EASEMENTS WHICH INTERFERE WITH PROPOSED CONSTRUCTION ACTIVITIES SHALL BE PROPERLY PRUNED FOLLOWING THE ANSI A-300 STANDARDS FOR PRUNING. ALL TREE PRUNING SHALL BE COMPLETED BY A CITY OF SAN ANTONIO TREE MAINTENANCE LICENSED CONTRACTOR (ARTICLE 21-171, CITY CODE) ONLY AFTER APPROVAL FROM THE CAPITAL PROJECTS MANAGEMENT THROUGH THE INSPECTOR.
- NO EXCESSIVE TREE TRIMMING WILL BE PERMITTED.
- ALL DEBRIS GENERATED BY THE PRUNING AND TRIMMING OF THE TREES AND /OR BUSHES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY (NO SEPARATE PAY ITEM).
- TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE, BUT NOT LIMITED TO: WATERING THE ROOT PROTECTION ZONE, WASHING FOLIAGE, FERTILIZATION, PRUNING, ADDITIONAL MULCH APPLICATIONS AND OTHER MAINTENANCE AS NEEDED ON THE PROJECT.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST. (207-8053)
- TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE CITY'S SATISFACTION.
- TREE PLANTING FOR MITIGATION OR ENHANCEMENT: ALL PLANTED TREES SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THIS INCLUDES IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE AS NEEDED ON THE PROJECT. TREES THAT DIE WITHIN TWELVE (12) MONTHS SHALL BE REPLACED WITH A TREE OF EQUAL SIZE AND SPECIES.

ACCESSIBILITY REQUIREMENTS

- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS AT ALL TIMES TO LOCAL RESIDENCES AND BUSINESSES.
- WHEN THE WORK REQUIRES THE EXCAVATION OF THE STREET AND THE REMOVAL OF THE EXISTING DRIVEWAY APPROACHES AND SIDEWALKS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY ALL-WEATHER ACCESS TO THE BUSINESSES AND RESIDENCES. THE TEMPORARY DRIVEWAY APPROACHES SHALL BE CONSTRUCTED WITH FLEXIBLE BASE OR GRAVEL MATERIAL AT NO SEPARATE COST TO THE CITY.
- PRIOR TO INITIATING THE CONSTRUCTION OF NEW DRIVEWAY APPROACHES, THE CONTRACTOR SHALL GIVE ADVANCE WARNING IN PERSON, OR IN WRITING, OF AT LEAST 48 HOURS TO EACH RESIDENCE THAT WILL BE IMMEDIATELY AFFECTED, SO THAT ALTERNATE PLANS MAY BE MADE BY THE RESIDENTS.
- FOR BUSINESSES WITH MORE THAN ONE DRIVEWAY, AT LEAST ONE DRIVEWAY SHALL REMAIN OPEN WHILE THE OTHER NEW DRIVEWAY APPROACHES ARE CONSTRUCTED FOR BUSINESSES WITH ONLY ONE DRIVEWAY, THE NEW DRIVEWAY APPROACH SHALL BE CONSTRUCTED IN HALF WIDTHS, UNLESS A TEMPORARY ASPHALT DRIVEWAY IS FIRST INSTALLED AT NO SEPARATE COST TO THE CITY.

NOTE TO CONSULTANT

DO NOT MODIFY, DELETE OR ADD TO THE CITY OF SAN ANTONIO'S GENERAL NOTES STANDARD SHEET. IF MODIFICATIONS ARE REQUIRED, FOLLOW THE INSTRUCTIONS ON THE "SUPPLEMENTAL GENERAL NOTES" SHEET.

DECEMBER 2009

CITY OF SAN ANTONIO			
CAPITAL IMPROVEMENTS MANAGEMENT SERVICES DEPARTMENT			
CITY OF SAN ANTONIO GENERAL NOTES			
_____% SUBMITTAL	PROJECT NO. _____	DATE: _____	
DRAWN BY: _____	DSGN. BY: _____	CHKD. BY: _____	SHEET NO.: ____ OF ____

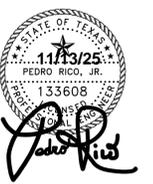


**RIALTO
STUDIO**

Rialto Studio, Inc.
Landscape Architecture
2425 Broadway
San Antonio, Texas 78215
210.828.1155



**GESSNER
ENGINEERING, LLC**
FIRM REGISTRATION NUMBERS:
TDR# F-7451, TDR# S-F-10193910
401 W 26TH STREET
BRYAN, TEXAS 77803



**District 3
Aquatics Facility
San Antonio, TX**



ISSUE DATE	10/31/2025
REVISION	
PROJECT NUMBER	23010
DRAWN BY	PJ
CHECKED BY	PR
SCALE	
SHEET TITLE	

COSA NOTES

SHEET NUMBER
C001

**SAWS STANDARD
ASSOCIATED V**

GENERAL CONSTRUCTION

1. All materials and construction approved by the San Antonio Specifications, General Construction
 - A. Current Texas Code for Domestic Water Part 1 Chapter 2290.
 - B. Current TXDOT and Drainage."
 - C. Current "San Antonio Sanitary Sewer Code"
 - D. Current City of San Antonio
2. The Contractor shall <https://apps.saws.org/busdesignplans>.
3. The Contractor is to notify Inspection Division at 21 notification procedures to property owners two (2) hours the SAWS EOC shall
4. If necessary, Contractor SAWS. Such efforts include badges required for access
5. Locations and depths of service lines as required to be approved. Contractor prior to construction service lines as required to be approved.
6. The Contractor shall verify structures prior to construction infrastructure can be observed. Please allow up to 7 business days for locates before contact information

San Antonio Water Request as-built

GENERAL NOTES

of this contract shall comply with the Plans, Specifications, General Construction

(TCEQ) "Design Criteria Code (TAC) Title 30 Title 30 Part 1 Chapter 290. tion of Highways, Streets and Drainage." ifications for Water and Sewer Construction." Manual" (UECM).

from SAWS website, otherwise noted within the SAWS Construction working hours) and provide home residents and/or regular SAWS working

at no additional cost to security identification

shown on the plans are to be field verified by the responsibility to locate utility during construction at no

and utilities and drainage not. As-builts for SAWS shall coordinate physical or. Please allow up to 7 business days for locates before contact information

service/

COSA Drainage 210-206-8433
COSA Traffic Signal Operations 210-207-7720
Texas Statewide One Call Locator 1-800-545-6005 or 811

7. The Contractor shall be responsible for restoring existing fences, curbs, streets, driveways, sidewalks, landscaping, and structures to its original or better condition as a result of damages done by the project's construction.
8. Contractor shall not make use of dumpsters or waste bins that are intended to serve residents and/or businesses.
9. All work in Texas Department of Transportation and Bexar County right-of-way shall be done in accordance with respective construction specifications and permit.
10. The Contractor shall comply with City of San Antonio or other governing Municipality's tree ordinances when excavating near trees.
11. All work within the 100-year Floodplain shall be done in accordance with Floodplain Development Permit.
12. Any work completed without prior written authorization which is not included in these plans and specifications will not be compensated by the San Antonio Water System.
13. Holiday Work: Contractors will not be allowed to perform SAWS work on SAWS recognized holidays.

Weekend Work: Contractors are required to submit request to the SAWS Inspection Construction department by 12:00pm on the Wednesday prior to the weekend being requested. Request should be sent to constworkreq@saws.org.

Any and all SAWS utility work installed without weekend approval will be subject to be uncovered for proper inspection at no cost to SAWS.
14. PRE-CON SITE VIDEO: Before the start of any construction. The site must be video recorded by the contractor with one copy submitted to SAWS Inspections. A pre-site video will provide accurate documentation of the existing conditions (NSPI).
15. POWER POLE BRACING: Contractors should be advised that there are existing overhead utility poles along the project corridor. Contractors should further be advised that if the distance from the outside face of a utility trench to the face of a utility pole is less than 5 feet, said utility pole is subject to bracing, based on a determination made by utility pole owner. It is advisable for the contractor to review the construction documents and visit the construction site to determine potential impacts.
16. CONSTRUCTION SEQUENCING: It is the Contractor's sole responsibility to schedule sequencing for removal and installation of existing and proposed SAWS utilities in conjunction with general project construction. Sequence of construction activities shall be considered in order to minimize the extent and duration of disturbances.

26. ELEVATIONS POSTED FOR TOP OF MANHOLES ARE FOR REFERENCE ONLY: It shall be the responsibility of the Contractor to make allowances and adjustments for top of manholes to match the finished grade of the project's improvements (NSPI).
27. MANHOLE REMOVAL: Where existing manholes are to be replaced by the contractor, the existing manholes shall be removed. (NSPI)
28. SMART MANHOLE COVERS: The Contractor shall notify SAWS EOC at 210-704-SAWS (210-233-7297) and either America Espinoza at 210-233-2934 or Jose A. Martinez at 210-233-3071 a minimum of 72 hours, not counting weekends or SAWS holidays, before working on the pipe or manhole, in order to have SAWS remove the Smart Cover. Any damage done to the Smart Cover will be charged to the Contractor through a change order.
29. FLOW METERS IN MANHOLES: The Contractor shall notify Bobby Johnson at 210-233-3493 or Abel Borunda at 210-233-3704 a minimum of 72 hours, not counting weekends or SAWS holidays, before working on the pipe or manhole, in order to have SAWS remove the Flow Meter in the manhole. Any damage done to the Flow Meter will be charged to the Contractor through a change order.

Add applicable TCEQ notes under headings below if applicable and remove all red text herein. Remove any text below, including headings, which is not applicable to the project in question.

TCEQ: EDWARDS AQUIFER PROTECTION - LIFT STATIONS AND FORCE MAINS
If applicable to the project in question, add General Notes required in TCEQ Form TCEQ-591 available at <https://www.tceq.texas.gov/permitting/eapp/material.html>

TCEQ: EDWARDS AQUIFER PROTECTION - WATER POLLUTION ABATEMENT PLAN
If applicable to the project in question, add General Notes required in TCEQ Form TCEQ-592 available at <https://www.tceq.texas.gov/permitting/eapp/material.html>

TCEQ: EDWARDS AQUIFER PROTECTION - CONTRIBUTING ZONE PLAN
If applicable to the project in question, add General Notes required in TCEQ Form TCEQ-592A available at <https://www.tceq.texas.gov/permitting/eapp/material.html>

TCEQ: EDWARDS AQUIFER PROTECTION - ORGANIZED SEWER COLLECTION SYSTEM
If applicable to the project in question, add General Notes required in TCEQ Form TCEQ-596 available at <https://www.tceq.texas.gov/permitting/eapp/material.html>

17. Contractor shall comply with applicable regulations including, but not limited to, those overseen by the U.S. Occupational Safety and Health Administration (OSHA). OSHA information and related materials may be obtained at <https://www.osha.gov/> or at the OSHA San Antonio Office located at Fountainhead Tower, Suite 605 8200 W. Interstate 10 San Antonio, TX 78230 which is also reachable by phone at (210) 472-5040.
18. TRENCH EXCAVATION SAFETY PROTECTION: Contractor and/or Contractor's independently retained employee or structural design/geotechnical/safety/equipment consultant, if any, shall review these plans and available geotechnical information and the anticipated installation site(s) within the project work areas in order to implement Contractor's trench excavation safety protection systems, programs and/or procedures. The Contractor's implementation of the systems, programs and/or procedures shall provide for adequate trench excavation safety protection that complies with, as a minimum, OSHA standards for trench excavations. Specifically, Contractor and/or Contractor's independently retained employee or safety consultant shall implement a trench safety program in accordance with OSHA standards governing the presence and activities of individuals working in and around trench excavation.

WATER

19. Prior to tie-ins, any shutdowns of existing mains of any size must be coordinated with the SAWS Inspection and/or SAWS Production groups at least **twenty-five (25) Calendar Days** in advance of the shutdown. The Contractor must also provide a sequence of work as related to the tie-ins; this is at no additional cost to SAWS or the project and it is the responsibility of the Contractor to sequence the work accordingly. SAWS Production Control Center 210-233-2016
20. Asbestos Cement (AC) pipe, also known as transite pipe which is known to contain asbestos-containing material (ACM), maybe located within the project limits. Special waste management procedures and health and safety requirements will be applicable when removal and/or disturbance of this pipe occurs. Payment for such work is to be made under Item No. 3000, "Handling Asbestos Cement Pipe".

AC pipe removed on construction projects for tie-in(s) should be in length of 26 linear feet (LF). Lengths of 13 LF should be removed where AC pipe is being removed and crossing pipes, conduits, or boxes.
21. VALVE REMOVAL: Where the contractor is to abandon a water main, the control valve located on the abandoning branch will be removed and replaced with a cap/plug. (NSPI)
22. DIVISION VALVES: Division Valves shown on plans or not shown on plans but found in the field shall only be operated by SAWS Distribution and Collection staff and only with prior written approval of the SAWS Director of Production and Operations and proper coordination with all SAWS departments. Contractor shall provide written notification to the inspector a minimum of **twenty-five (25) Calendar Days** in advance to start the coordination process and will be informed by the Inspector when the division valve will be operated by the SAWS Distribution and Collection staff. The Division Valve can only be operated by SAWS Distribution and Collection staff member not the inspector or the contractor. Operation of a Division Valve without the express prior written

SEWER

23. The Contractor is responsible for ensuring that no sanitary sewer overflow (SSO) occurs as a result of their work. All contractor personnel responsible for SSO prevention and control shall be trained on proper response. Should an SSO occur, the contractor shall:
 - A. Identify the source of the SSO and notify SAWS Emergency Operations Center (EOC) immediately at 210-704-SAWS (210-704-7297). Provide the address of the spill and an estimated volume or flow.
 - B. Attempt to eliminate the source of the SSO.
 - C. Contain sewage from the SSO to the extent of preventing a possible contamination of waterways.
 - D. Clean up spill site (return contained sewage to the collection system if possible) and properly dispose of contaminated soil/materials.
 - E. Clean the affected sewer mains and remove any debris.
 - F. Meet all post-SSO requirements as per the EPA Consent Decree, including line cleaning and televising the affected sewer mains (at SAWS direction) within 24 hours.

Should the Contractor fail to address an SSO immediately and to SAWS satisfaction, they will be responsible for all costs incurred by SAWS, including any fines from EPA.

No separate measurement or payment shall be made for this work. All work shall be done according to guidelines set by the TCEQ and SAWS.

24. The Contractor shall provide bypass pumping of sewage around each segment of pipe to be replaced, in accordance with SAWS Standard Specification Item No. 865, "Bypass Pumping Small Diameter Sanitary Sewer Mains" and Standard Specification Item No. 864, "Bypass Pumping Large Diameter Sanitary Sewer Mains" as applicable. Payment for such work will be made under the appropriate bid item associated with Sanitary Sewer Bypass Pumping in accordance with SAWS Standard Specifications 865 and 864.
25. Prior to tie-ins, any shutdowns of existing force mains of any size must be coordinated with the SAWS Construction Inspection Division at 210-233-3500 and/or SAWS Production groups at least two weeks or more in advance of the shutdown. The Contractor must also provide a sequence of work as related to the tie-ins; this is at no additional cost to SAWS or the project and it is the responsibility of the Contractor to sequence the work accordingly.



**RIALTO
STUDIO**

Rialto Studio, Inc.
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2425 Broadway
San Antonio, Texas 78215
210.828.1155



**GESSNER
ENGINEERING, LLC**
FIRM REGISTRATION NUMBERS:
TDR# F-7451, TDR# S-F-10193910
401 W 26TH STREET
BRYAN, TEXAS 77803



ISSUE DATE 10/31/2025

REVISION

PROJECT NUMBER 23010

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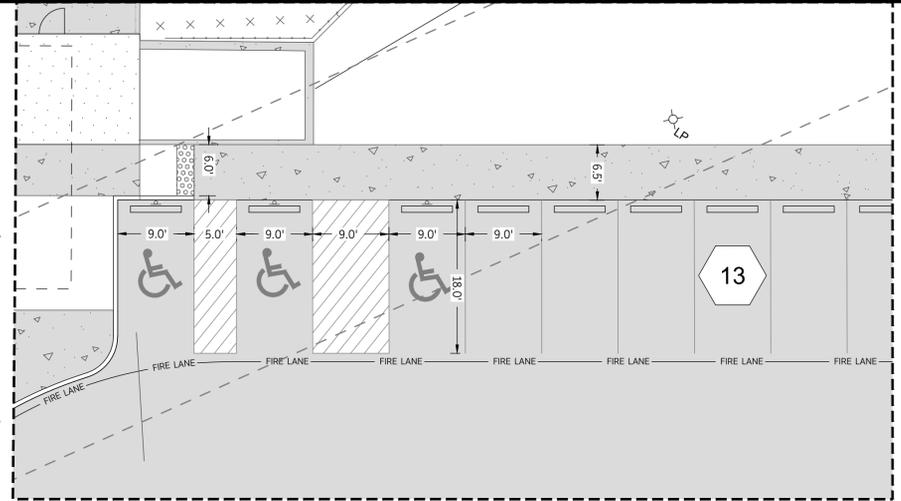
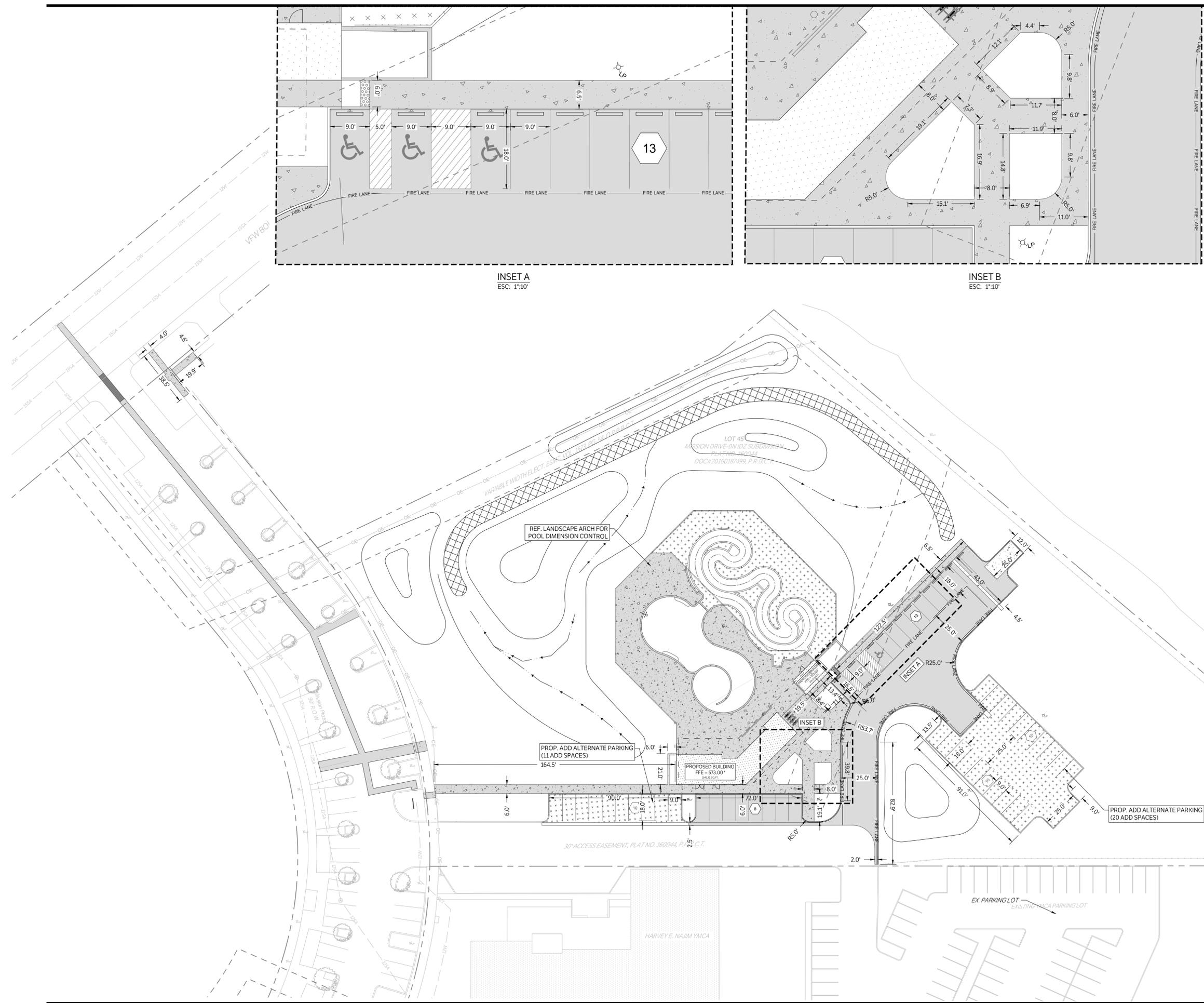
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SHEET TITLE

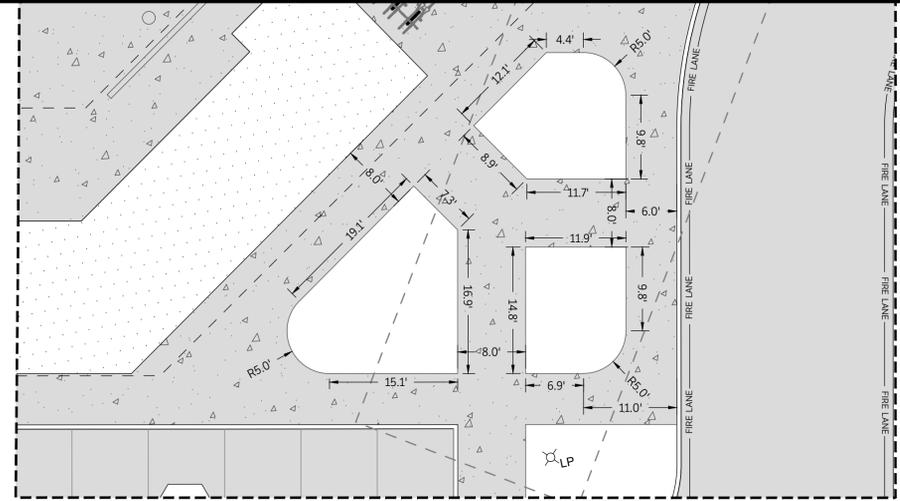
SAWS NOTES

SHEET NUMBER

C002

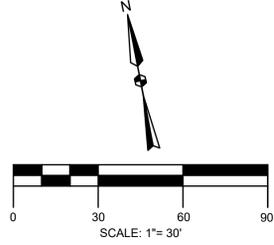


INSET A
ESC: 1"=10'



INSET B
ESC: 1"=10'

CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



LEGEND	
	PROPOSED 4" CONCRETE
	PROPOSED 6" CONCRETE PAVEMENT
	PROPOSED 7" CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	PROPOSED PAVEMENT ADD ALTERNATE
	PROPOSED GRAVEL
	EXISTING PAVEMENT EDGE
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EX. PROP. STORM LINE
	EX. PROP. WATER LINE
	EX. PROP. SANITARY SEWER LINE
	EX. PROP. GAS LINE
	EX. PROP. DATA/TELECOM
	EX. PROP. UNDERGROUND ELECTRIC
	EX. PROP. FIBER OPTIC
	EX. PROP. OVERHEAD ELECTRIC
	EX. PROP. FIRE HYDRANT
	EX. PROP. WATER METER
	EX. PROP. GATE VALVE
	EX. IRRIGATION CONTROL VALVE
	PROP. FIRE DEPARTMENT CONNECTION
	PROP. POST INDICATOR VALVE
	PROP. HOSE LAY
	EX. PROP. SANITARY SEWER MANHOLE
	EX. PROP. SANITARY SEWER CLEANOUT
	EX. STORM SEWER MANHOLE
	PROP. STORM SEWER CURB INLET
	EX. PROP. LIGHT POLE
	PROPOSED PUBLIC ACCESS EASEMENT
	PROPOSED UTILITY EASEMENT

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GESSNER ENGINEERING, LLC
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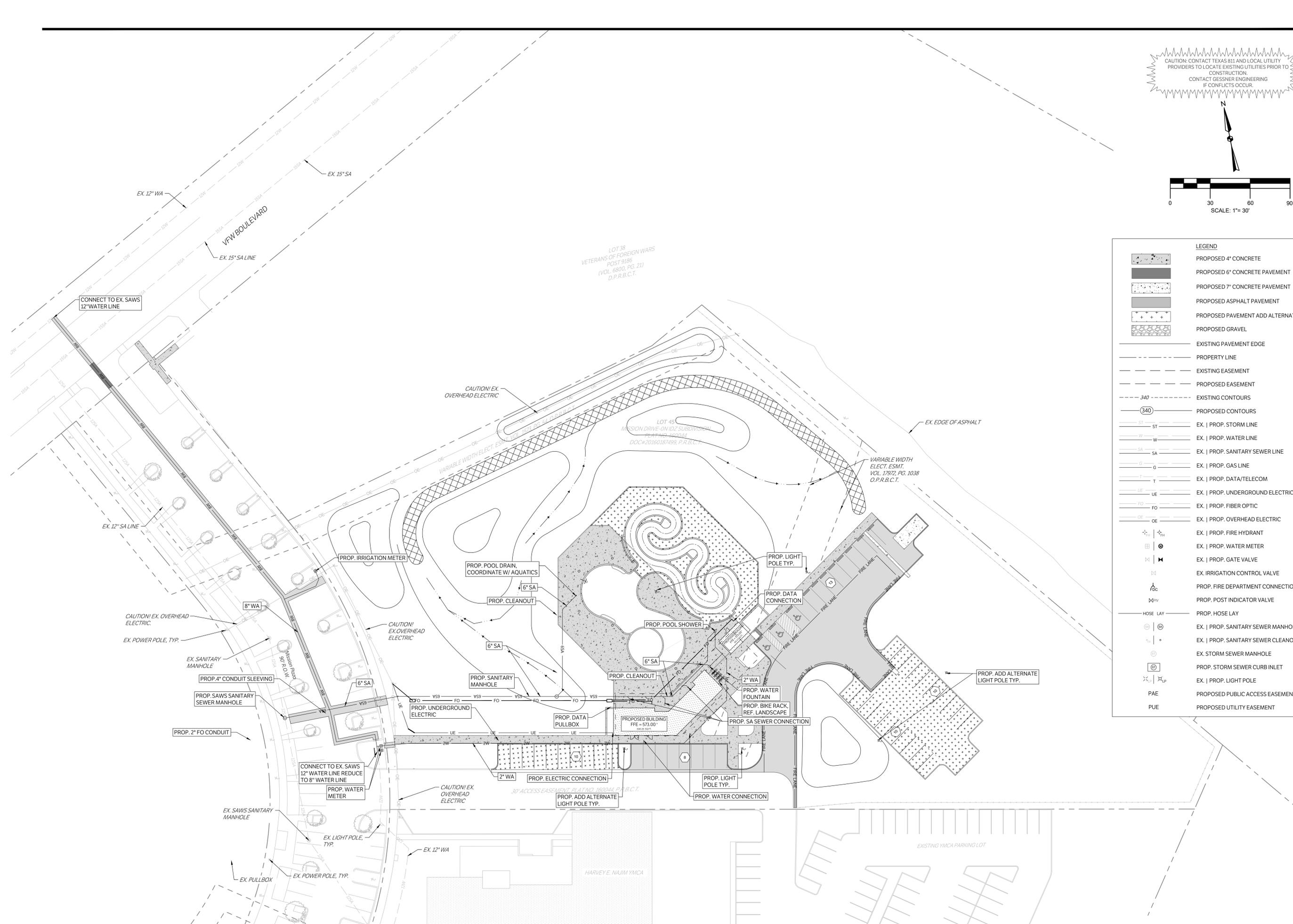
PEDRO RICO, JR.
133608

District 3 Aquatics Facility
San Antonio, TX

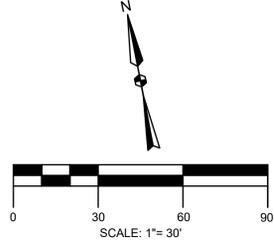
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REVISION	
PROJECT NUMBER	23010
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SCALE	
SHEET TITLE	

CIVIL DIMENSION CONTROL PLAN

SHEET NUMBER
C300



CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



LEGEND	
	PROPOSED 4" CONCRETE
	PROPOSED 6" CONCRETE PAVEMENT
	PROPOSED 7" CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	PROPOSED PAVEMENT ADD ALTERNATE
	PROPOSED GRAVEL
	EXISTING PAVEMENT EDGE
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EX. PROP. STORM LINE
	EX. PROP. WATER LINE
	EX. PROP. SANITARY SEWER LINE
	EX. PROP. GAS LINE
	EX. PROP. DATA/TELECOM
	EX. PROP. UNDERGROUND ELECTRIC
	EX. PROP. FIBER OPTIC
	EX. PROP. OVERHEAD ELECTRIC
	EX. PROP. FIRE HYDRANT
	EX. PROP. WATER METER
	EX. PROP. GATE VALVE
	EX. IRRIGATION CONTROL VALVE
	PROP. FIRE DEPARTMENT CONNECTION
	PROP. POST INDICATOR VALVE
	PROP. HOSE LAY
	EX. PROP. SANITARY SEWER MANHOLE
	EX. PROP. SANITARY SEWER CLEANOUT
	EX. STORM SEWER MANHOLE
	PROP. STORM SEWER CURB INLET
	EX. PROP. LIGHT POLE
	PAE
	PUE



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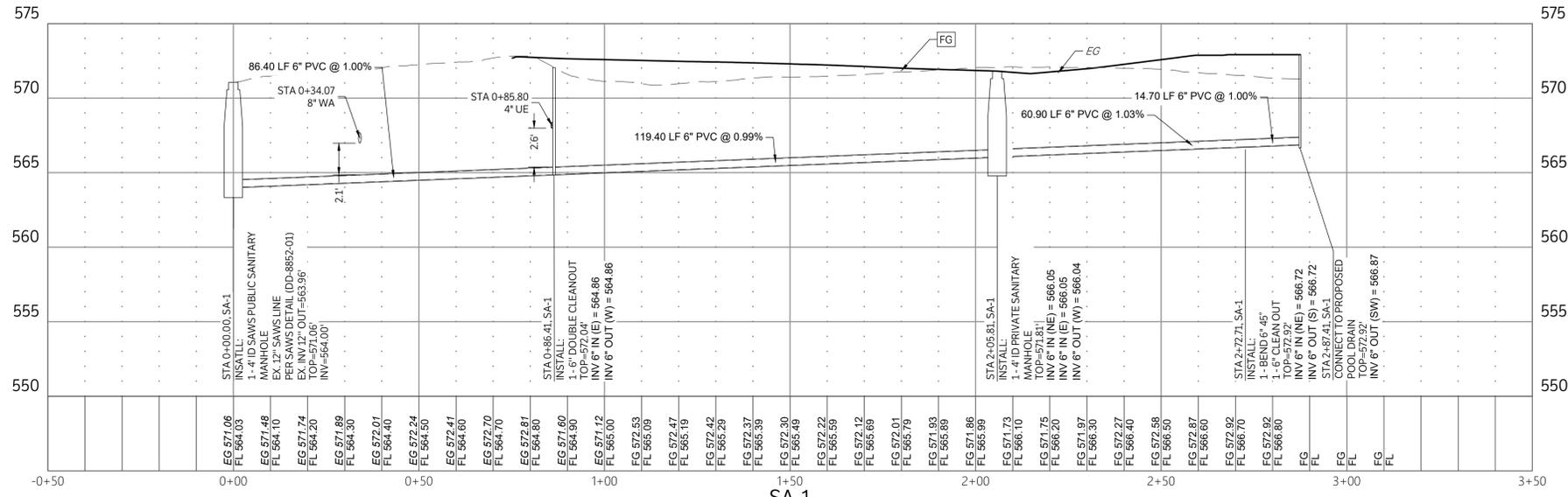
GESSNER ENGINEERING, LLC
 FIRM REGISTRATION NUMBERS:
 TBP# F-1451, TBP# S-F-10193910
 401 W 26TH STREET
 BRYAN, TEXAS 77803

District 3 Aquatics Facility
 San Antonio, TX

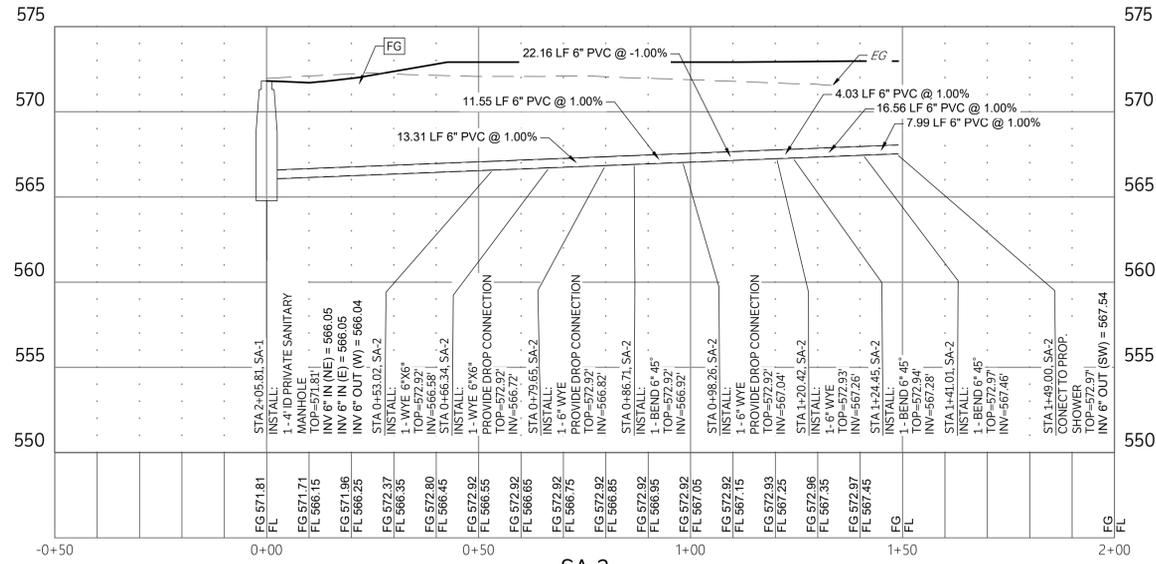
ISSUE DATE	10/31/2025
REVISION	
PROJECT NUMBER	23010
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CHECKED BY	PR
SCALE	
SHEET TITLE	

CIVIL OVERALL UTILITY

SHEET NUMBER
C700



SA-1
SCALE: 1"=20' H, 1"=5' V



SA-2
SCALE: 1"=20' H, 1"=5' V



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San Antonio, TX**



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SCALE

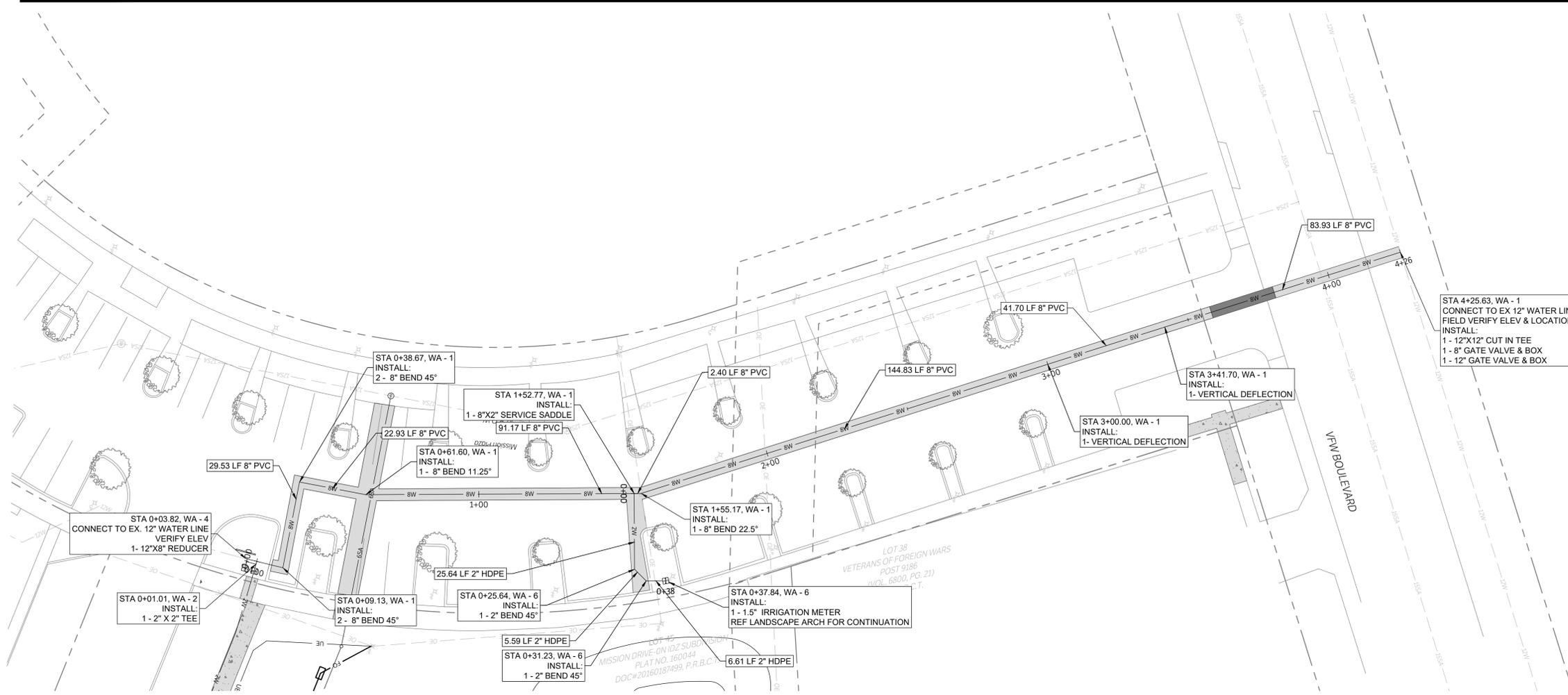
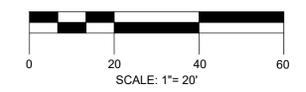
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**CIVIL SANITARY
PROFILE**

SHEET NUMBER

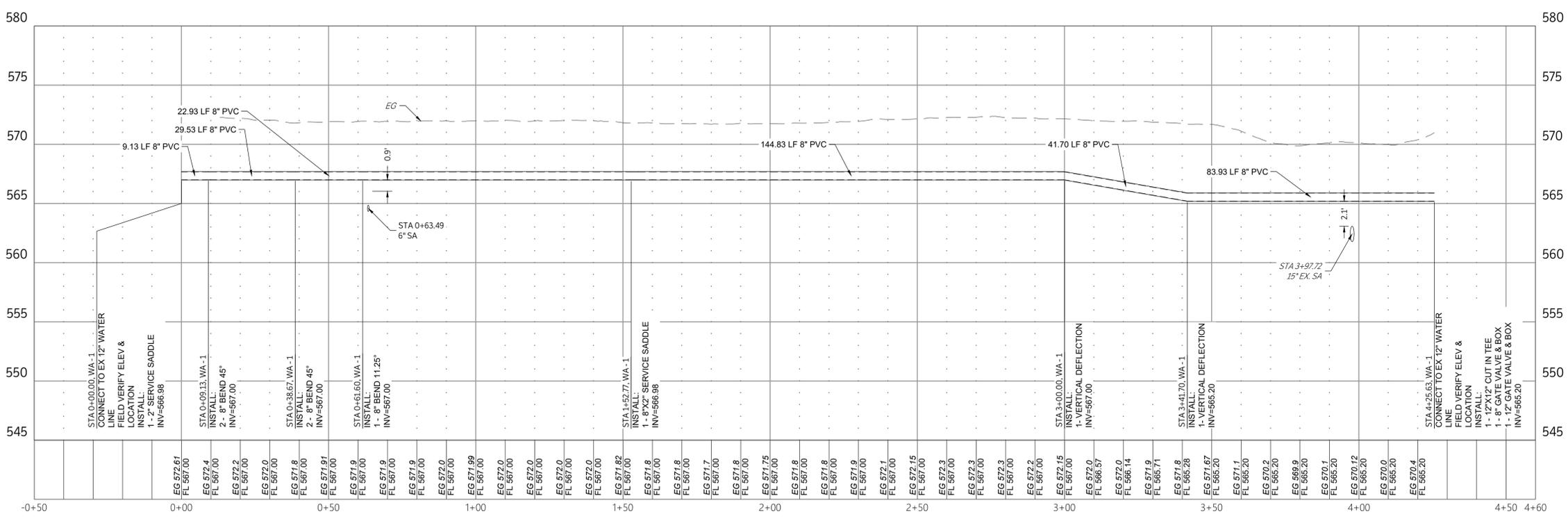
C801

CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



STA 4+25.63 WA - 1
CONNECT TO EX 12" WATER LINE
FIELD VERIFY ELEV & LOCATION
INSTALL:
1 - 12"x12" CUT IN TEE
1 - 8" GATE VALVE & BOX
1 - 12" GATE VALVE & BOX

LEGEND	
	PROPOSED 4" CONCRETE
	PROPOSED 6" CONCRETE PAVEMENT
	PROPOSED 7" CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	PROPOSED GRAVEL
	PROPOSED LANDSCAPE AREA
	EXISTING PAVEMENT EDGE
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EX. PROP. STORM LINE
	EX. PROP. WATER LINE
	EX. PROP. SANITARY SEWER LINE
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	PROP. FIRE DEPARTMENT CONNECTION
	PROP. POST INDICATOR VALVE
	PROP. HOSE LAY
	EX. PROP. SANITARY SEWER MANHOLE
	EX. PROP. SANITARY SEWER CLEANOUT
	EX. STORM SEWER MANHOLE
	PROP. STORM SEWER CURB INLET
	EX. PROP. LIGHT POLE
	PROPOSED PUBLIC ACCESS EASEMENT
	PROPOSED UTILITY EASEMENT



WA - 1
SCALE: 1"=20' H, 1"=5' V



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San Antonio, TX

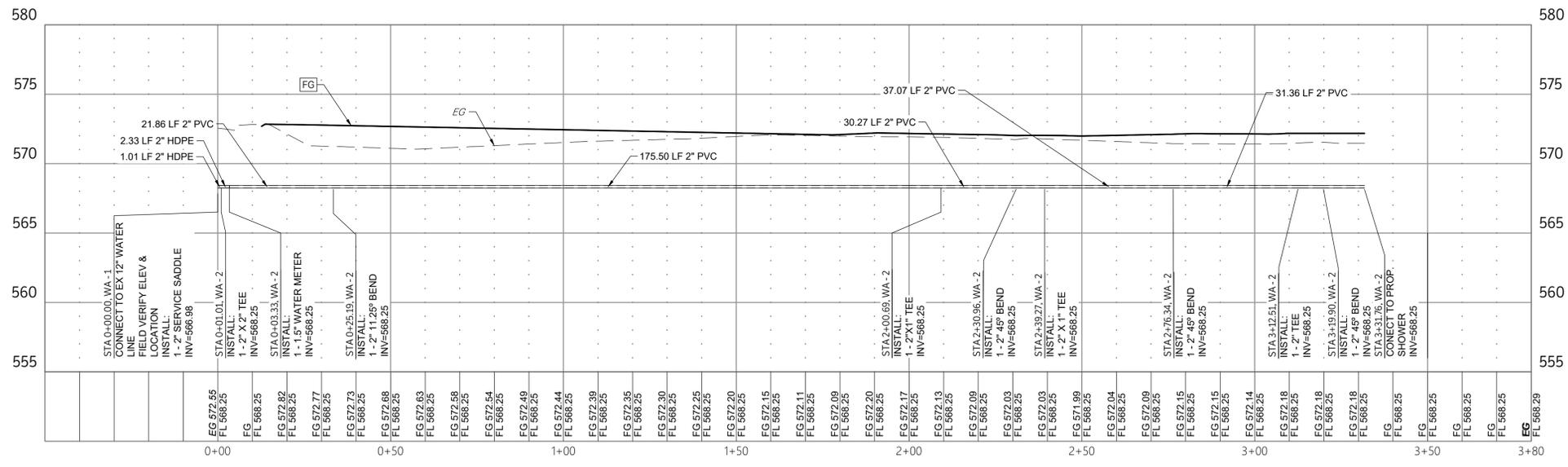


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SCALE	
SHEET TITLE	

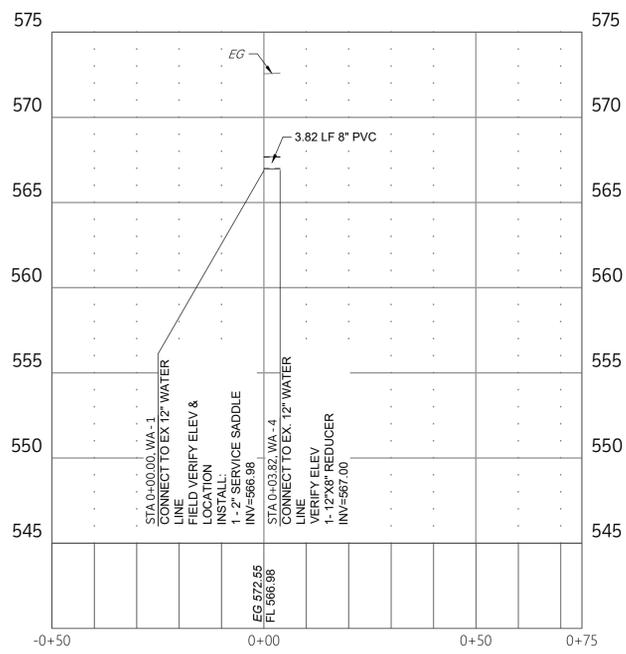
CIVIL WATER PROFILE

SHEET NUMBER

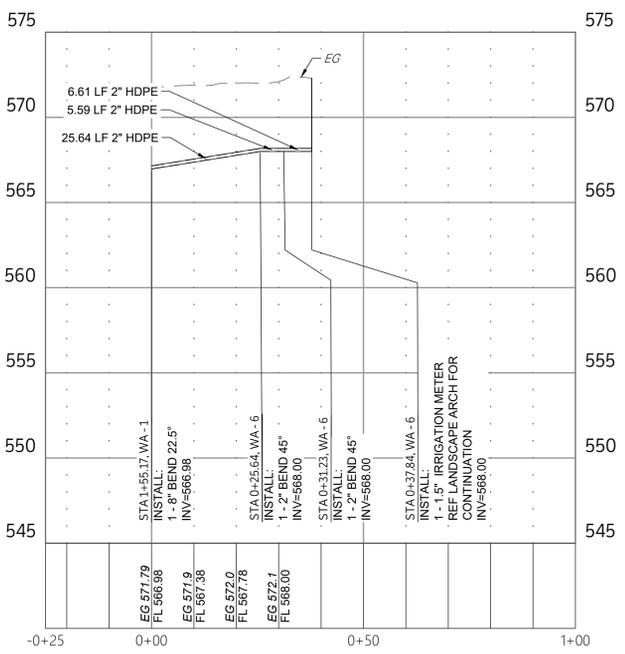
C901



WA-2
SCALE: 1"=20' H, 1"=5' V



WA-4
SCALE: 1"=20' H, 1"=5' V



WA-6
SCALE: 1"=20' H, 1"=5' V



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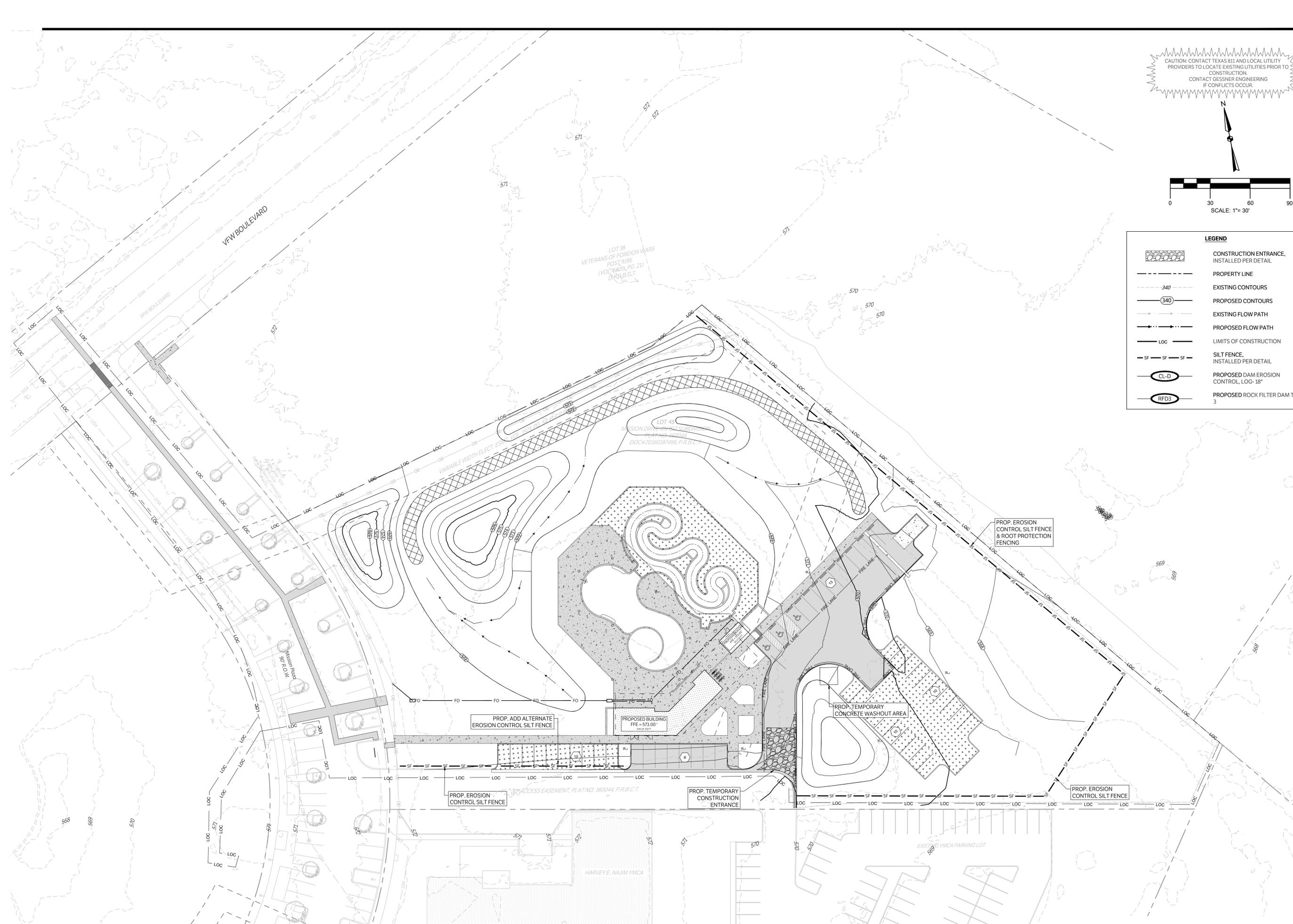
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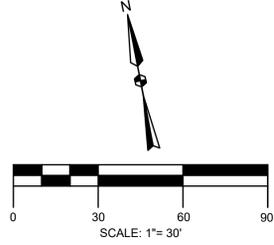
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SCALE	
SHEET TITLE	

CIVIL WATER PROFILE

SHEET NUMBER
C902



CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



LEGEND	
	CONSTRUCTION ENTRANCE, INSTALLED PER DETAIL
	PROPERTY LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING FLOW PATH
	PROPOSED FLOW PATH
	LIMITS OF CONSTRUCTION
	SILT FENCE, INSTALLED PER DETAIL
	PROPOSED DAM EROSION CONTROL, LOG-18"
	PROPOSED ROCK FILTER DAM TYPE 3

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GESSNER ENGINEERING, LLC
 FIRM REGISTRATION NUMBERS:
 TYPE F 7451, TYPE SF 10193910
 401 W 26TH STREET
 BRYAN, TEXAS 77803

STATE OF TEXAS
 11/13/25
 PEDRO RICO, JR.
 133608

District 3 Aquatics Facility
 San Antonio, TX

ISSUE DATE	10/31/2025
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SCALE	
SHEET TITLE	

CIVIL EROSION CONTROL PLAN

SHEET NUMBER
C1000

EROSION CONTROL NOTES:
 OWNER INFORMATION: CITY OF SAN ANTONIO
 PROJECT NAME: DISTRICT 3 AQUATICS FACILITY
 PROJECT LOCATION: ROOSEVELT AVE
 San Antonio, TX 78214

LATITUDE: N029° 21' 57.76"
 LONGITUDE: W098° 28' 46.00"
 TOTAL SITE AREA IS: 3.714 ACRES
 TOTAL AREA OF SITE EXPECTED TO BE DISTURBED: APPROXIMATELY 2.34 ACRES

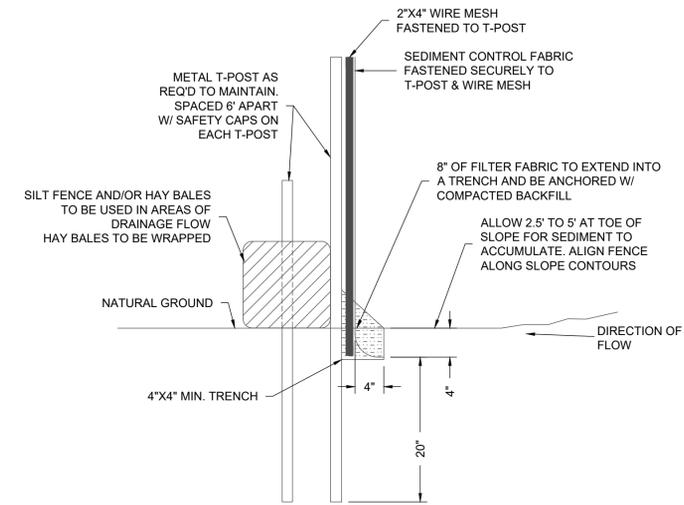
EXISTING SITE CONDITIONS
 LAND USE: COMMERCIAL STORE SITE
 LAND COVER: SHORT GRASS
 RECEIVING WATERS: SAN ANTONIO RIVER
 BASIN NAME: UPPER SAN ANTONIO RIVER WATERSHED

SOIL INFORMATION
 SUNEY CLAY LOAM, PERCENT SLOPES 0 TO 1 (VcA)
 HYDROLOGIC SOIL GROUP: B

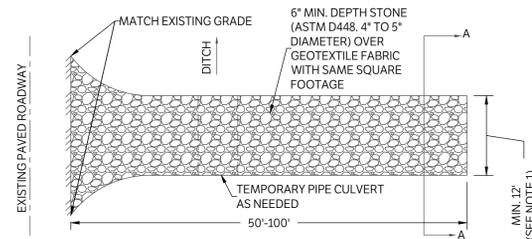
POST DEVELOPED SITE CONDITIONS
 LAND USE: POOL AND PARKING

- SEQUENCE OF MAJOR ACTIVITIES
1. INSTALL SILT FENCE AT LIMITS OF CONSTRUCTION & STOCK PILE AREAS
 2. INSTALL ROCK CONSTRUCTION ENTRANCE
 3. INSTALL GRAVEL FILTER BAGS AROUND EXISTING INLETS
 4. CLEAR SITE
 5. INSTALL FOUNDATIONS & POOL
 6. INSTALL SITE PAVING
 7. INSTALL LANDSCAPING
 8. AFTER ESTABLISHMENT OF GRASS, REMOVE ALL TEMPORARY EROSION CONTROL (SILT-FENCE);
 9. SEED ALL AREAS NOT HAVING PERMANENT GRASS COVERAGE AS DEFINED.

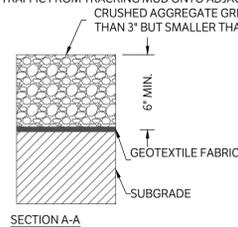
- GENERAL EROSION CONTROL NOTES
1. ALL UTILITIES AND SERVICE LINES SHOWN ARE TAKEN FROM RECORD INFORMATION SUPPLIED BY THE UTILITY OWNER OR HORIZONTALLY LOCATED BY INDEPENDENT LOCATORS. CONTRACTOR IS RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN PLAN AND ACTUAL CONDITIONS PRIOR TO CONSTRUCTION. OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF INFORMATION OR DATA RELIED ON TO DEPICT UNDERGROUND FACILITIES. CONTRACTOR IS TO CONTACT OWNERS OF ALL UTILITIES AND SERVICE LINES WITHIN THE PROJECT AREA AND NOTIFY OF INTENT AT LEAST 1 WEEK PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH FACILITY OWNERS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION AND VERTICAL POSITIONING OF ALL PIPELINES, EXISTING UTILITIES, AND SERVICE LINES WITHIN THE PROJECT AREA WHETHER SHOWN ON THE PLANS OR NOT, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. CONTRACTOR IS TO MAINTAIN STRUCTURAL INTEGRITY OF ALL PIPELINES, ELECTRIC TRANSMISSION POLES AND LINES, PERMANENT AND TEMPORARY UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITY FACILITIES, PAVEMENT, ETC. AS A RESULT OF CLEARING/DIRTWORK ACTIVITIES. CONTRACTOR TO CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.
 2. ALL DISTURBED AREAS NOT TO BE PAVED ARE TO HAVE ESTABLISHMENT OF GRASS AS OUTLINED IN THE DESCRIPTION OF CONTROLS, STABILIZATION PRACTICES NOTES.
 3. ALL SWALE AREAS (BOTTOM WIDTHS & SIDE SLOPES) ARE TO BE PREPARED AND HYDROMULCHED FOR PERMANENT ESTABLISHMENT OF VEGETATION. PRIOR TO HYDROMULCHING OPERATIONS, CONTRACTOR TO REPLACE TOPSOIL TO A DEPTH OF 6". TOPSOIL IS TO BE DISKED TO A DEPTH OF AT LEAST 4" AND LIGHTLY COMPACTED. FINAL GRADES WITH ESTABLISHED VEGETATION SHALL BE AS CALLED OUT ON THE GRADING PLAN.
 4. CONTRACTOR IS TO MAINTAIN EROSION CONTROL AT ALL LOCATIONS OF CONSTRUCTION, THROUGHOUT DURATION OF THE PROJECT AND UNTIL VEGETATION IS ESTABLISHED. INSURE SEDIMENT IS NOT TRANSPORTED DOWNSTREAM FROM PROJECT VIA GRAVEL FILTER BAGS AND SILT FENCE INSTALLATIONS. IF EXCESSIVE EROSION IS OBSERVED IN THE FIELD, ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED.
 5. CONTRACTOR SHALL NOT ALLOW SEDIMENT TO ENTER THE DOWNSTREAM CHANNEL. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING OF THE DOWNSTREAM CHANNEL AREAS AND RESTORING TO ORIGINAL CONDITION, INCLUDING ESTABLISHMENT OF REVEGETATION SHOULD CONSTRUCTION SEDIMENT BE FOUND OUTSIDE THE LIMITS OF CONSTRUCTION.
 6. THE CONTRACTOR WILL REMOVE ALL EXCESS SOIL FROM CONSTRUCTION VEHICLES PRIOR TO EXITING THE SITE.
 7. THE CONTRACTOR SHALL UNDERTAKE PROPER METHODS TO REDUCE DUST GENERATION FROM THE SITE.
 8. THE CONTRACTOR MUST COMPLY WITH FEDERAL, STATE, AND LOCAL REGULATIONS REGARDING SEDIMENTS AND EROSION CONTROL.
 9. A COPY OF THIS PLAN MUST BE KEPT AT THE CONSTRUCTION FACILITY DURING THE ENTIRE CONSTRUCTION PERIOD.
 10. ALL FINISHED GRADES ARE TO BE HYDRO-MULCHED, SPOT SODDED OR SEEDED AND WATERED UNTIL GROWTH IS ESTABLISHED.



SILT CONTROL FENCE
 NTS



- NOTES:
1. SHALL BE FULL WIDTH OF SITE ENTRANCE OR FOUR TIMES THE CIRCUMFERENCE OF THE LARGEST CONSTRUCTION VEHICLE TIRE, WHICHEVER IS GREATER.
 2. CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO SEDIMENT TRAPPING DEVICE.
 3. DRESS WITH ADDITIONAL STONE AS NEEDED. STONE IS TO BE MAINTAINED SO AS TO PREVENT CONSTRUCTION TRAFFIC FROM TRACKING MUD ONTO ADJACENT PUBLIC STREETS.



CONSTRUCTION ENTRANCE/EXIT
 NTS



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**District 3
 Aquatics Facility
 San Antonio, TX**



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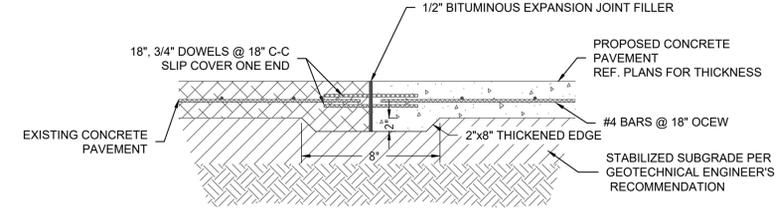
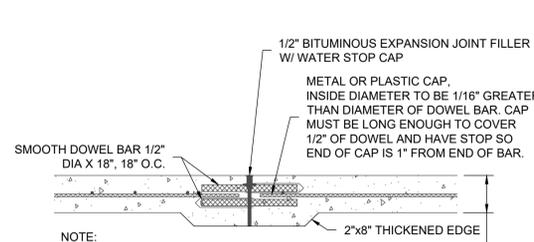
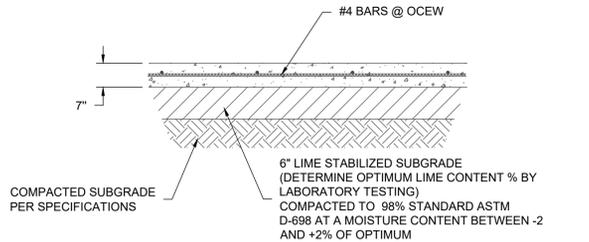
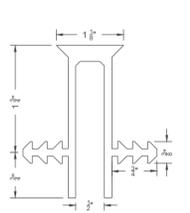
SCALE

SHEET TITLE

**CIVIL EROSION
 CONTROL NOTES**

SHEET NUMBER

C1001



NOTE:
WATERSTOP SHALL BE G-SEAL BY GREENSTREAK, INC. EARTHSHIELD BY JP SPECIALTIES, INC. EB-CAP WATERSTOP BY WESTEC, OR APPROVED EQUAL

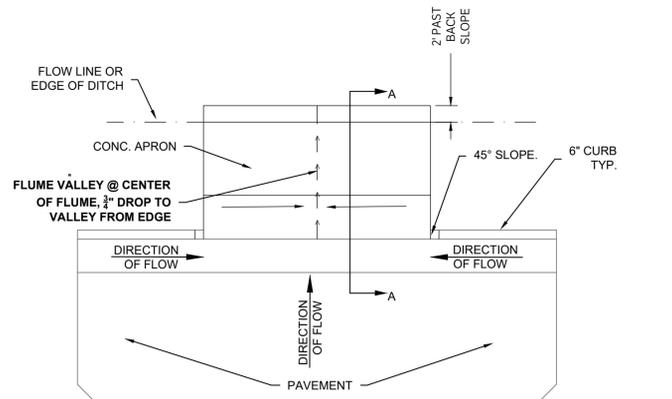
NOTES:
1. SEE PLAN FOR JOINT SPACING, COMPRESSIVE STRENGTH, PAVEMENT THICKNESS
2. SEAL ALL EXPANSION JOINTS WITH SEAL CAP AND CONTROL JOINTS WITH SELF LEVELING JOINT SEALANT MATERIAL PER SPECIFICATIONS. USE SELF LEVELING JOINT SEALANT ADJACENT TO EXISTING PAVEMENT.

NOTE:
EXPANSION JOINTS SHALL BE INSTALLED AS SHOWN ON PLANS

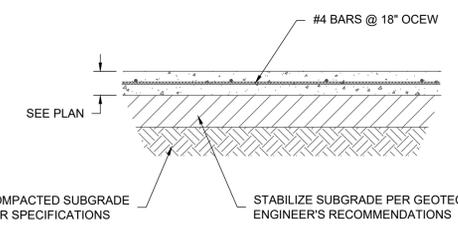
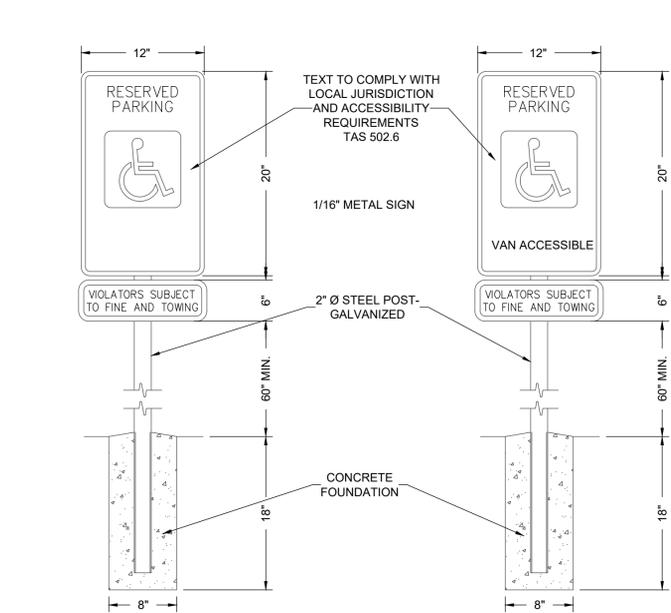
EXISTING CONCRETE TIE-IN
NTS

EXPANSION JOINT WATER STOP CAP (2 SIDED)
NTS

DUMPSTER PAD
NTS

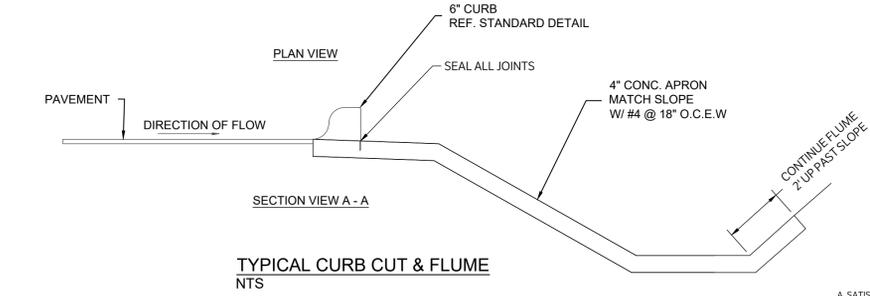


EXPANSION JOINT
NTS



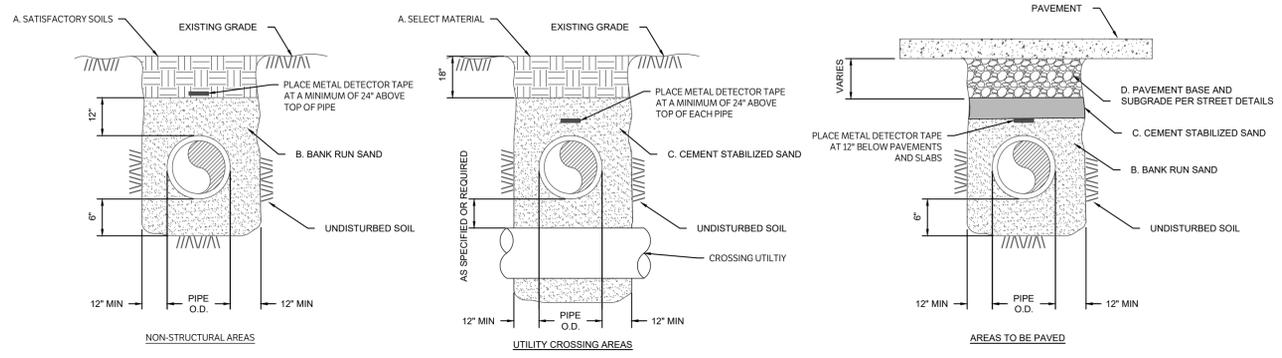
NOTES:
1. SEE PLAN FOR JOINT SPACING, COMPRESSIVE STRENGTH, PAVEMENT THICKNESS, AND REINFORCING.
2. DEPTH OF STABILIZATION SHALL BE A MINIMUM OF 6 INCHES OR BASED ON GEOTECHNICAL RECOMMENDATIONS SUBGRADE CONDITIONS.
3. SUBGRADE STABILIZATION SHALL BE PER GEOTECHNICAL RECOMMENDATIONS AND LIME/CEMENT SERIES BASED ON ACTUAL SUBGRADE CONDITIONS.

CONCRETE PAVEMENT
NTS



TYPICAL CURB CUT & FLUME
NTS

ADA PARKING SIGN
NTS



A. SATISFACTORY SOILS
MATERIAL EXCAVATED FROM THE DITCH, (WHICH IS FREE OF ROCKS, LUMPS, CLODS, OR DEBRIS LARGER THAN TWO (2) INCHES IN THE LARGEST DIMENSION), COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698 (STANDARD) AT MOISTURE CONTENT WITHIN OPTIMUM TO 2% OF OPTIMUM UNDER NON-STRUCTURAL AREAS (IE. YARDS, PASTURES, EASEMENTS) AND TO A MINIMUM OF 98% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698 (STANDARD) AT A MOISTURE CONTENT WITHIN OPTIMUM TO 2% OF OPTIMUM UNDER NEW STREET AND PAVEMENT AREAS.

B. BANK RUN SAND
GRANULAR MATERIAL FREE OF DETRIMENTAL QUANTITIES OF CLAY, DEBRIS, OR ORGANIC MATERIAL. REFERENCE SPECIFICATION FOR REQUIREMENTS.

C. CEMENT STABILIZED SAND
MATERIALS SHALL BE TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150 AND CLEAN DURABLE SAND MEETING GRADING REQUIREMENTS FOR FINE AGGREGATES OF ASTM C33. THE CEMENT STABILIZED SAND SHALL HAVE A MINIMUM OF 10% CEMENT PER CUBIC YARD OF CEMENT STABILIZED SAND MIXTURE, BASED ON LOOSE DRY WEIGHT VOLUME (AT LEAST 2.5 SACKS OF CEMENT PER CUBIC YARD OF MIXTURE). COMPACT MIX TO 95% OF ASTM D558 WITH A MOISTURE CONTENT BETWEEN -2% TO 2% ABOVE OPTIMUM.

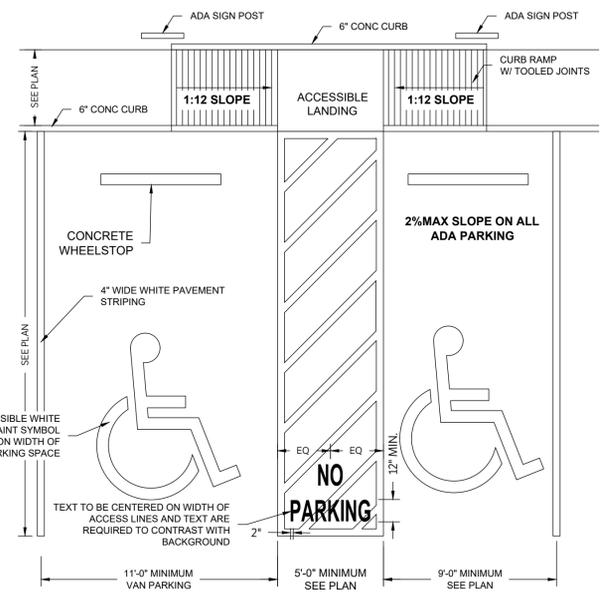
GENERAL NOTES:
ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODED OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARED AREAS SHALL BE SEEDED OR SODED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.

APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.

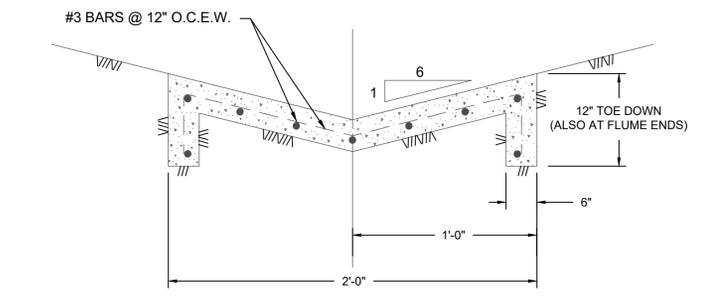
ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.

ESTABLISHMENT OF VEGETATION MAY BE A WARRANTY ITEM

NOTES:
1. FOR BEDDING AND TRENCHING WITHIN ALL PAVED AREAS SEE DETAILS FOR OPEN CUT STREETS
2. ALL BEDDING & INSTALLATION OF HDPE PIPE SHALL BE IN ACCORDANCE WITH ANSIIAWWA STANDARDS FOR HDPE PIPE
3. COMPACTION SHALL BE ATTAINED BY MECHANICAL TAMPING
4. RELATIVE COMPACTION SHALL BE TESTING IN THE PRESENCE OF THE ENGINEER
5. DUST RESULTING FROM THE CONTRACTOR'S PERFORMANCE OF THE WORK, EITHER INSIDE OR OUTSIDE THE RIGHT-OF-WAY, SHALL BE CONTROLLED BY THE CONTRACTOR
6. ALL TRENCHES SHALL BE BACK FILLED AND TEMPORARY PAVING OR PLATING PLACED AT THE END OF EACH WORKING DAY
7. HDPE LINES WITH WELDED JOINTS MAY BE BACKFILLED PRIOR TO TESTING AT CONTRACTOR'S RISK
8. A 6" CEMENT STABILIZED SAND LAYER CAN BE UTILIZED AT THE BOTTOM OF THE SANITARY SEWER LINE FLOWLINE IN ORDER TO ACHIEVE GRADES AT THE CONTRACTOR'S EXPENSE.



PROP ADA PARKING SPACES
NTS



STANDARD FLUME SECTION
NTS

BEDDING AND TRENCH FOR PVC PIPE WITH NON-STRUCTURAL OR NEW PAVED AREAS
NOTE: ONLY FOR PRIVATE SERVICES, SAWS DETAILS TO BE FOLLOWED FOR WATER LINE

District 3 Aquatics Facility
San Antonio, TX

ISSUE DATE	10/31/2025
REVISION	
PROJECT NUMBER	23010
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CIVIL DETAILS

SHEET NUMBER
C1101

**SAWS STANDARD GENERAL CONSTRUCTION NOTES
ASSOCIATED WITH 2021 SAWS STANDARD SPECS**
Updated December 14, 2021

GENERAL CONSTRUCTION

- All materials and construction procedures within the scope of this contract shall be approved by the San Antonio Water System (SAWS) and comply with the Plans, Specifications, General Conditions and with the following as applicable:
 - Current Texas Commission on Environmental Quality (TCEQ) "Design Criteria for Domestic Wastewater System", Texas Administrative Code (TAC) Title 30 Part 1 Chapter 217 and "Public Drinking Water", TAC Title 30 Part 1 Chapter 290.
 - Current TXDOT "Standard Specifications for Construction of Highways, Streets and Drainage."
 - Current "San Antonio Water System Standard Specifications for Water and Sanitary Sewer Construction."
 - Current City of San Antonio "Standard Specifications for Construction."
 - Current City of San Antonio "Utility Excavation Criteria Manual" (UECM).
- The Contractor shall obtain SAWS Standard Details from SAWS website, https://apps.saws.org/business_center/specs/constspecs/ unless otherwise noted within design plans.
- The Contractor is to notify and make arrangements with the SAWS Construction Inspection Division at 210-233-3500 (during regular SAWS working hours) and provide notification procedures the Contractor will use to notify affected home residents and/or property owners two (2) weeks prior to excavation. Outside of regular SAWS working hours the SAWS EOC should be contacted at 210-704-7297.
- If necessary, Contractor will coordinate use of SAWS premises at no additional cost to SAWS. Such efforts include, but are not limited to, obtaining security identification badges required for access to SAWS facilities.
- Locations and depths of existing utilities and service laterals shown on the plans are understood to be approximate. Actual locations and depths must be field verified by the Contractor prior to construction. It shall be the Contractor's responsibility to locate utility service lines as required for construction and to protect them during construction at no cost to SAWS.
- The Contractor shall verify the exact location of underground utilities and drainage structures prior to construction whether shown on plans or not. As-builts for SAWS infrastructure can be obtained at website below. Contractor shall coordinate physical locates for SAWS infrastructure through the SAWS Inspector. Please allow up to 7 business days for locates requesting pipe location markers on SAWS infrastructure. The following contact information are supplied for verification purposes:

San Antonio Water System:
Request as-builts: <https://www.saws.org/service/locates-service/>

approval of the SAWS Distribution and Collection staff will constitute a material breach of any written SAWS contract or permit in addition to subjecting the Contractor to liability for any and all fines, fees, or other damages, direct or consequential, that may arise from or be caused by the operation of the valve without prior written permission. Please be informed that the approval of the operation or opening or closing of a division valve can take several weeks for approval. Division Valves will also have a valve lid labeled Division Valve and a locking mechanism installed with a key. The lock and key mechanism will be paid for by the contractor but will be installed by SAWS Distribution and Collection staff.

SEWER

- The Contractor is responsible for ensuring that no sanitary sewer overflow (SSO) occurs as a result of their work. All contractor personnel responsible for SSO prevention and control shall be trained on proper response. Should an SSO occur, the contractor shall:
 - Identify the source of the SSO and notify SAWS Emergency Operations Center (EOC) immediately at 210-704-SAWS (210-704-7297). Provide the address of the spill and an estimated volume or flow.
 - Attempt to eliminate the source of the SSO.
 - Contain sewage from the SSO to the extent of preventing a possible contamination of waterways.
 - Clean up spill site (return contained sewage to the collection system if possible) and properly dispose of contaminated soil/materials.
 - Clean the affected sewer mains and remove any debris.
 - Meet all post-SSO requirements as per the EPA Consent Decree, including line cleaning and televising the affected sewer mains (at SAWS direction) within 24 hours.

Should the Contractor fail to address an SSO immediately and to SAWS satisfaction, they will be responsible for all costs incurred by SAWS, including any fines from EPA.

No separate measurement or payment shall be made for this work. All work shall be done according to guidelines set by the TCEQ and SAWS.
- The Contractor shall provide bypass pumping of sewage around each segment of pipe to be replaced, in accordance with SAWS Standard Specification Item No. 865, "Bypass Pumping Small Diameter Sanitary Sewer Mains" and Standard Specification Item No. 864, "Bypass Pumping Large Diameter Sanitary Sewer Mains" as applicable. Payment for such work will be made under the appropriate bid item associated with Sanitary Sewer Bypass Pumping in accordance with SAWS Standard Specifications 865 and 864.
- Prior to tie-ins, any shutdowns of existing force mains of any size must be coordinated with the SAWS Construction Inspection Division at 210-233-3500 and/or SAWS Production groups at least two weeks or more in advance of the shutdown. The Contractor must also provide a sequence of work as related to the tie-ins; this is at no additional cost to SAWS or the project and it is the responsibility of the Contractor to sequence the work accordingly.

COSA Drainage 210-206-8433
COSA Traffic Signal Operations 210-207-7720
Texas Statewide One Call Locator 1-800-545-6005 or 811

- The Contractor shall be responsible for restoring existing fences, curbs, streets, driveways, sidewalks, landscaping, and structures to its original or better condition as a result of damages done by the project's construction.
- Contractor shall not make use of dumpsters or waste bins that are intended to serve residents and/or businesses.
- All work in Texas Department of Transportation and Bexar County right-of-way shall be done in accordance with respective construction specifications and permit.
- The Contractor shall comply with City of San Antonio or other governing Municipality's tree ordinances when excavating near trees.
- All work within the 100-year Floodplain shall be done in accordance with Floodplain Development Permit.
- Any work completed without prior written authorization which is not included in these plans and specifications will not be compensated by the San Antonio Water System.
- Holiday Work: Contractors will not be allowed to perform SAWS work on SAWS recognized holidays.

Weekend Work: Contractors are required to submit request to the SAWS Inspection Construction department by 12:00pm on the Wednesday prior to the weekend being requested. Request should be sent to constworkreq@saws.org.

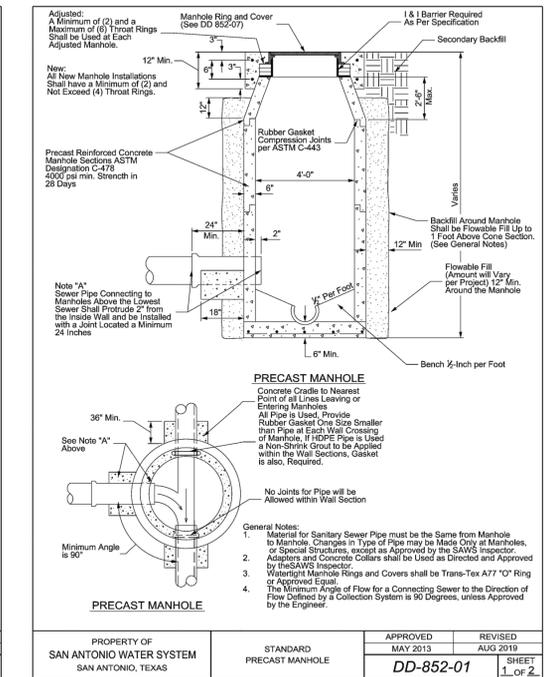
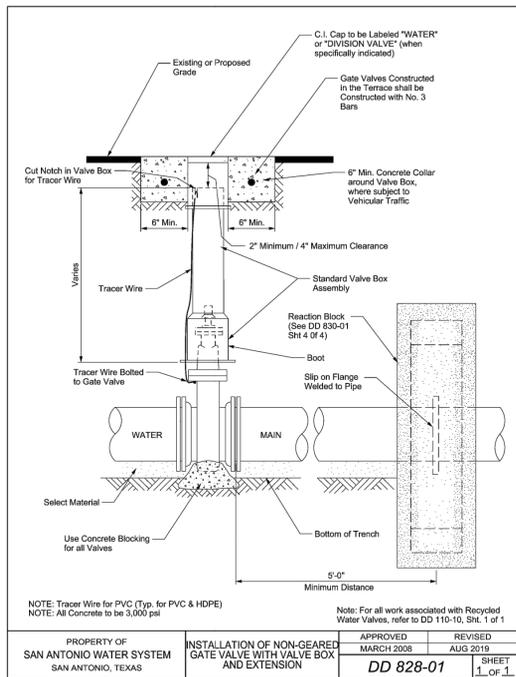
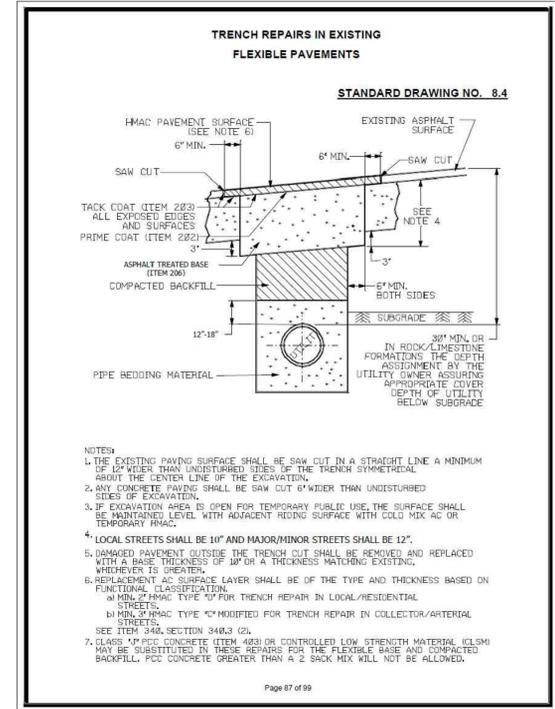
Any and all SAWS utility work installed without weekend approval will be subject to be uncovered for proper inspection at no cost to SAWS.
- PRE-CON SITE VIDEO: Before the start of any construction. The site must be video recorded by the contractor with one copy submitted to SAWS Inspections. A pre-site video will provide accurate documentation of the existing conditions (NSPI).
- POWER POLE BRACING: Contractors should be advised that there are existing overhead utility poles along the project corridor. Contractors should further be advised that if the distance from the outside face of a utility trench to the face of a utility pole is less than 5 feet, said utility pole is subject to bracing, based on a determination made by utility pole owner. It is advisable for the contractor to review the construction documents and visit the construction site to determine potential impacts.
- CONSTRUCTION SEQUENCING: It is the Contractor's sole responsibility to schedule sequencing for removal and installation of existing and proposed SAWS utilities in conjunction with general project construction. Sequence of construction activities shall be considered in order to minimize the extent and duration of disturbances.

- ELEVATIONS POSTED FOR TOP OF MANHOLES ARE FOR REFERENCE ONLY: It shall be the responsibility of the Contractor to make allowances and adjustments for top of manholes to match the finished grade of the project's improvements (NSPI).
- MANHOLE REMOVAL: Where existing manholes are to be replaced by the contractor, the existing manholes shall be removed. (NSPI)
- SMART MANHOLE COVERS: The Contractor shall notify SAWS EOC at 210-704-SAWS (210-233-7297) and either America Espinoza at 210-233-2934 or Jose A. Martinez at 210-233-3071 a minimum of 72 hours, not counting weekends or SAWS holidays, before working on the pipe or manhole, in order to have SAWS remove the Smart Cover. Any damage done to the Smart Cover will be charged to the Contractor through a change order.
- FLOW METERS IN MANHOLES: The Contractor shall notify Bobby Johnson at 210-233-3493 or Abel Borunda at 210-233-3704 a minimum of 72 hours, not counting weekends or SAWS holidays, before working on the pipe or manhole, in order to have SAWS remove the Flow Meter in the manhole. Any damage done to the Flow Meter will be charged to the Contractor through a change order.

- Contractor shall comply with applicable regulations including, but not limited to, those overseen by the U.S. Occupational Safety and Health Administration (OSHA). OSHA information and related materials may be obtained at <https://www.osha.gov/> or at the OSHA San Antonio Office located at Fountainhead Tower, Suite 605 8200 W. Interstate 10 San Antonio, TX 78230 which is also reachable by phone at (210) 472-5040.
- TRENCH EXCAVATION SAFETY PROTECTION: Contractor and/or Contractor's independently retained employee or structural design/geotechnical/safety/equipment consultant, if any, shall review these plans and available geotechnical information and the anticipated installation site(s) within the project work areas in order to implement Contractor's trench excavation safety protection systems, programs and/or procedures. The Contractor's implementation of the systems, programs and/or procedures shall provide for adequate trench excavation safety protection that complies with, as a minimum, OSHA standards for trench excavations. Specifically, Contractor and/or Contractor's independently retained employee or safety consultant shall implement a trench safety program in accordance with OSHA standards governing the presence and activities of individuals working in and around trench excavation.

WATER

- Prior to tie-ins, any shutdowns of existing mains of any size must be coordinated with the SAWS Inspection and/or SAWS Production groups at least **twenty-five (25) Calendar Days** in advance of the shutdown. The Contractor must also provide a sequence of work as related to the tie-ins; this is at no additional cost to SAWS or the project and it is the responsibility of the Contractor to sequence the work accordingly. SAWS Production Control Center 210-233-2016
- Asbestos Cement (AC) pipe, also known as transite pipe which is known to contain asbestos-containing material (ACM), may be located within the project limits. Special waste management procedures and health and safety requirements will be applicable when removal and/or disturbance of this pipe occurs. Payment for such work is to be made under Item No. 3000, "Handling Asbestos Cement Pipe".
- AC pipe removed on construction projects for tie-in(s) should be in length of 26 linear feet (LF). Lengths of 13 LF should be removed where AC pipe is being removed and crossing pipes, conduits, or boxes.
- VALVE REMOVAL: Where the contractor is to abandon a water main, the control valve located on the abandoning branch will be removed and replaced with a cap/plug. (NSPI)
- DIVISION VALVES: Division Valves shown on plans or not shown on plans but found in the field shall only be operated by SAWS Distribution and Collection staff and only with prior written approval of the SAWS Director of Production and Operations and proper coordination with all SAWS departments. Contractor shall provide written notification to the inspector a minimum of **twenty-five (25) Calendar Days** in advance to start the coordination process and will be informed by the Inspector when the division valve will be operated by the SAWS Distribution and Collection staff. The Division Valve can only be operated by SAWS Distribution and Collection staff member not the inspector or the contractor. Operation of a Division Valve without the express prior written



**RIALTO
STUDIO**

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Landscape Architecture
2425 Broadway
San Antonio, Texas 78215
210.828.1155



**GESSNER
ENGINEERING, LLC**
FIRM REGISTRATION NUMBERS:
TPEF F-451, TPEF S-F-1019310
401 W 26TH STREET
BRYAN, TEXAS 77803



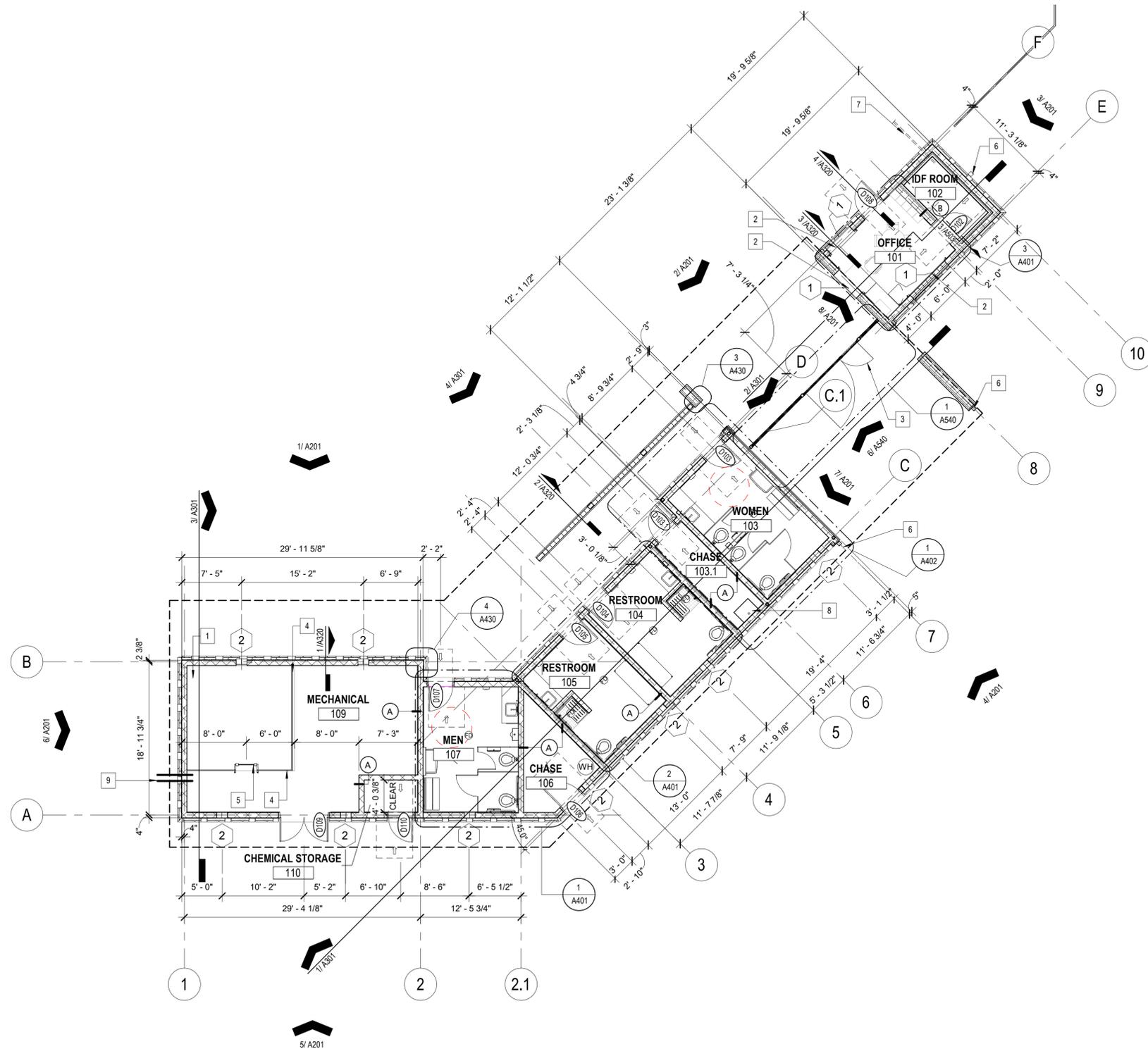
**District 3
Aquatics Facility
San Antonio, TX**



ISSUE DATE	10/31/2025
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**SAWS NOTES &
DETAILS**

SHEET NUMBER
C1102



1 FLOOR PLAN
1/8" = 1'-0"

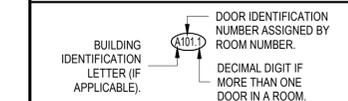
GENERAL NOTES

1. ALL DIMENSIONS ARE FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. OBTAIN CLARIFICATION FROM ARCHITECT, IF NEEDED.
3. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. BEFORE STARTING EACH PORTION OF THE WORK, CAREFULLY STUDY AND COMPARE THE VARIOUS CONTRACT DOCUMENTS RELATIVE TO THAT PORTION OF THE WORK. TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITION RELATED TO THAT PORTION OF WORK AND OBSERVE ANY CONDITIONS AT THE SITE AFFECTING IT. PROMPTLY REPORT TO THE ARCHITECT ANY PERCEIVED ERRORS, INCONSISTENCIES, OR OMISSIONS.
4. UPON DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS NOT ALREADY IDENTIFIED AS PART OF THE WORK, STOP WORK IN THE AFFECTED AREA AND REPORT THE CONDITION TO THE OWNER AND ARCHITECT IN WRITING.
5. THESE DRAWING SHOWS GENERAL AND SPECIFIC NEW CONSTRUCTION REQUIREMENTS. REFER TO CONSULTANT DRAWINGS/ DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
6. EFFECTIVELY ISOLATE DISSIMILAR MATERIALS FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN.
7. LOCATE NEW DOORS SUCH THAT THE INSIDE FACE OF THE HINGE IS 4" FROM THE NEAREST INTERSECTING PARTITION, UNLESS OTHERWISE NOTED.
8. PROVIDE CONCEALED BLOCKING IN PARTITIONS IN AREAS WHERE REQUIRED. THESE AREAS INCLUDE, BUT ARE NOT LIMITED TO OPENED AND CLOSED SHELVING, CABINETS, COUNTERS, DOOR FRAMES AND HEADERS, WALL MOUNTED MONITORS, AND SUPPORT OF TRIM. ALL BLOCKING SHALL BE FIRE-RETARDANT TREATED IN ACCORDANCE WITH THE APPLICABLE FIRE PROTECTION CODES.
9. SECURE REQUIRED AND NECESSARY PERMITS FROM MUNICIPAL AGENCIES HAVING JURISDICTION PRIOR TO START OF WORK. OBTAIN APPROVAL OF ALL COMPLETED WORK AS REQUIRED BY ADMINISTRATIVE CODE AND REQUIRED INSPECTION AGENCIES.
10. THE ARCHITECT'S DECISION ON MATTERS RELATED TO AESTHETIC EFFECT IS FINAL. REPORT ANY PERCEIVED DISCREPANCIES WITH DESIGN INTENT EXPRESSED IN THE CONTRACT DOCUMENTS TO THE ARCHITECT & OWNER IN WRITING.
11. PROMPTLY CORRECT WORK FAILING TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
12. SUBMIT IN WRITING TO THE ARCHITECT PROPOSED CHANGES TO ANY CONSTRUCTION MATERIALS, DETAILS, ASSEMBLIES & SYSTEMS.
13. REPAIR DAMAGE TO NEW OR EXISTING WORK DUE TO CONSTRUCTION. PROTECT NEW & EXISTING WORK FROM SPILLS & PHYSICAL DAMAGE. SUBMIT PROTECTION SYSTEM FOR REVIEW & MAINTAIN DURING CONSTRUCTION.
14. PAINT ALL PIPING & CONDUIT EXPOSED TO VIEW AND PROVIDE ESCUTCHEON PLATES FOR ALL NEW EXPOSED FLOOR, WALL, & CEILING PENETRATIONS.
15. CLEAN AND REMOVE ANY CONSTRUCTION DEBRIS FROM ASSEMBLIES DAILY AND BEFORE FINISHING. DO NOT TRAP DUST AND DEBRIS THAT WILL OTHERWISE BE DIFFICULT TO CLEAN OR REACH DURING FINAL CLEANING. VACUUM CLEAN ALL STUD CAVITIES PRIOR TO CLOSING.
16. PROFESSIONALLY CLEAN ALL EQUIPMENT AND SURFACES UPON COMPLETION OF THE PROJECT.

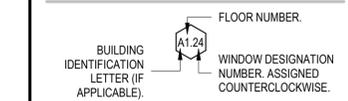
LEGEND

- NEW WALL
- NEW DOOR
- NEW GLASS BLOCK OPENING
- FLOOR DRAIN, REF. PLUMBING

DOOR NUMBERING KEY



WINDOW NUMBERING KEY



KEYNOTES

- 1 MECHANICAL PIT, REF. MEP
- 2 ROLL UP DOORS
- 3 STEEL FENCE/GATE, MAIN ENTRANCE
- 4 MECHANICAL PIT GUARDRAIL
- 5 MECHANICAL PIT SHIP LADDER
- 6 DOWNSPOUTS
- 7 2" PVC CONDUIT FOR DATA CABLE. LOCATE TO AVOID CONCRETE FOUNDATION REINFORCING.
- 8 MOP SINK, REF. PLUMBING
- 9 (2) 2" ELECTRICAL CONDUIT, COORDINATE PENETRATION OF FOUNDATION WITH STRUCTURAL. REF. ELECTRICAL



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SAN ANTONIO TX 78205
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**District 3
Aquatics Facility**
San Antonio, TX



ISSUE DATE	10/23/2025
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FLOOR PLAN

SHEET NUMBER

A101.1



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San Antonio, TX

ISSUE DATE 10/23/2025

REVISION 00/00/0000

PROJECT NUMBER 23010

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SCALE

SHEET TITLE

REFLECTED
CEILING
PLANS

SHEET NUMBER

A102.1

GENERAL NOTES

- COORDINATE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- EXIT ACCESS ROUTES AND ACCESSIBLE ROUTES: MINIMUM CLEAR HEADROOM SHALL BE 8'-0" AT, INCLUDING BUT NOT LIMITED TO, ARCHITECTURAL FEATURES, CEILINGS, SIGNAGE, SOFFITS, EXPOSED STRUCTURE AND BUILDING SYSTEMS COMPONENTS, SUCH AS LIGHT FIXTURES AND EXIT SIGNS, ETC.
- CONFIRM ALL RECEPTACLE, LIGHT FIXTURE & SWITCH LOCATIONS ON-SITE AT ROUGH-IN. DIMENSIONS NOTED ARE SUBJECT TO SITE CONDITIONS.
- SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, EXIT SIGNAGE, AND FIRE ALARM DEVICES. SEE ELECTRICAL FOR LOCATIONS OF WALL MOUNTED EXIT LIGHTS.
- PREPARE FIRE SPRINKLER DESIGN BY LICENSED FIRE SPRINKLER DESIGNER. SUBMIT FIRE SPRINKLER DRAWINGS FOR REVIEW BY ARCHITECT & PERMITTING BY THE AHJ.
- VERIFY THAT ACCESS PANELS ARE INSTALLED IN CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE EQUAL TO THE RATINGS OF THE WALL OR CEILING IN WHICH THEY OCCUR. VERIFY ALL LOCATIONS WITH ARCHITECT.
- ALL DIMENSIONS ARE FROM THE CENTER LINE OF FIXTURE TO FINISH FACE OF WALL.
- LIGHT FIXTURES LOCATED IN WET LOCATION MUST BE LISTED FOR WET LOCATION AND REQUIRE WATER RESISTANT TRIMS.
- CEILING ELEVATIONS ARE NOMINAL AND ARE DIMENSIONED FROM THE FINISH FLOOR.

CEILING LEGEND

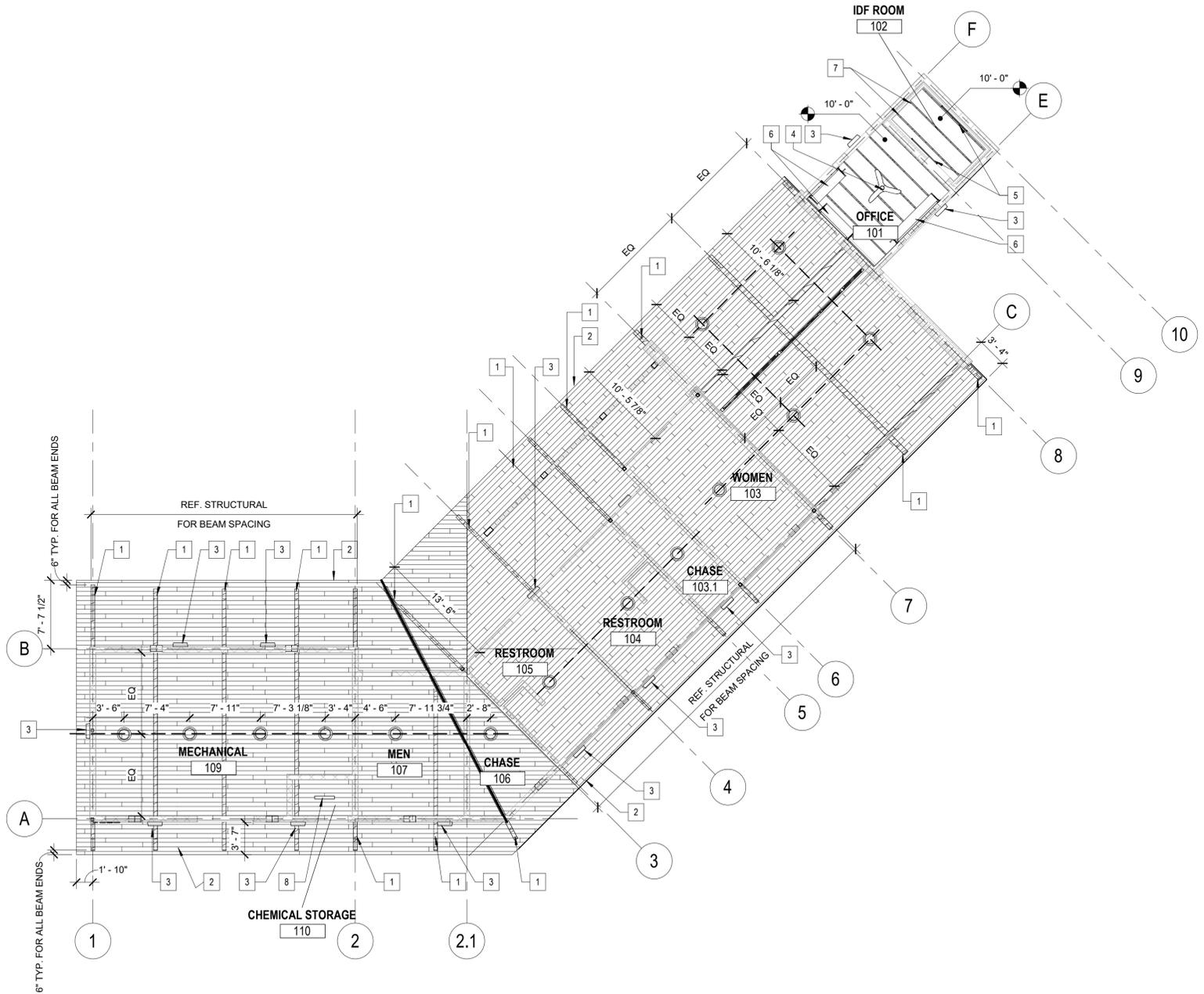
- CONCRETE DECK (EXPOSED)
- T&G

RCP SYMBOL LEGEND

- CEILING ELEVATION TAG
- CEILING FAN MOUNTED AT 8'-0" BOTTOM OF FAN
- PENDANT LIGHT @10'-0" AFF BOTTOM OF FIXTURE
- EXTERIOR WALL MOUNTED LIGHT FIXTURE @9'-0" AFF BOTTOM OF FIXTURE
- INTERIOR WALL MOUNTED LINEAR LIGHT FIXTURE @9'-0" AFF BOTTOM OF FIXTURE

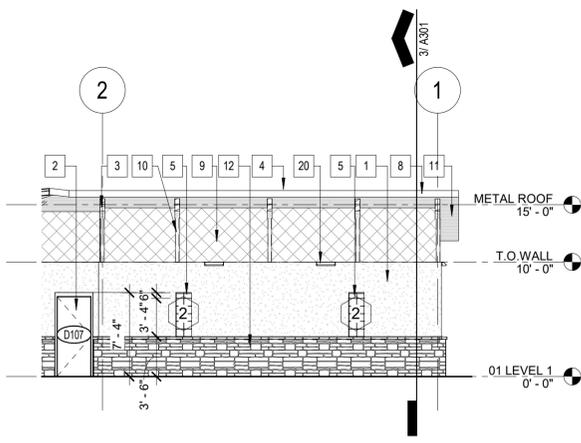
KEYNOTES

- GLULAM BEAMS ABOVE CMU WALL TO BE ALIGNED WITH CENTER OF WALL UNLESS OTHERWISE NOTED - REF: STRUCTURAL
- ROOF OVERHANG
- EXTERIOR WALL MOUNTED LIGHT FIXTURE, REF: ELECTRICAL @9'-0" AFF BOTTOM OF FIXTURE
- CEILING FAN W/ LIGHT, REF: ELECTRICAL @9'-0" AFF BOTTOM OF FIXTURE
- INTERIOR WALL MOUNTED LIGHT FIXTURE, REF: ELECTRICAL @9'-0" AFF BOTTOM OF FIXTURE
- COILING WINDOW
- WOOD BEAMS
- INTERIOR CEILING MOUNTED HAZARD LIGHT FIXTURE, REF: ELECTRICAL

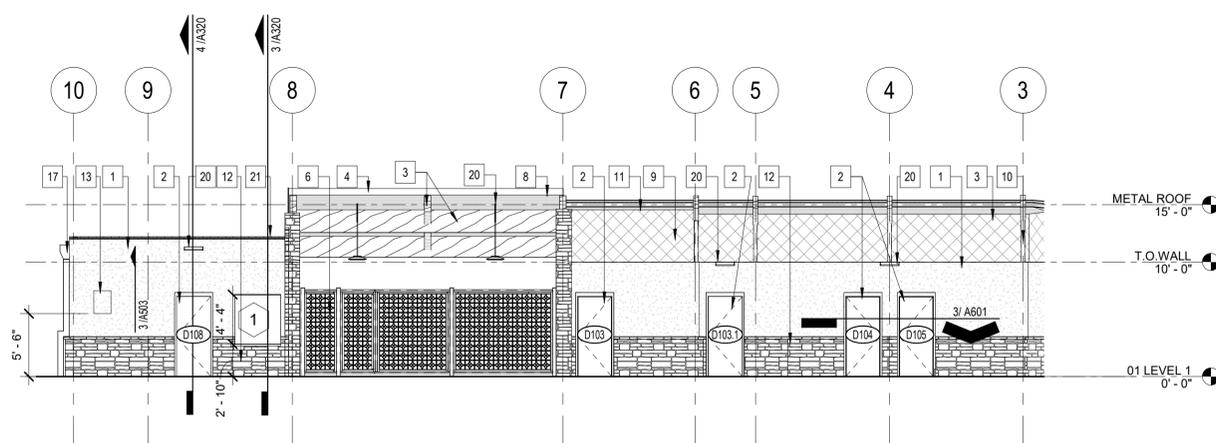


1 REFLECTED CEILING PLAN
1/8" = 1'-0"

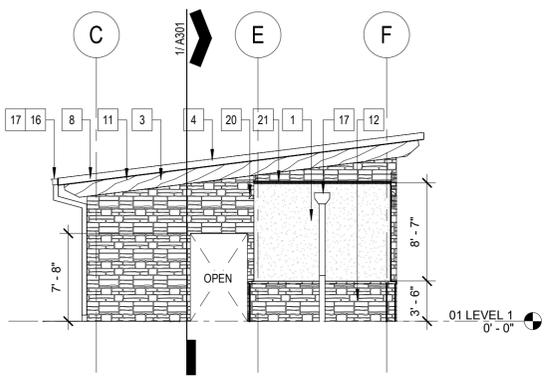




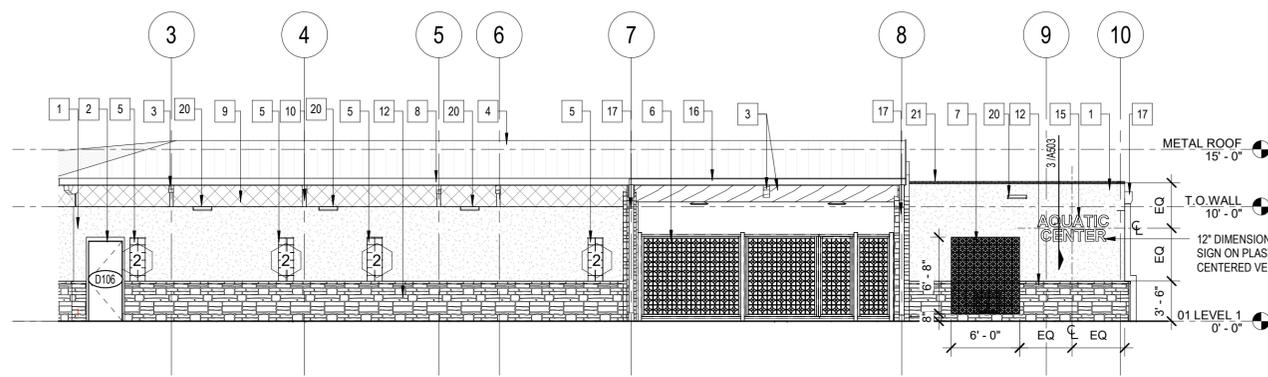
1 NORTH ELEVATION
1/8" = 1'-0"



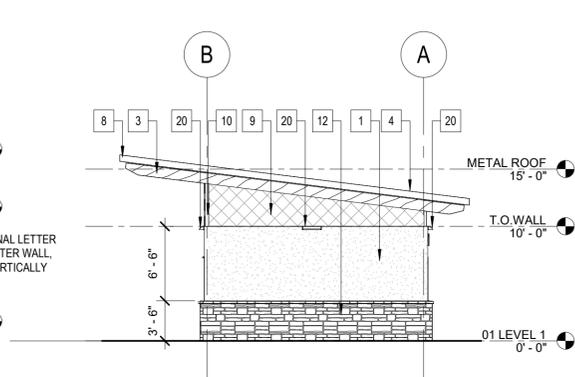
2 NORTHWEST ELEVATION
1/8" = 1'-0"



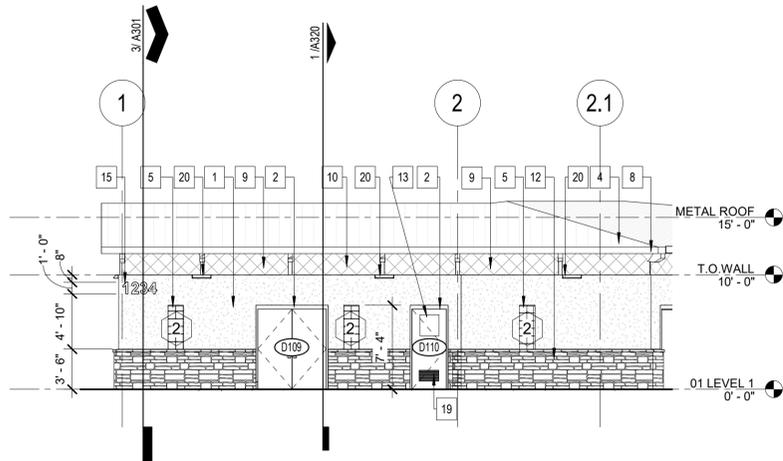
3 NORTHEAST ELEVATION
1/8" = 1'-0"



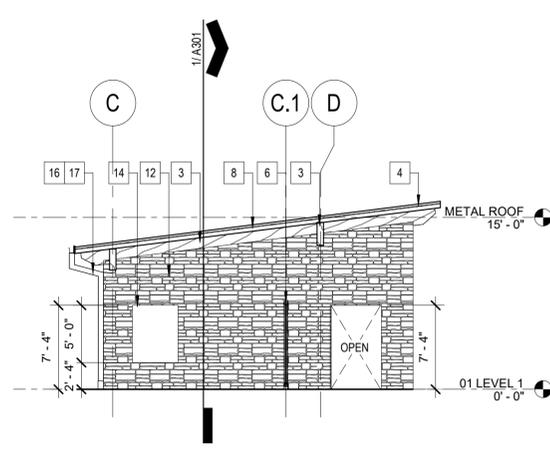
4 SOUTHEAST ELEVATION
1/8" = 1'-0"



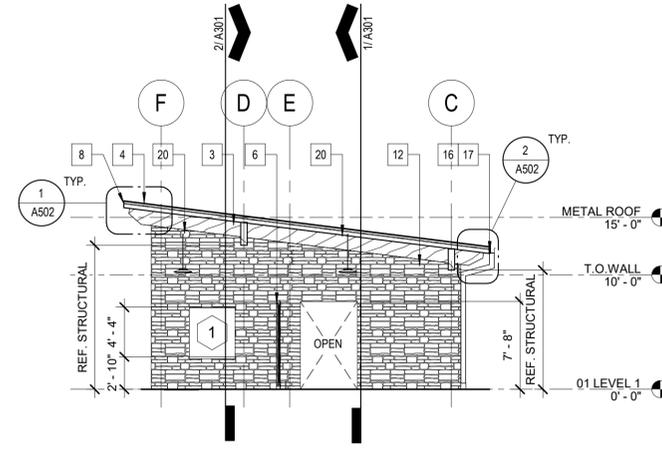
6 WEST ELEVATION
1/8" = 1'-0"



5 SOUTH ELEVATION
1/8" = 1'-0"



7 NORTHEAST ELEVATION
1/8" = 1'-0"



8 EAST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

1. HORIZONTAL & VERTICAL DIMENSIONS SHALL BE FIELD VERIFIED AT EXISTING CONDITIONS.
2. SEE ARCHITECTURAL FLOOR PLANS FOR WALL TYPES, WINDOW NUMBERS, DOOR NUMBERS AND DIMENSIONS.
3. PLACEMENT OF WALL MOUNTED ITEMS ARE DIMENSIONED TO THE CENTERLINE OF ITEM.
4. ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS.
5. EFFECTIVELY ISOLATE DISSIMILAR MATERIALS FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN.
6. REFER TO MECHANICAL DRAWINGS FOR LOCATIONS OF LOUVERS, VENTS OR OTHER EQUIPMENT AND FIXTURES NOT SHOWN ON ELEVATIONS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO INSTALL.

LEGEND

- NEW CONSTRUCTION
- DOOR NUMBER
- WINDOW / CURTAINWALL TYPE

KEYNOTES

- 1 DIRECT - APPLIED EXTERIOR PLASTER
- 2 HM DOOR
- 3 GULIELAM BEAM, REF. STRUCTURAL
- 4 PREFINISHED STANDING SEAM METAL ROOF
- 5 SOLID GLASS BLOCK
- 6 FENCING, REF. 4/A540
- 7 TERRACOTTA BREEZE BLOCK SCREEN
- 8 PREFINISHED ALUMINUM FACIA
- 9 PREFINISHED ALUMINUM SCREEN PANEL, REF. 8/A502
- 10 STEEL COLUMN, REF. STRUCTURAL - PAINTED
- 11 DOUGLAS FIR T&G DECKING, REF. STRUCTURAL
- 12 STONE WAINSCOT/FULL HEIGHT
- 13 REGULATORY SIGN, REF. LANDSCAPE
- 14 ETIQUETTE SIGN, REF. LANDSCAPE
- 15 DIMENSIONAL LETTERS SIGN, STUD MOUNTED, PROVIDE BLOCKING AS REQ.
- 16 PREFINISHED ALUMINUM GUTTERS
- 17 PREFINISHED ALUMINUM DOWNSPOUT
- 18 NOT USED
- 19 DOOR LOUVER
- 20 LIGHT FIXTURE - REF. ELECTRICAL @9'-0" AFF BOTTOM OF FIXTURE
- 21 TWO COURSES OF CLAY TILE SET ON MORTAR BED AND GALV. METAL LATH



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San Antonio, TX

ISSUE DATE 10/23/2025

REVISION 00/00/0000

PROJECT NUMBER 23010

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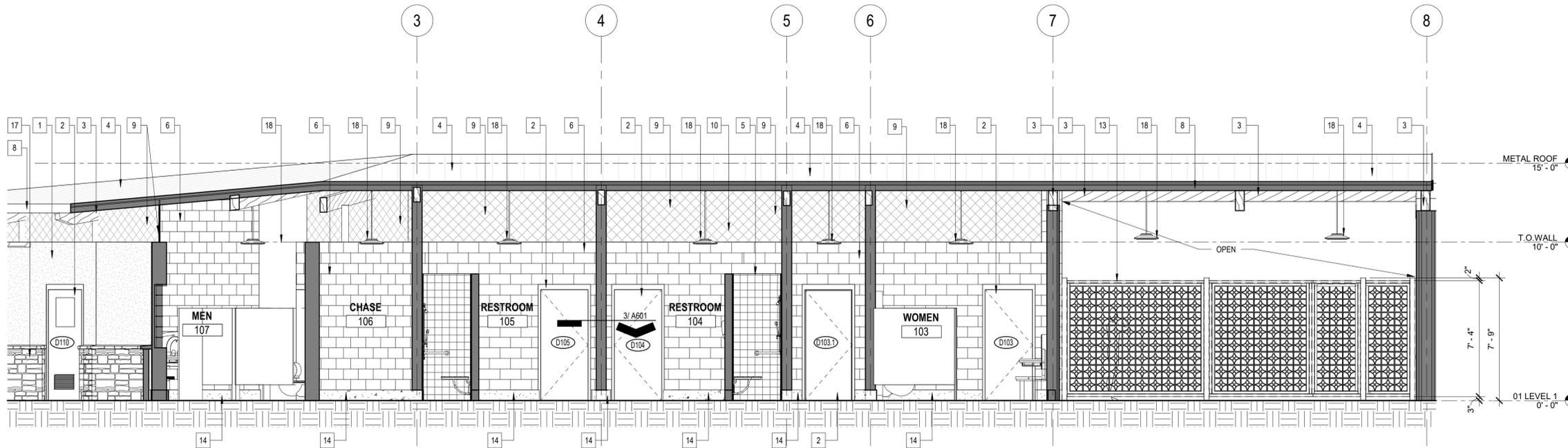
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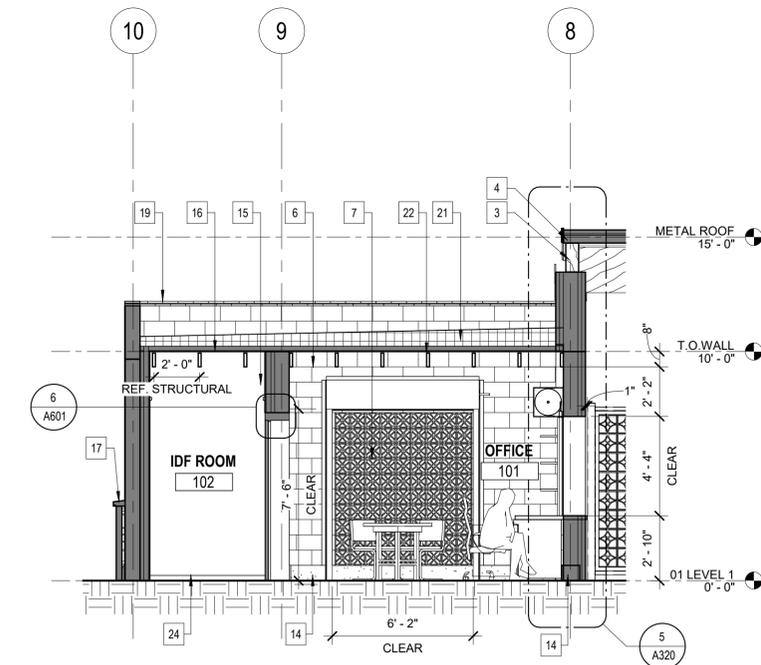
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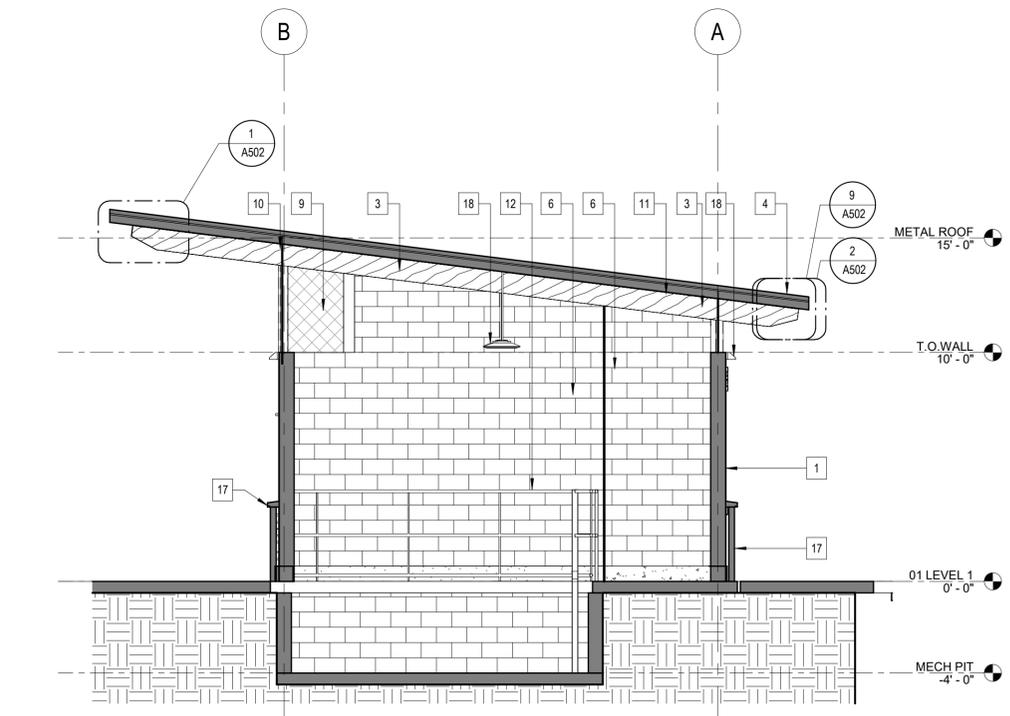
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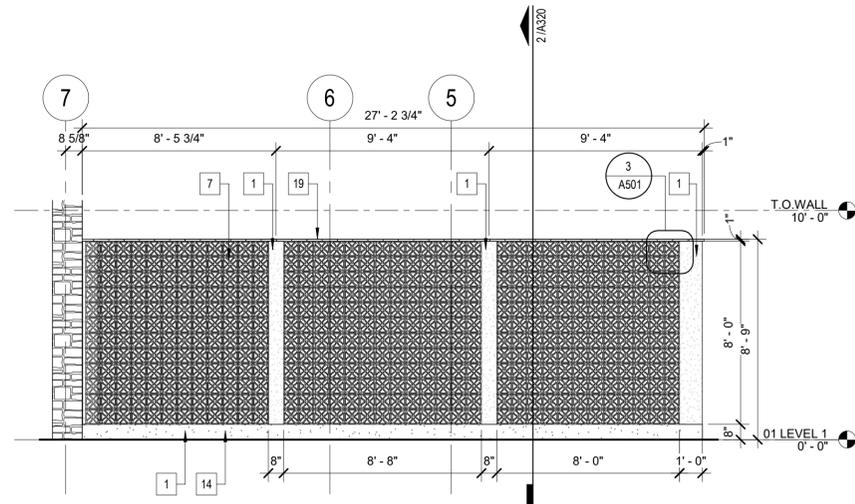
1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



3 BUILDING SECTION
1/4" = 1'-0"



4 BREEZBLOCK SCREEN
1/4" = 1'-0"

LEGEND

NEW CONSTRUCTION

KEYNOTES

- 1 DIRECT - APPLIED EXTERIOR PLASTER
- 2 HOLLOW METAL DOOR
- 3 GLUELAM BEAM, REF. STRUCTURAL
- 4 PREFINISHED STANDING SEAM METAL ROOF
- 5 WALL TILE
- 6 BURNISHED CMU BLOCK
- 7 TERRACOTTA BREEZE BLOCK SCREEN
- 8 PREFINISHED ALUMINUM FACIA
- 9 PREFINISHED ALUMINUM SCREEN PANEL, REF. 8/A520
- 10 STEEL COLUMN, REF. STRUCTURAL - PAINTED
- 11 DOUGLAS FIR T&G DECKING, REF. STRUCTURAL
- 12 MECHANICAL PIT GUARDRAIL, REF. POOL DRAWINGS
- 13 FENCING - ADD ALT. #4, REF. 540
- 14 CONCRETE CURB
- 15 GYPSUM WALL BOARD
- 16 CEILING, REF. RCP
- 17 STONE; 3'-6" @ WAINSCOT / FULL HEIGHT
- 18 LIGHT FIXTURE, REF. ELECTRICAL @ 9'-0" AFF BOTTOM OF FIXTURE
- 19 1" THICK CLAY TILE CAP
- 20 METAL LOCKERS
- 21 TPO ROOFING SYSTEM OVER 5" MIN. OF TAPERED INSULATION
- 22 CEILING FAN WITH LIGHT FIXTURE
- 23 MOP SINK, REF. PLUMBING
- 24 RUBBER BASE
- 25 WOOD BEAM SYSTEM, REF. STRUCTURAL



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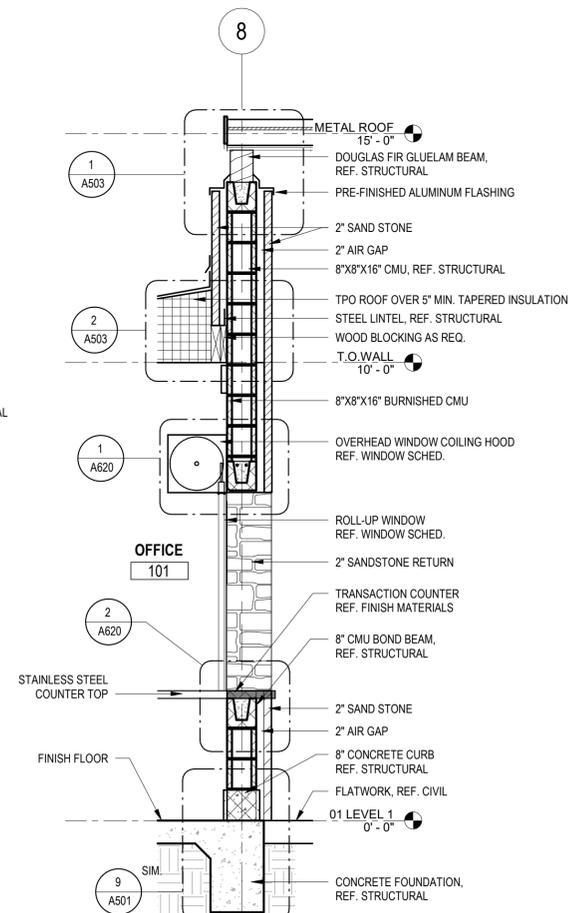
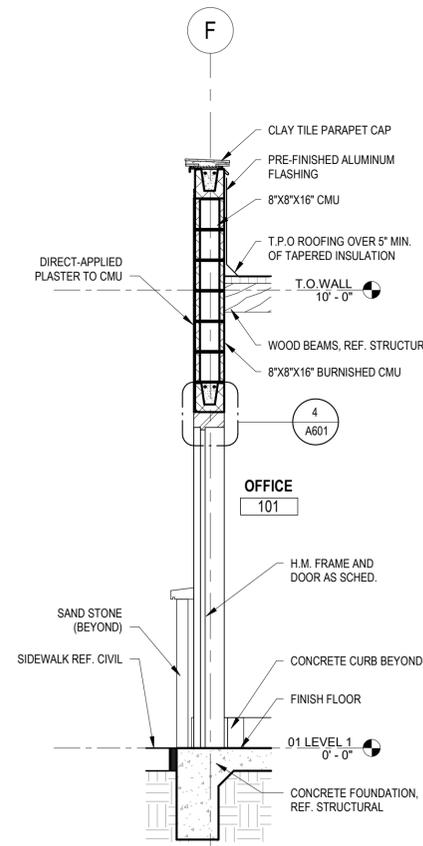
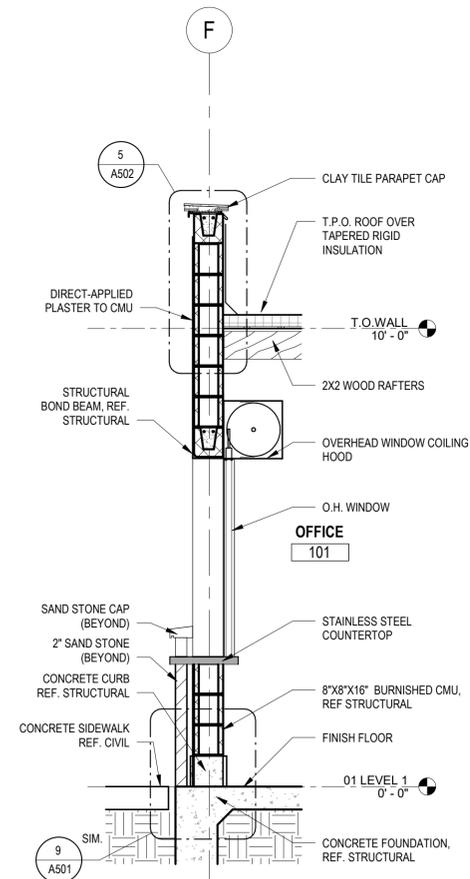
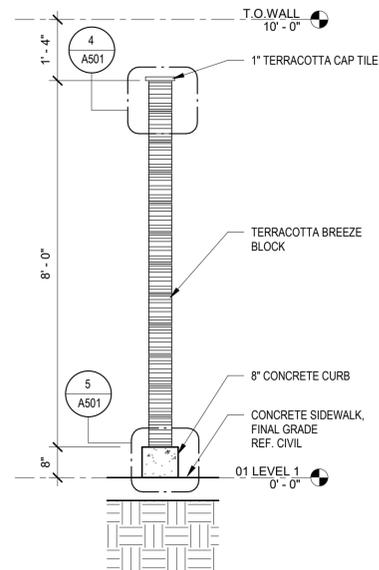
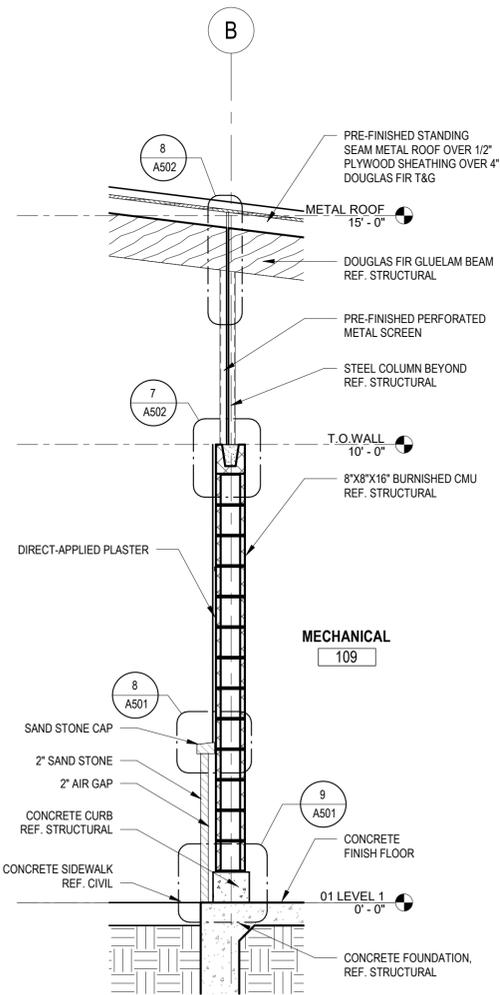
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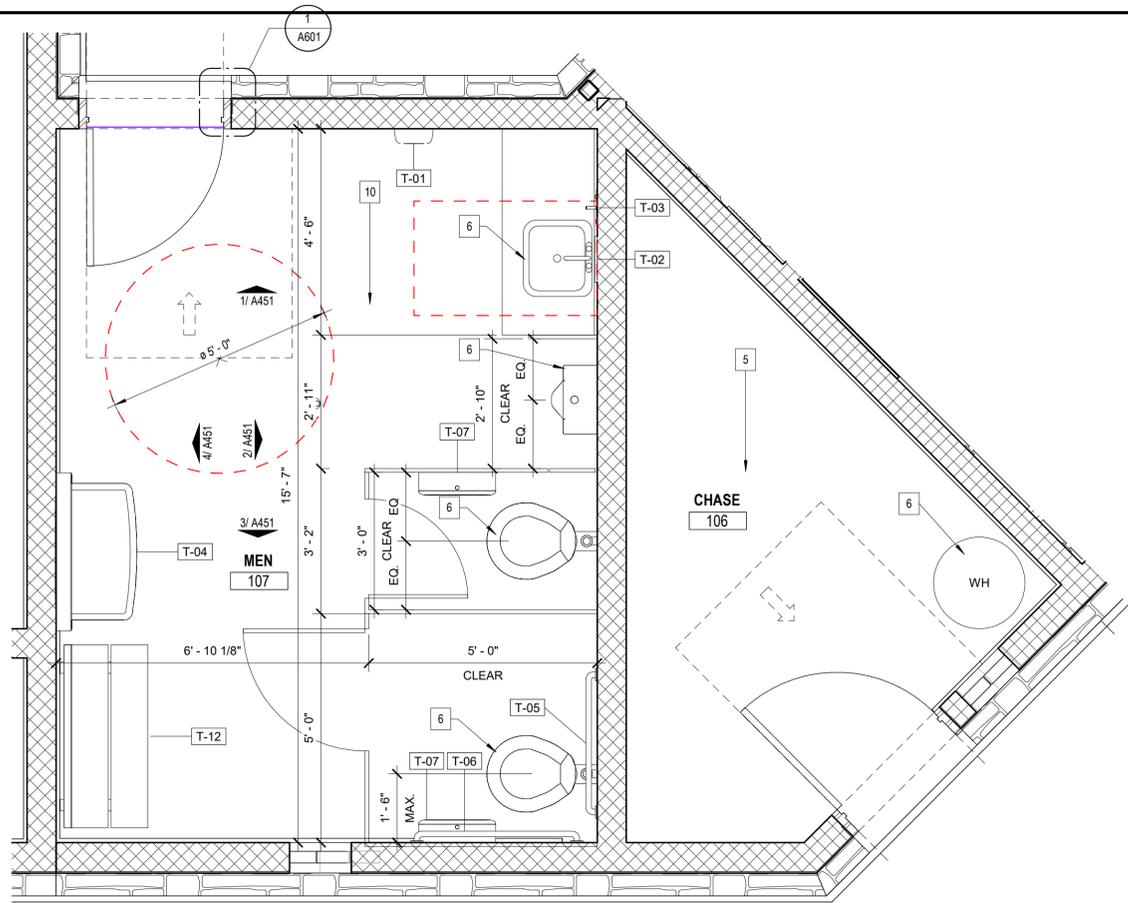
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BUILDING SECTIONS

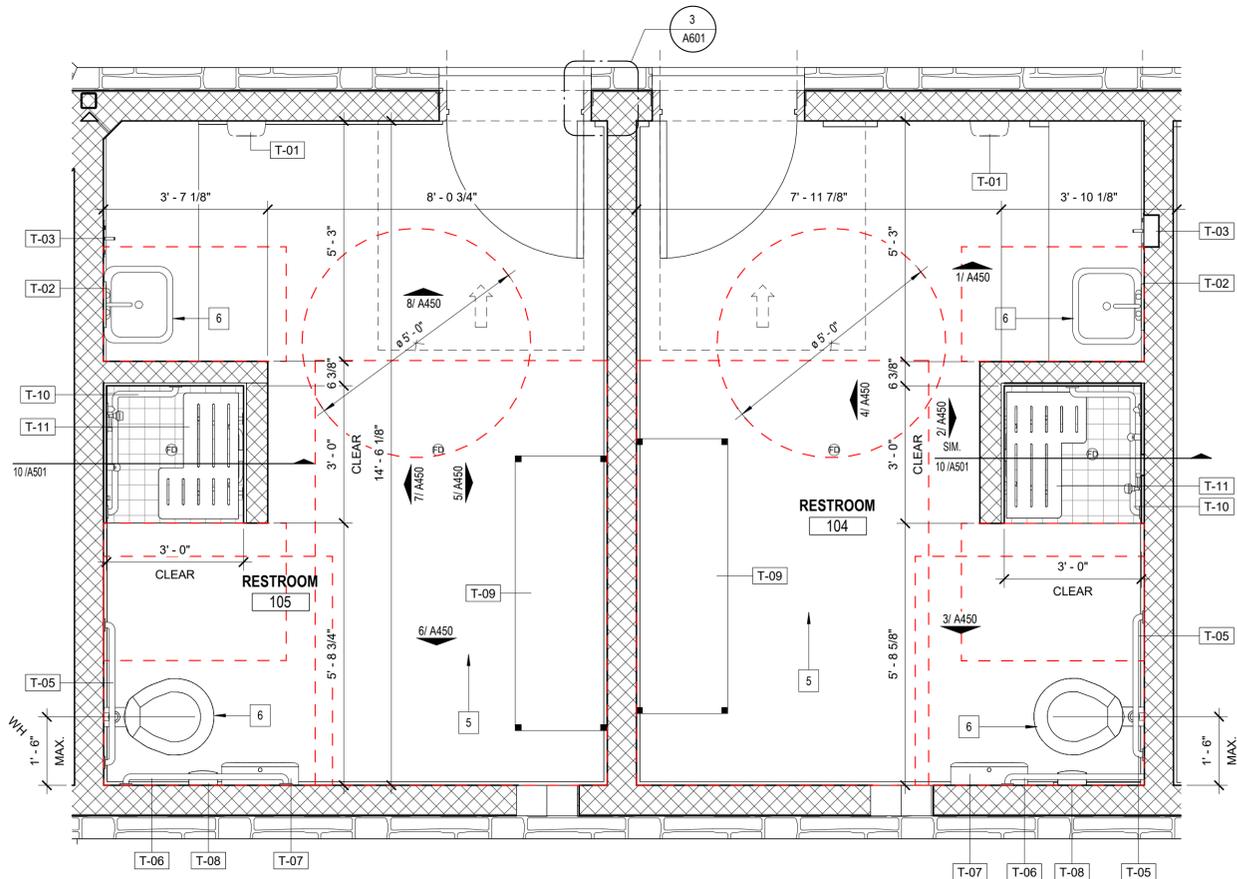
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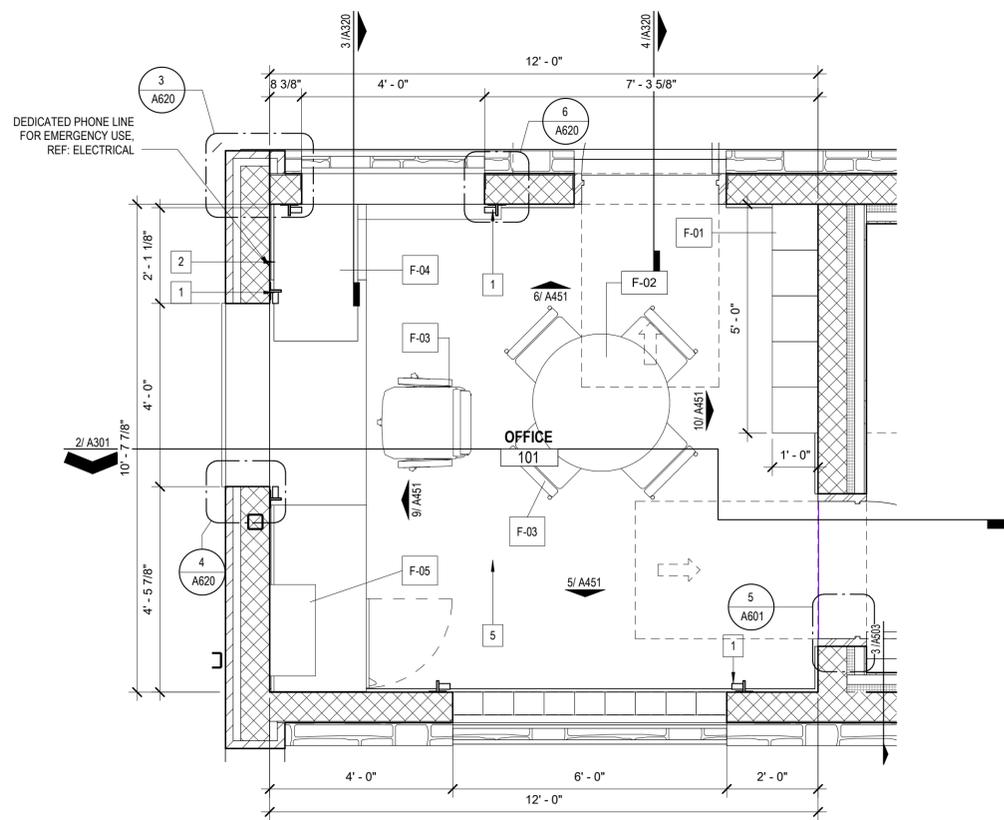




1 ENLARGED PLAN
1/2" = 1'-0"



2 ENLARGED PLAN
1/2" = 1'-0"



3 OFFICE ENLARGED PLAN
1/2" = 1'-0"

TOILET ACCESSORIES SCHEDULE			
TAG	MODEL	MANUFACTURER	Description
T-01	B-7188	BOBRICK	WALL MOUNTED HAND DRYER
T-02	1812 HC	ACORN	FRAMED MIRROR
T-03	B-306	BOBRICK	SOAP DISPENSER
T-04	KB300	KOALA KARE	BABY CHANGING STATION
T-05	B-6806.99 X 36	BOBRICK	36" GRAB BAR
T-06	B-6806.99 x 42	BOBRICK	42" GRAB BAR
T-07	B-265	BOBRICK	TOILET TISSUE DISPENSER
T-08	B-270	BOBRICK	SANITARY NAPKIN DISPOSAL
T-09	KB3000	HAUSMANN	ADULT CHANGING TABLE
T-10	B-6861	BOBRICK	TWO-WALL SHOWER STALL GRAB BAR
T-11	B-5181	BOBRICK	REVERSIBLE FOLDING SHOWER SEAT
T-12	7772-ADAB	SALSBURY INDUSTRIES	ADA Bench

FURNITURE AND MISC. SCHEDULE			
TAG	MODEL	MANUFACTURER	DESCRIPTION
F-01	X	X	LOCKER - DOUBLE STACKED - 6" LEGS
F-02	X	X	OFFICE TABLE
F-03	X	X	OFFICE CHAIR
F-04	X	X	STAINLESS STEEL CABINET
F-05	X	X	STAINLESS STEEL SHELF
F-06	X	X	XX
F-07	X	X	XX
F-08	X	X	XX
F-09	X	X	XX

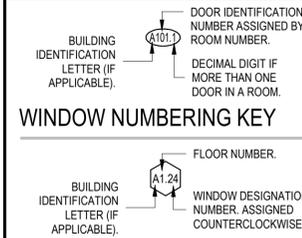
GENERAL NOTES

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- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. OBTAIN CLARIFICATION FROM ARCHITECT, IF NEEDED.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. BEFORE STARTING EACH PORTION OF THE WORK, CAREFULLY STUDY AND COMPARE THE VARIOUS CONTRACT DOCUMENTS RELATIVE TO THAT PORTION OF THE WORK. TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITION RELATED TO THAT PORTION OF WORK AND OBSERVE ANY CONDITIONS AT THE SITE AFFECTING IT. PROMPTLY REPORT TO THE ARCHITECT ANY PERCEIVED ERRORS, INCONSISTENCIES, OR OMISSIONS.
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- LOCATE NEW DOORS SUCH THAT THE INSIDE FACE OF THE HINGE IS 4" FROM THE NEAREST INTERSECTING PARTITION, UNLESS OTHERWISE NOTED.
- PROVIDE CONCEALED BLOCKING IN PARTITIONS IN AREAS WHERE REQUIRED. THESE AREAS INCLUDE, BUT ARE NOT LIMITED TO OPENED AND CLOSED SHELVING, CABINETS, COUNTERS, DOOR FRAMES AND HEADERS, WALL MOUNTED MONITORS, AND SUPPORT OF TRIM. ALL BLOCKING SHALL BE FIRE-RETARDANT TREATED IN ACCORDANCE WITH THE APPLICABLE FIRE PROTECTION CODES.
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- PROFESSIONALLY CLEAN ALL EQUIPMENT AND SURFACES UPON COMPLETION OF THE PROJECT.

LEGEND

- NEW WALL
- NEW DOOR
- NEW GLASS BLOCK OPENING
- FLOOR DRAIN, REF. PLUMBING

DOOR NUMBERING KEY



KEYNOTES

- ROLL-UP WINDOW RE. WINDOW SCHEDULE
- 2" PVC CONDUIT FOR DATA CABLE. LOCATE TO AVOID CONCRETE FOUNDATION REINFORCING.
- MOP SINK, REF. PLUMBING
- NOT USED
- POLISHED CONCRETE FLOOR, REF. ARCH. SPECS
- PLUMBING FIXTURE, REF. PLUMBING



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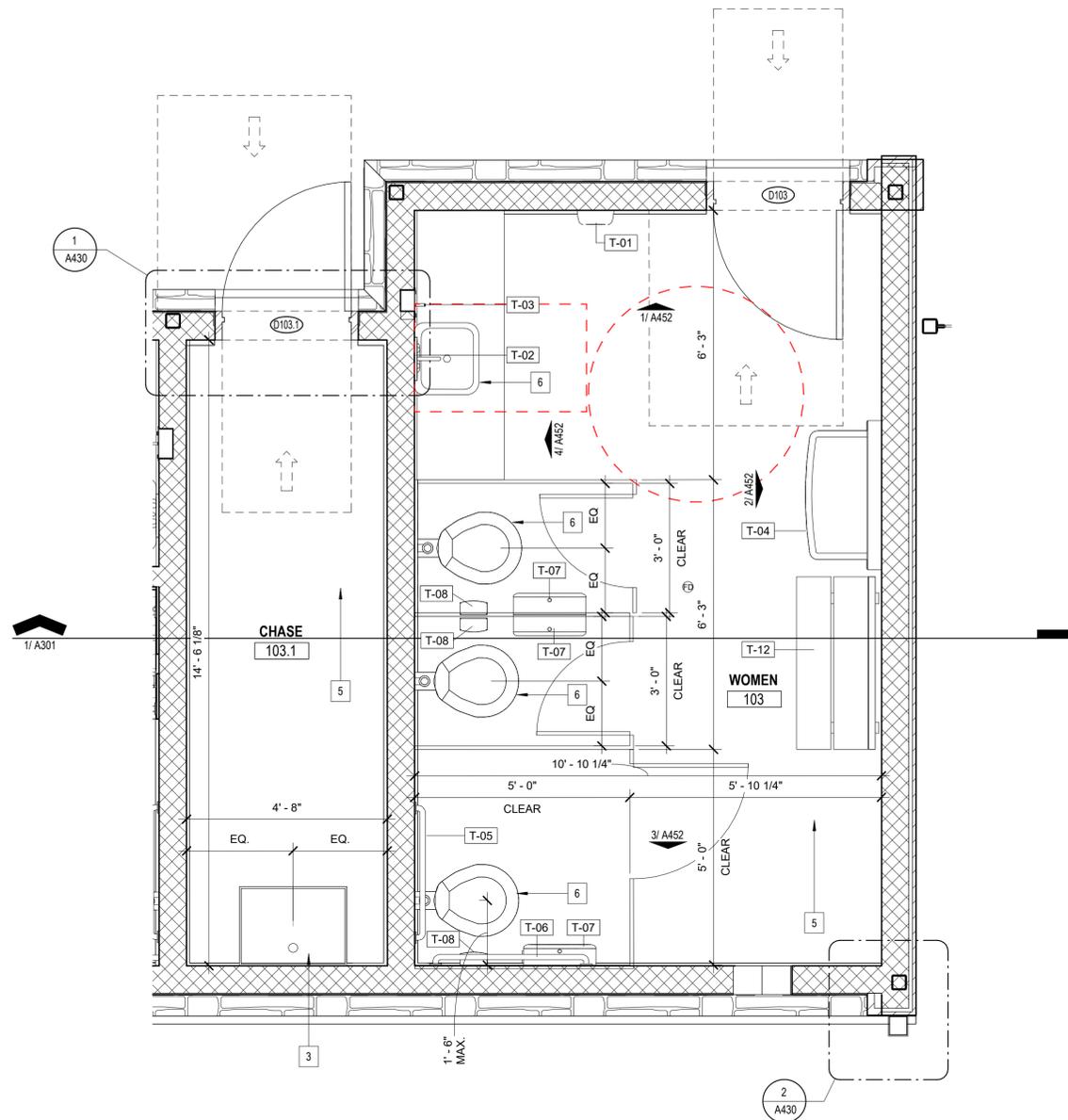
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ENLARGED PLANS

SHEET NUMBER

A401





1 ENLARGED PLAN
1/2" = 1'-0"

TOILET ACCESORIES SCHEDULE			
TAG	MODEL	MANUFACTURER	Description
T-01	B-7188	BOBRICK	WALL MOUNTED HAND DRYER
T-02	1812 HC	ACORN	FRAMED MIRROR
T-03	B-306	BOBRICK	SOAP DISPENSER
T-04	KB300	KOALA KARE	BABY CHANGING STATION
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T-11	B-5181	BOBRICK	REVERSIBLE FOLDING SHOWER SEAT
T-12	77772-ADAB	SALSBURY INDUSTRIES	ADA Bench

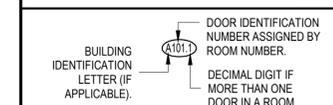
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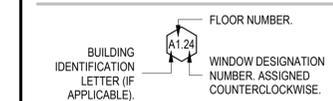
LEGEND

- NEW WALL
- NEW DOOR
- NEW GLASS BLOCK OPENING
- FLOOR DRAIN, REF. PLUMBING

DOOR NUMBERING KEY

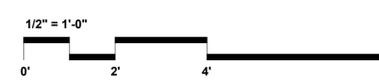


WINDOW NUMBERING KEY



KEYNOTES

- ROLL-UP WINDOW RE. WINDOW SCHEDULE
- 2" PVC CONDUIT FOR DATA CABLE. LOCATE TO AVOID CONCRETE FOUNDATION REINFORCING.
- MOP SINK, REF. PLUMBING
- NOT USED
- POLISHED CONCRETE FLOOR, REF. ARCH. SPECS
- PLUMBING FIXTURE, REF. PLUMBING



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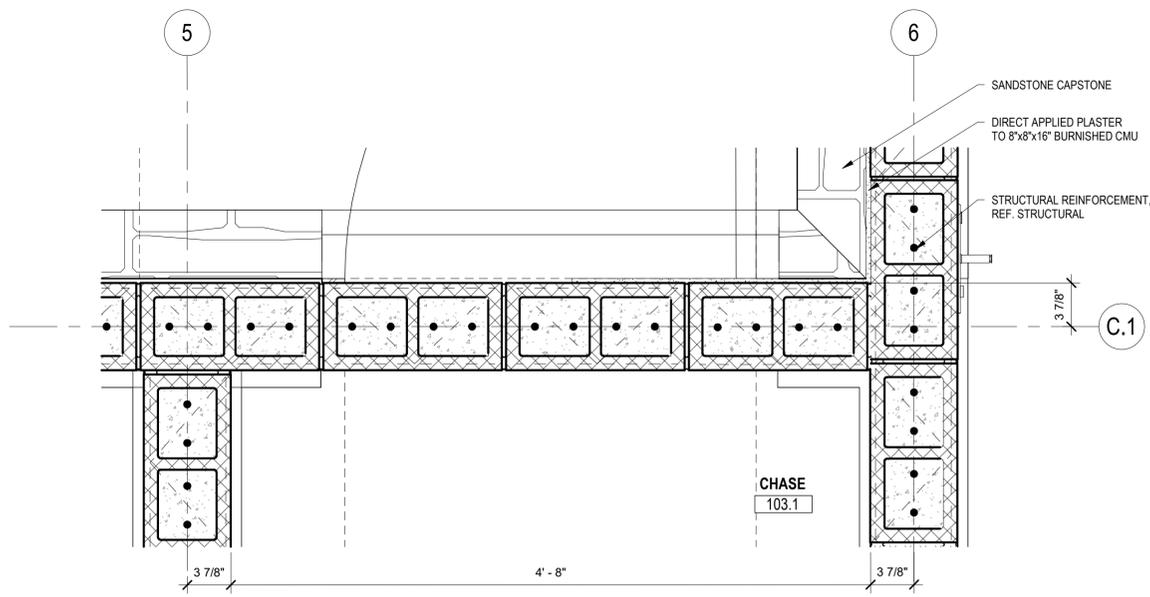
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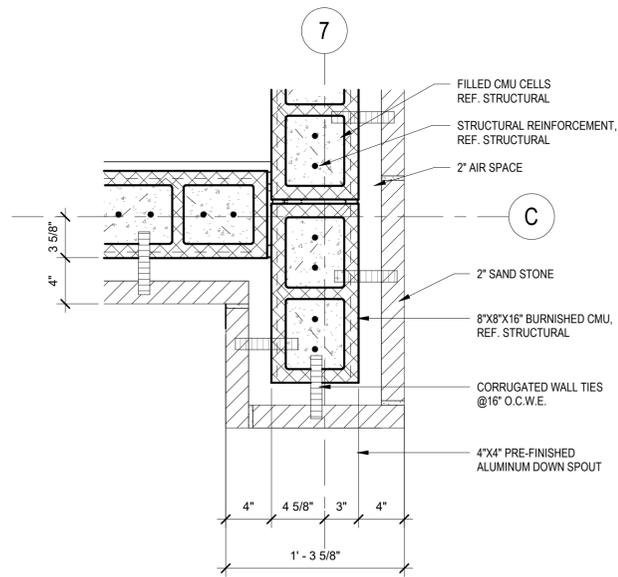
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SHEET NUMBER

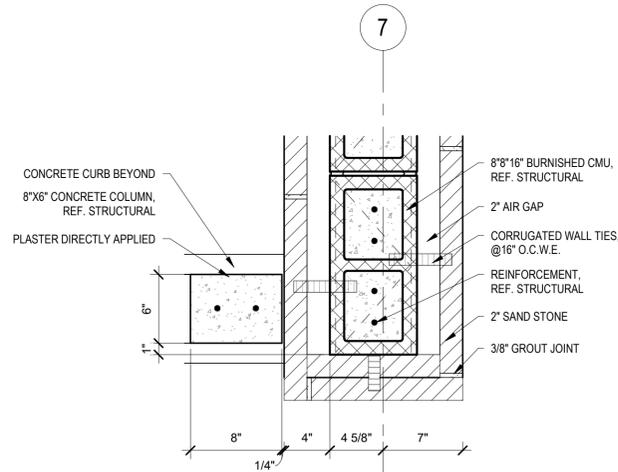
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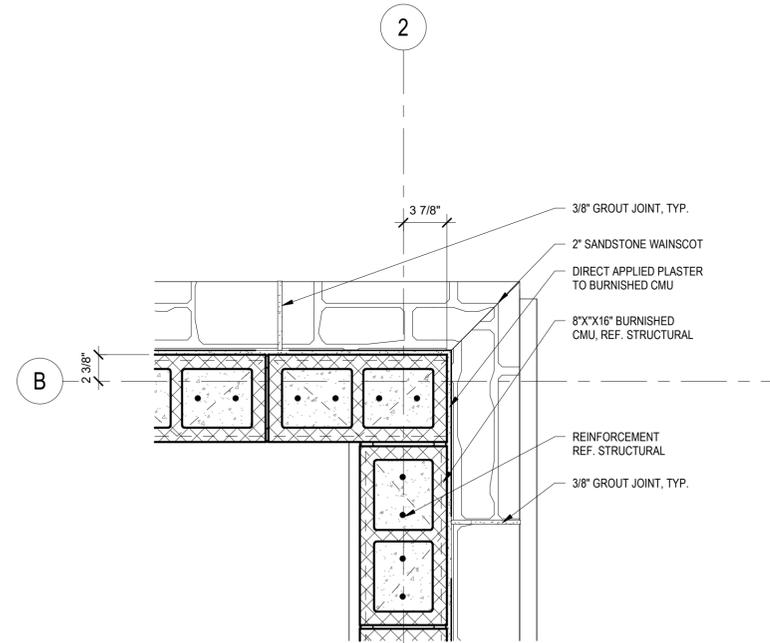
1 PLAN DETAIL
1 1/2" = 1'-0"



2 PLAN DETAIL
1 1/2" = 1'-0"



3 PLAN DETAIL
1 1/2" = 1'-0"



4 PLAN DETAIL
1 1/2" = 1'-0"

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LEGEND

- NEW WALL
- NEW DOOR
- NEW GLASS BLOCK OPENING
- FLOOR DRAIN, REF. PLUMBING

KEYNOTES

- 1 ROLL-UP WINDOW RE. WINDOW SCHEDULE
- 2 2" PVC CONDUIT FOR DATA CABLE. LOCATE TO AVOID CONCRETE FOUNDATION REINFORCING.
- 3 MOP SINK, REF. PLUMBING
- 4 NOT USED
- 5 POLISHED CONCRETE FLOOR, REF. ARCH. SPECS
- 6 PLUMBING FIXTURE, REF. PLUMBING



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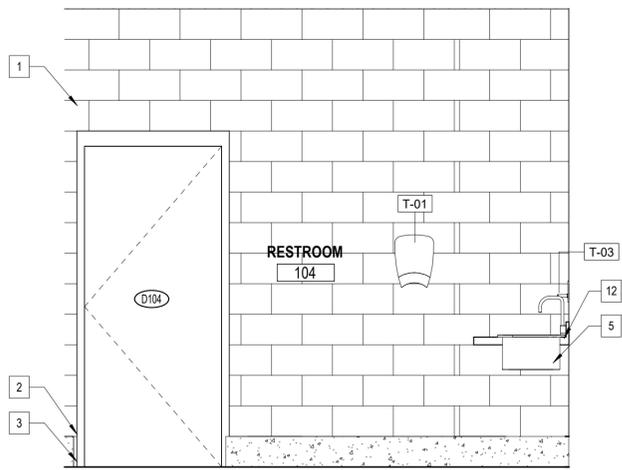
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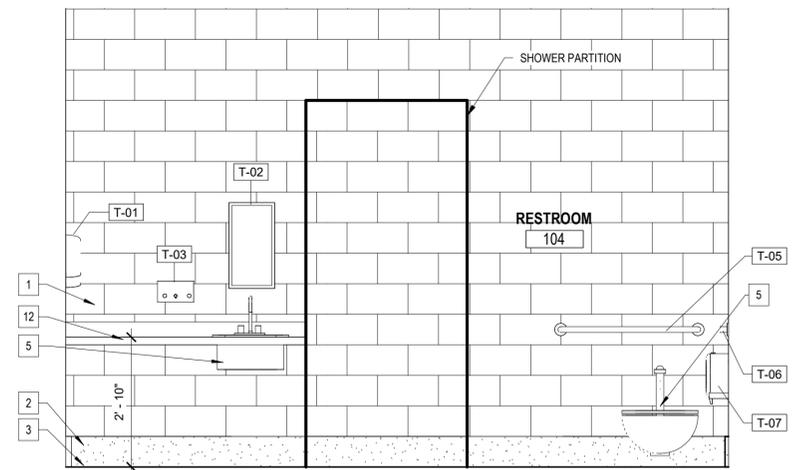
**PLAN
DETAILS**

SHEET NUMBER

A430



1 INTERIOR ELEVATION
1/2" = 1'-0"



2 INTERIOR ELEVATION
1/2" = 1'-0"

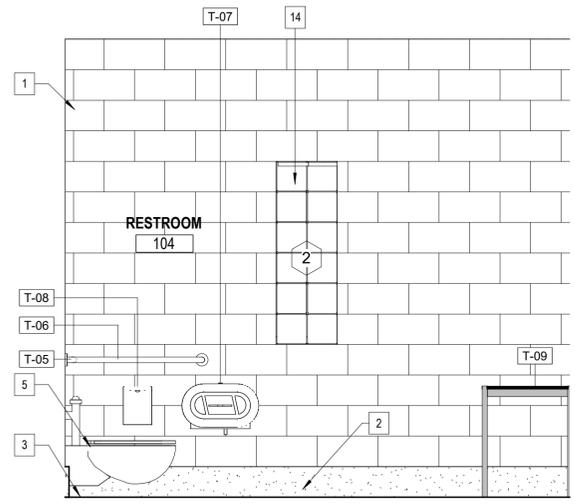
TOILET ACCESORIES SCHEDULE			
TAG	MODEL	MANUFACTURER	Description
T-01	B-7188	BOBRICK	WALL MOUNTED HAND DRYER
T-02	1812 HC	ACORN	FRAMED MIRROR
T-03	B-306	BOBRICK	SOAP DISPENSER
T-04	KB300	KOALA KARE	BABY CHANGING STATION
T-05	B-6806.99 X 36	BOBRICK	36" GRAB BAR
T-06	B-6806.99 x 42	BOBRICK	42" GRAB BAR
T-07	B-265	BOBRICK	TOILET TISSUE DISPENSER
T-08	B-270	BOBRICK	SANITARY NAPKIN DISPOSAL
T-09	KB3000	HAUSMANN	ADULT CHANGING TABLE
T-10	B-6861	BOBRICK	TWO-WALL SHOWER STALL GRAB BAR
T-11	B-5181	BOBRICK	REVERSIBLE FOLDING SHOWER SEAT
T-12	77772-ADAB	SALSBURY INDUSTRIES	ADA Bench

GENERAL NOTES

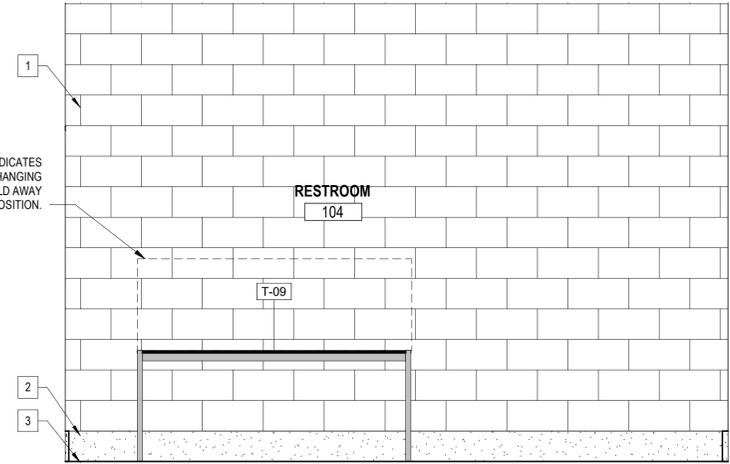
1. REFERENCE SHEET G001 FOR SYMBOL LEGEND.
2. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES AND DIMENSIONS OF ALL BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
3. REFER TO SHEETS A101 FOR FLOOR PLANS.
4. REFER TO SHEET A104 FOR FINISH PLANS & A105 FOR FINISH SCHEDULE.
5. COORDINATE WITH ELECTRICAL FOR OUTLETS, DATA, JUNCTION BOXES AND ACCESS PANELS REQUIRED. OUTLETS ARE SHOWN FOR COORDINATION PURPOSES ONLY.

KEYNOTES

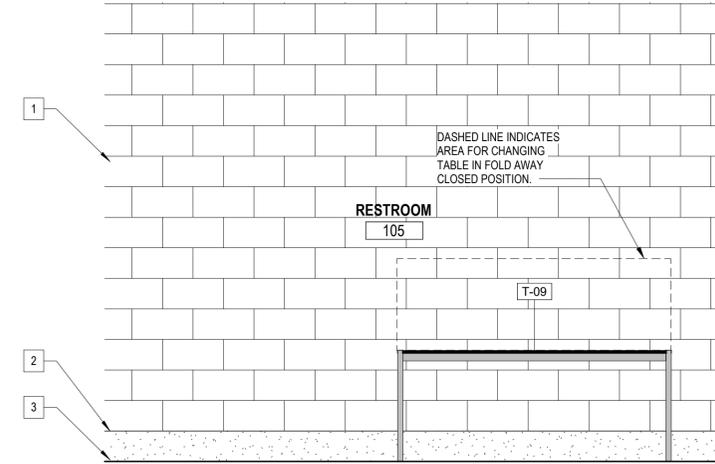
- 1 BURNISHED CMU BLOCK
- 2 CONCRETE CURB
- 3 FINISH FLOOR
- 4 STAINLESS STEEL TOILET PARTITIONS
- 5 PLUMBING FIXTURE, REF. PLUMBING
- 6 ADA LOCKER BENCH
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- 8 2 TIER METAL LOCKERS W/ 6" HIGH LEGS
- 9 OVER HEAD COILING WINDOW
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- 11 S.S. METAL SHELVING UNIT
- 12 S.S. COUNTERTOP
- 13 WALL LOUVER, REF. MEP
- 14 SOLID GLASS BLOCK
- 15 BREEZE BLOCK



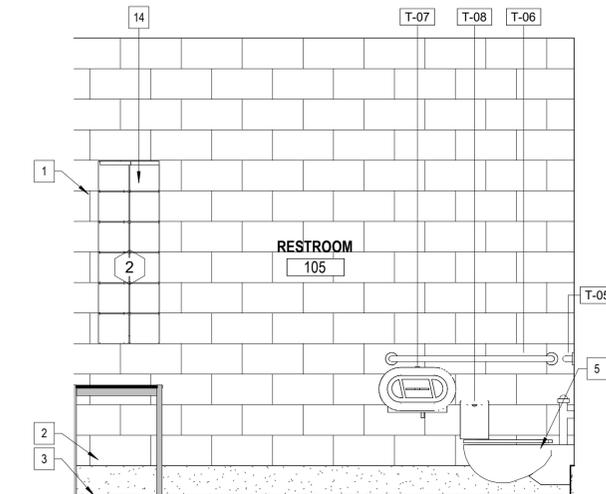
3 INTERIOR ELEVATION
1/2" = 1'-0"



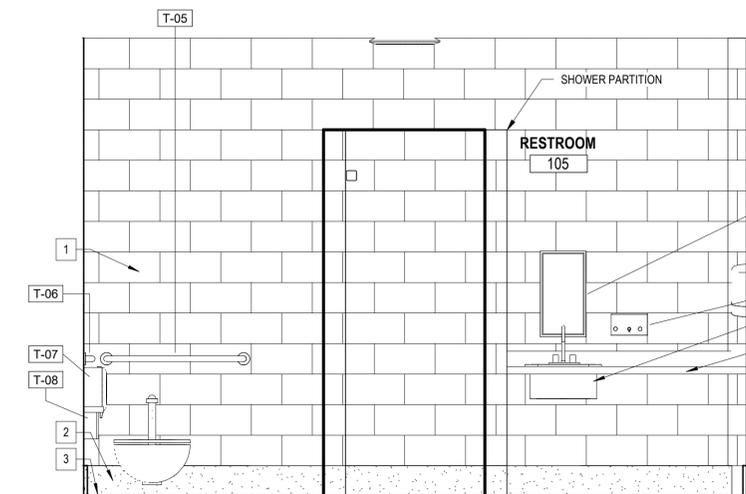
4 INTERIOR ELEVATION
1/2" = 1'-0"



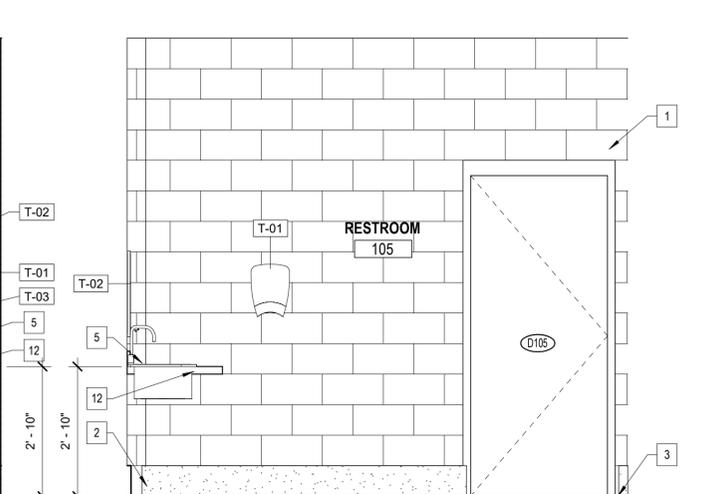
5 INTERIOR ELEVATION
1/2" = 1'-0"



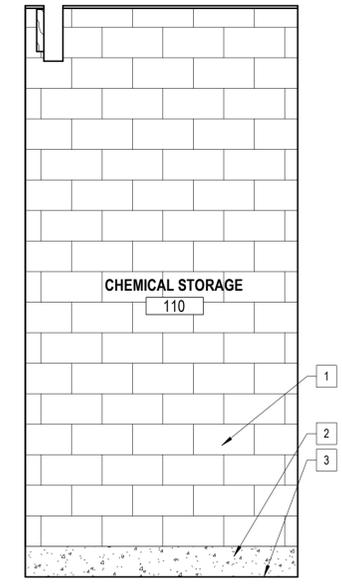
6 INTERIOR ELEVATION
1/2" = 1'-0"



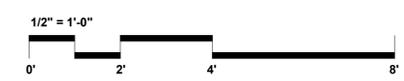
7 INTERIOR ELEVATION
1/2" = 1'-0"



8 INTERIOR ELEVATION
1/2" = 1'-0"



9 INTERIOR ELEVATION
1/2" = 1'-0"



District 3
Aquatics Facility
San Antonio, TX

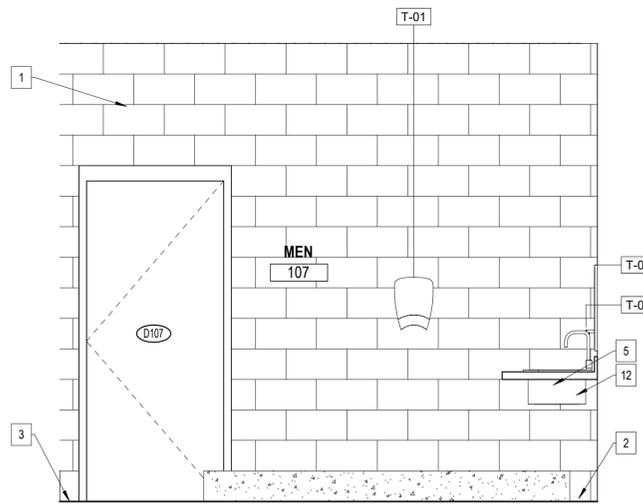
ISSUE DATE	10/23/2025
REVISION	00/00/0000

PROJECT NUMBER 23010
DRAWN BY
CHECKED BY
SCALE
SHEET TITLE

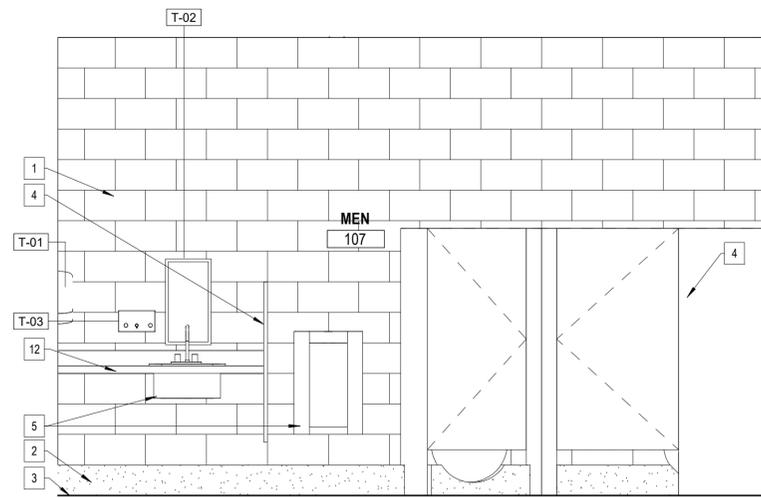
INTERIOR ELEVATIONS

SHEET NUMBER

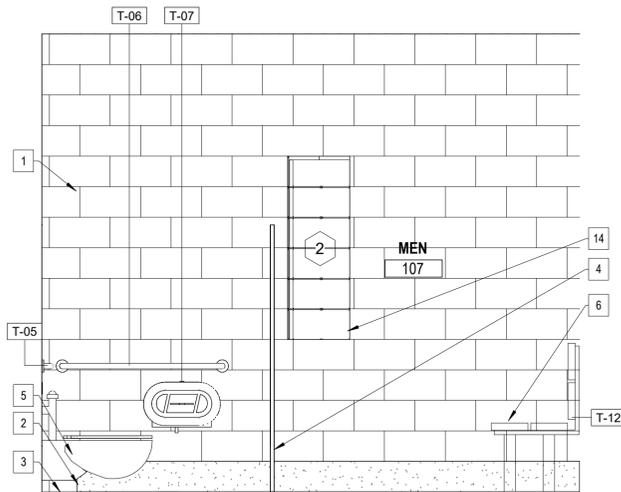
A450



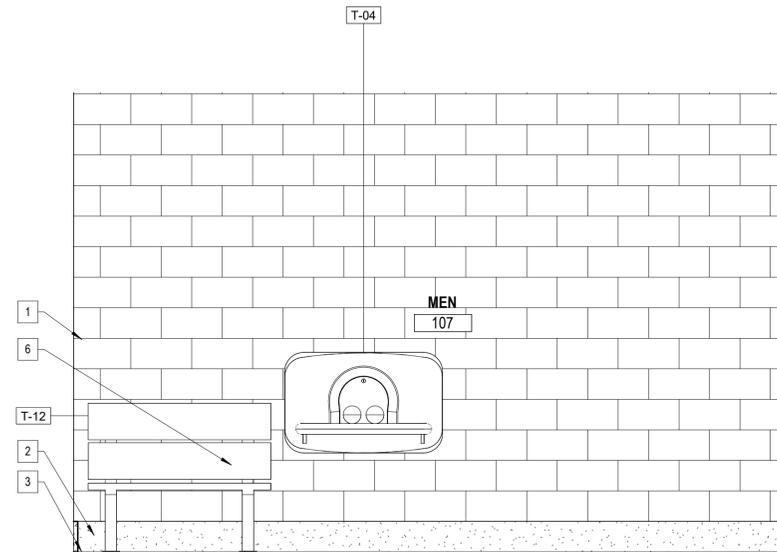
1 INTERIOR ELEVATION
1/2" = 1'-0"



2 INTERIOR ELEVATION
1/2" = 1'-0"



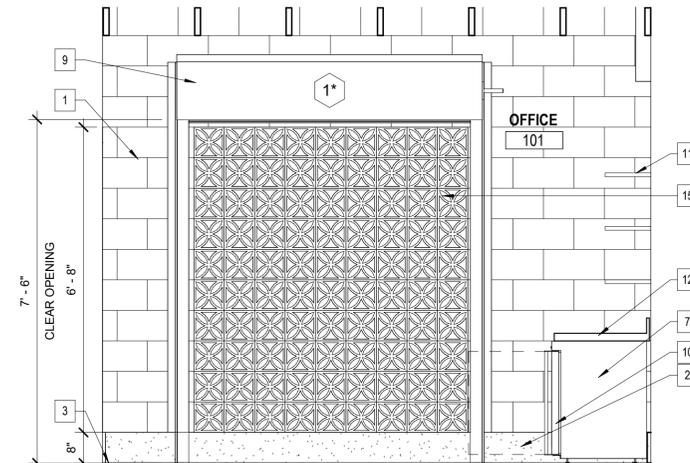
3 INTERIOR ELEVATION
1/2" = 1'-0"



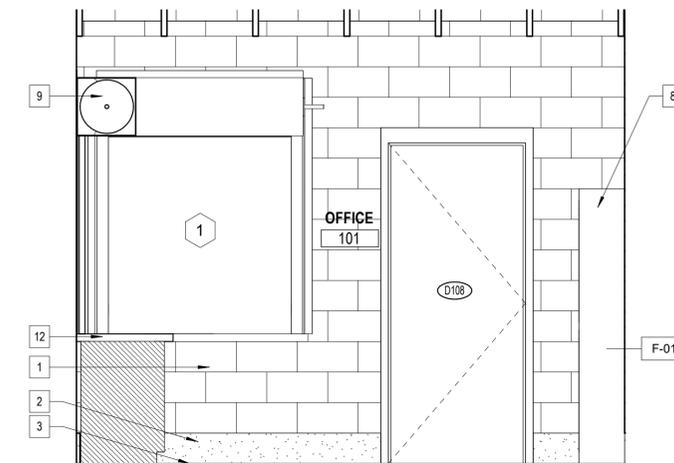
4 INTERIOR ELEVATION
1/2" = 1'-0"

TOILET ACCESORIES SCHEDULE			
TAG	MODEL	MANUFACTURER	Description
T-01	B-7188	BOBRICK	WALL MOUNTED HAND DRYER
T-02	1812 HC	ACORN	FRAMED MIRROR
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T-04	KB300	KOALA KARE	BABY CHANGING STATION
T-05	B-6806.99 X 36	BOBRICK	36" GRAB BAR
T-06	B-6806.99 X 42	BOBRICK	42" GRAB BAR
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T-08	B-270	BOBRICK	SANITARY NAPKIN DISPOSAL
T-09	KB3000	HAUSMANN	ADULT CHANGING TABLE
T-10	B-6861	BOBRICK	TWO-WALL SHOWER STALL GRAB BAR
T-11	B-5181	BOBRICK	REVERSIBLE FOLDING SHOWER SEAT
T-12	77772-ADAB	SALSBURY INDUSTRIES	ADA Bench

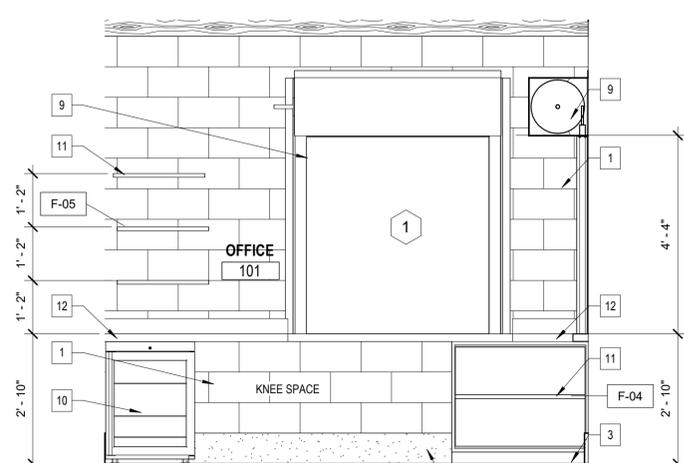
FURNITURE AND MISC. SCHEDULE			
TAG	MODEL	MANUFACTURER	DESCRIPTION
F-01	X	X	LOCKER - DOUBLE STACKED - 6" LEGS
F-02	X	X	OFFICE TABLE
F-03	X	X	OFFICE CHAIR
F-04	X	X	STAINLESS STEEL CABINET
F-05	X	X	STAINLESS STEEL SHELF
F-06	X	X	XX
F-07	X	X	XX
F-08	X	X	XX
F-09	X	X	XX



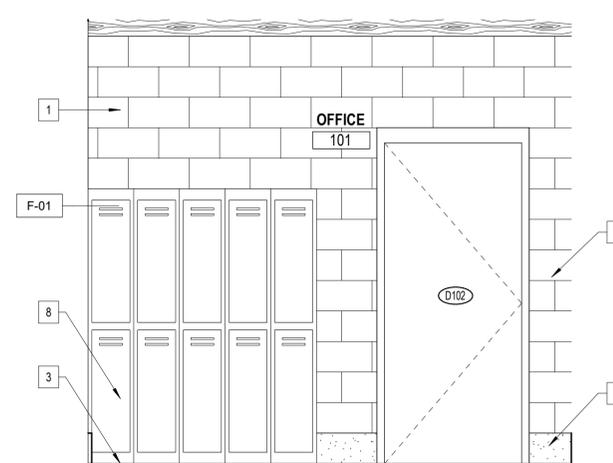
5 INTERIOR ELEVATION
1/2" = 1'-0"



6 INTERIOR ELEVATION
1/2" = 1'-0"



9 INTERIOR ELEVATION
1/2" = 1'-0"



10 INTERIOR ELEVATION
1/2" = 1'-0"

GENERAL NOTES

1. REFERENCE SHEET G001 FOR SYMBOL LEGEND.
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3. REFER TO SHEETS A101 FOR FLOOR PLANS.
4. REFER TO SHEET A104 FOR FINISH PLANS & A105 FOR FINISH SCHEDULE.
5. COORDINATE WITH ELECTRICAL FOR OUTLETS, DATA, JUNCTION BOXES AND ACCESS PANELS REQUIRED. OUTLETS ARE SHOWN FOR COORDINATION PURPOSES ONLY.

KEYNOTES

- 1 BURNISHED CMU BLOCK
- 2 CONCRETE CURB
- 3 FINISH FLOOR
- 4 STAINLESS STEEL TOILET PARTITIONS
- 5 PLUMBING FIXTURE, REF. PLUMBING
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San Antonio, TX

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PROJECT NUMBER 23010

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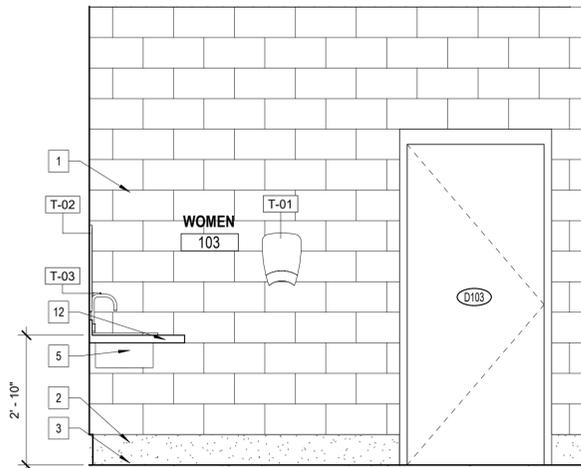
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SHEET TITLE

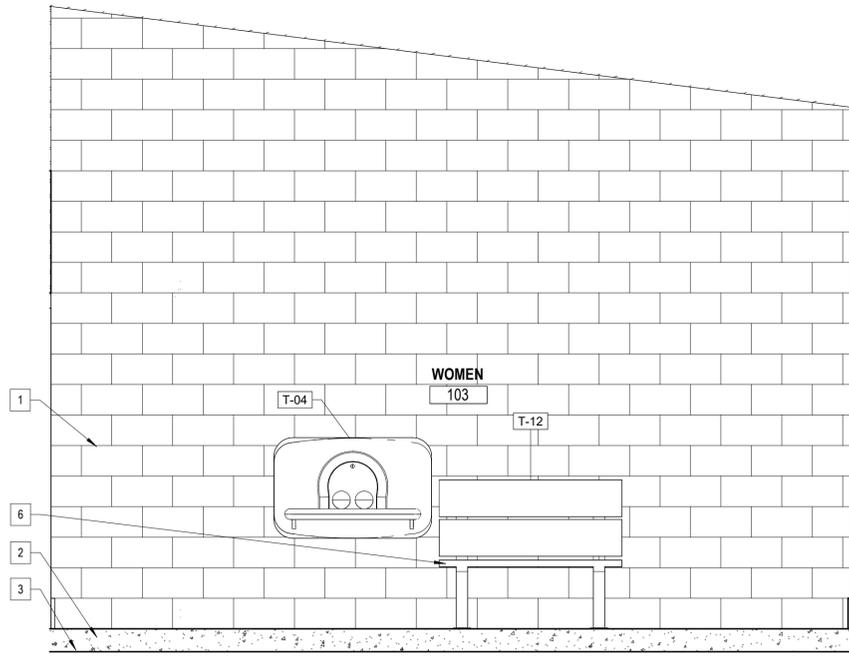
INTERIOR ELEVATIONS

SHEET NUMBER

A451



1 INTERIOR ELEVATION
1/2" = 1'-0"



2 INTERIOR ELEVATION
1/2" = 1'-0"

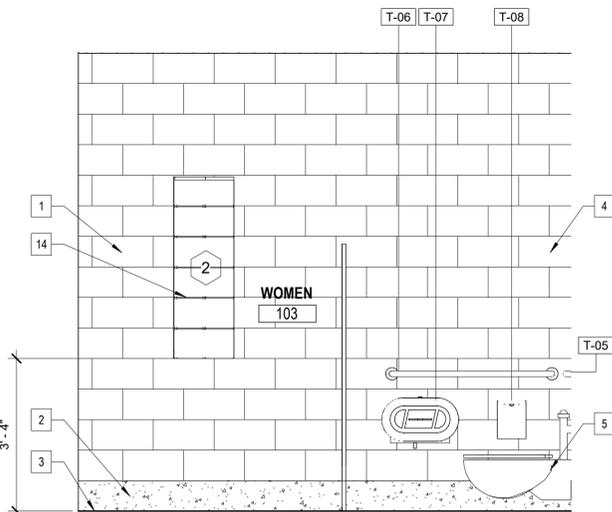
TOILET ACCESORIES SCHEDULE			
TAG	MODEL	MANUFACTURER	Description
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T-05	B-6806.99 X 36	BOBRICK	36" GRAB BAR
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T-11	B-5181	BOBRICK	REVERSIBLE FOLDING SHOWER SEAT
T-12	77772-ADAB	SALSBURY INDUSTRIES	ADA Bench

GENERAL NOTES

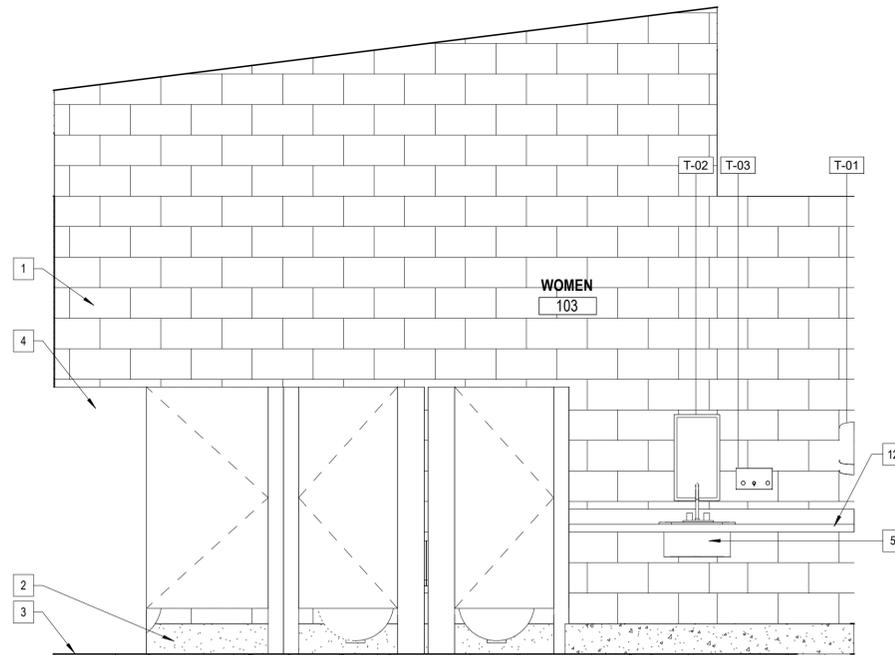
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- 12 S.S. COUNTERTOP
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- 14 SOLID GLASS BLOCK
- 15 BREEZE BLOCK



3 INTERIOR ELEVATION
1/2" = 1'-0"



4 INTERIOR ELEVATION
1/2" = 1'-0"



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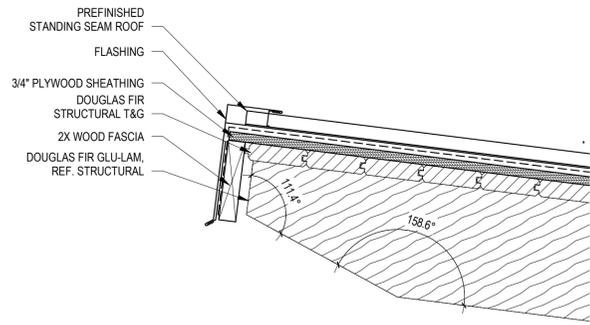
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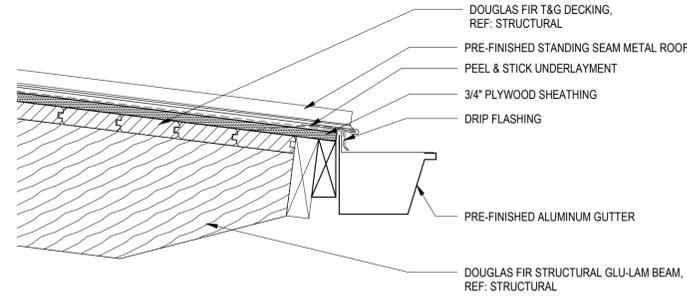
INTERIOR ELEVATIONS

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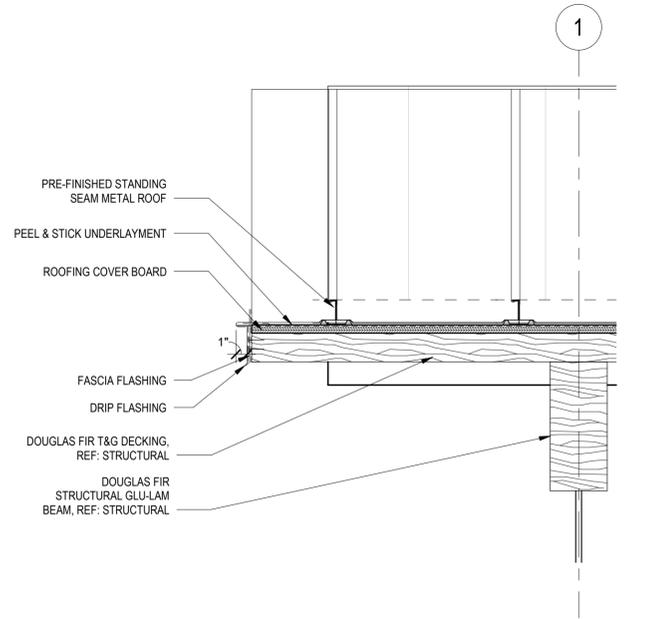
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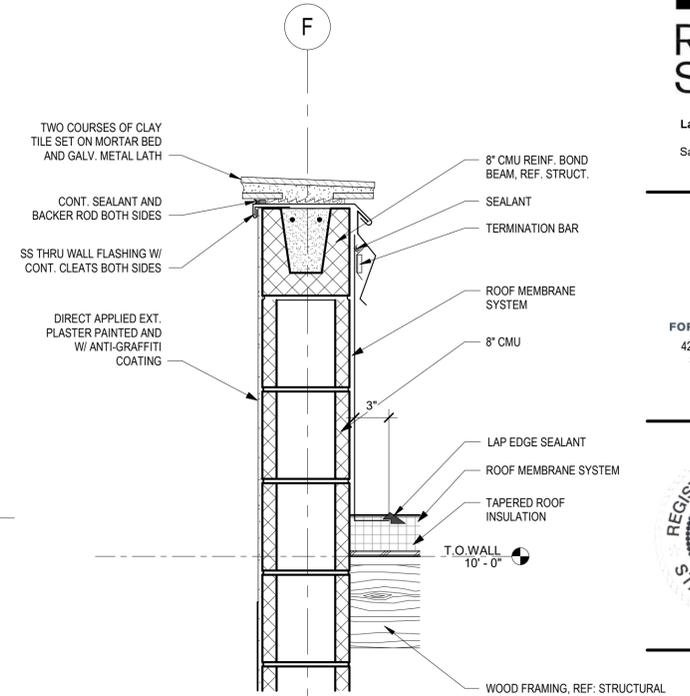
1 HIGH ROOF DETAIL
1 1/2" = 1'-0"



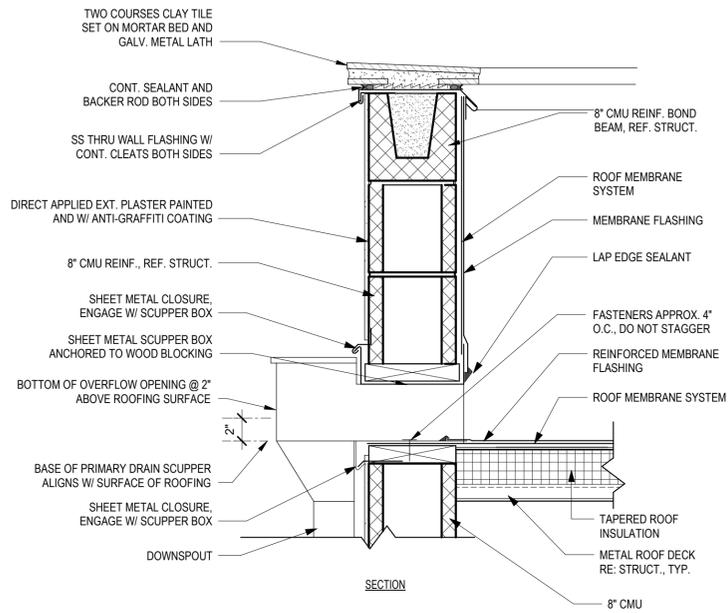
2 LOW ROOF EDGE W/ GUTTER
1 1/2" = 1'-0"



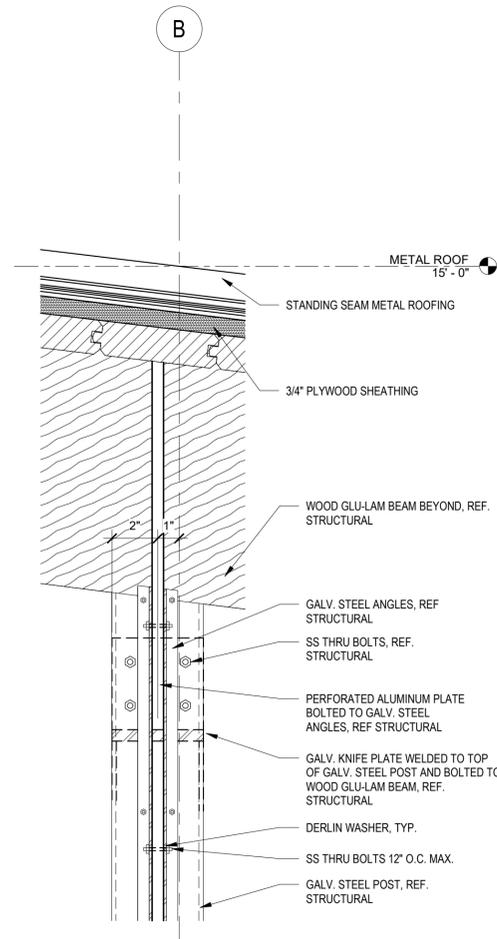
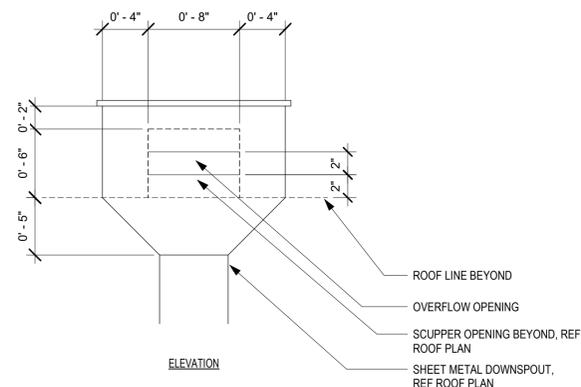
3 RAKE DETAIL
1 1/2" = 1'-0"



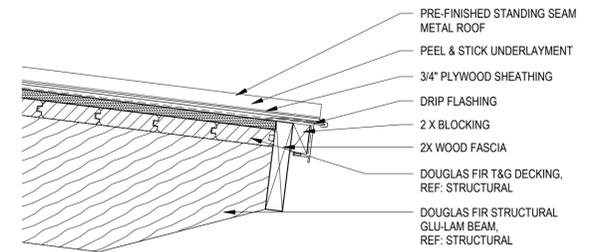
5 PARAPET SECTION DETAIL
1 1/2" = 1'-0"



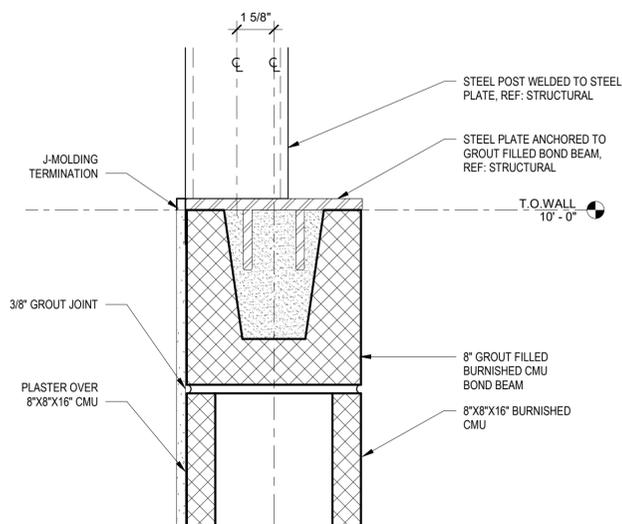
4 SCUPPER DETAIL
1 1/2" = 1'-0"



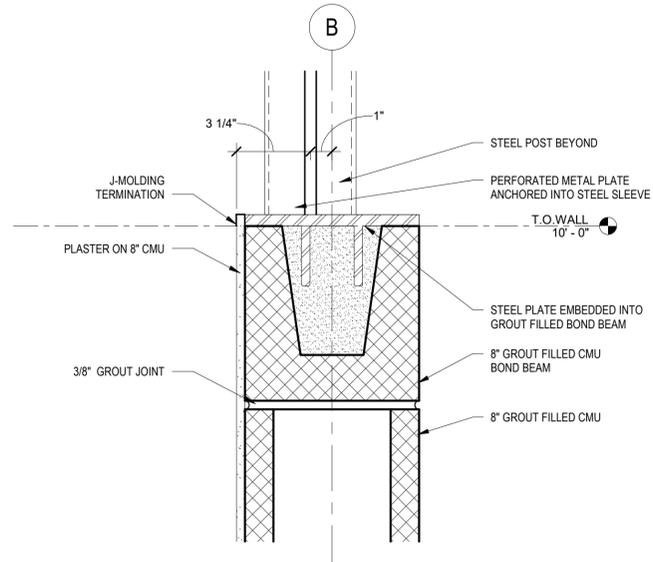
8 PERFORATED PANEL SECTION DETAIL
3" = 1'-0"



9 ROOF EDGE W/O GUTTER
1 1/2" = 1'-0"



6 BOND BEAM @ STEEL POST CONNECTION
3" = 1'-0"



7 BOND BEAM @ PERFORATED PANEL
3" = 1'-0"



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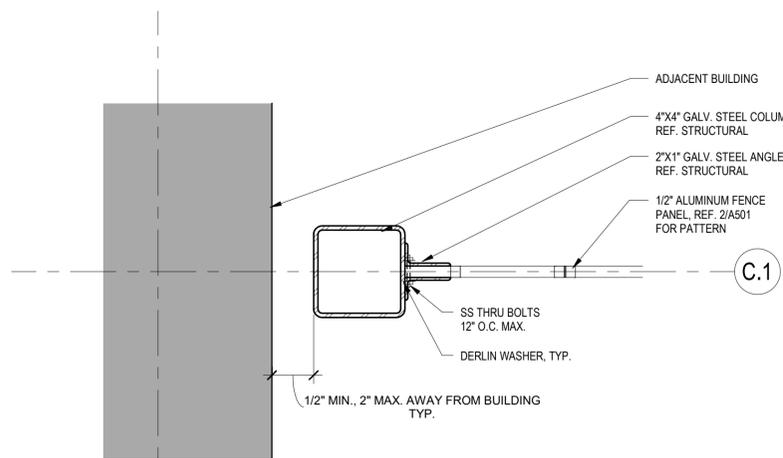
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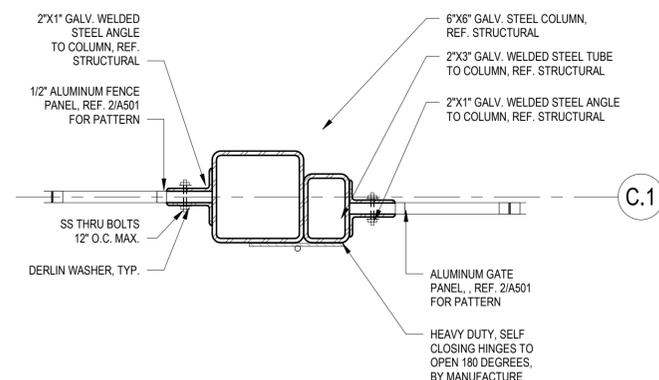
DETAILS

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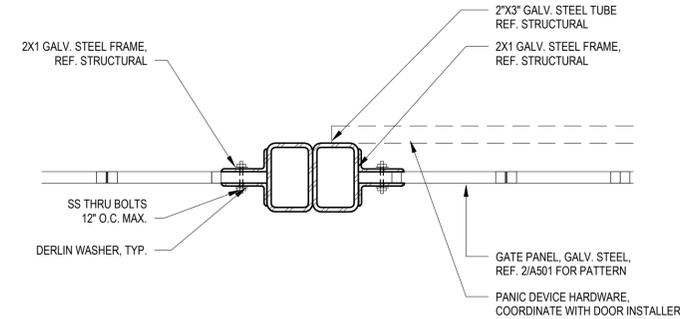
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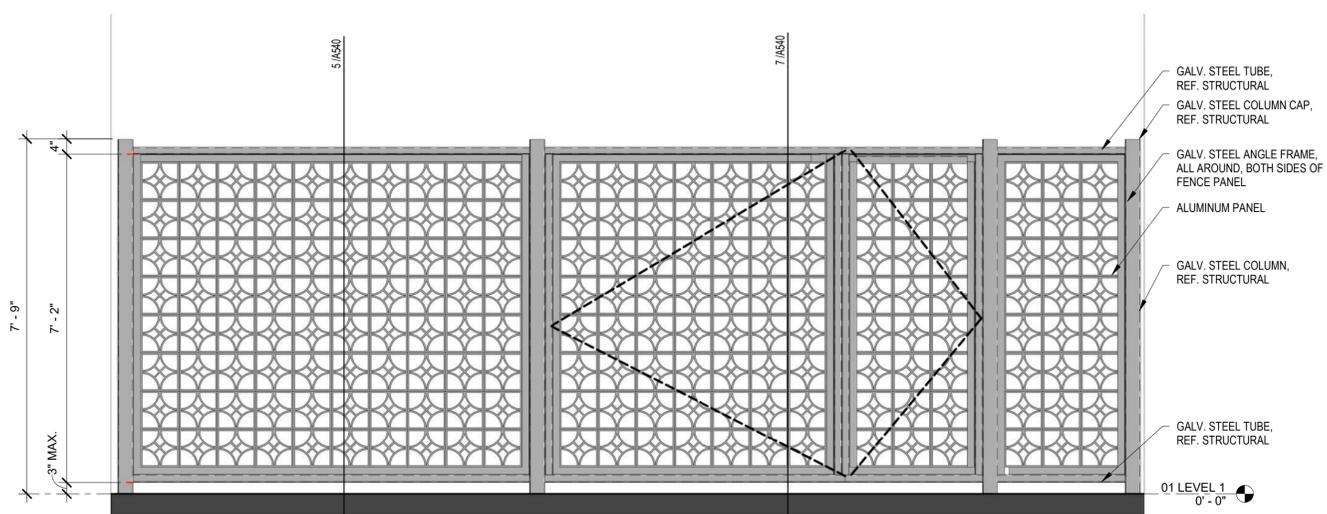
2 PLAN DETAIL - ADD ALTERNATE #5
3" = 1'-0"



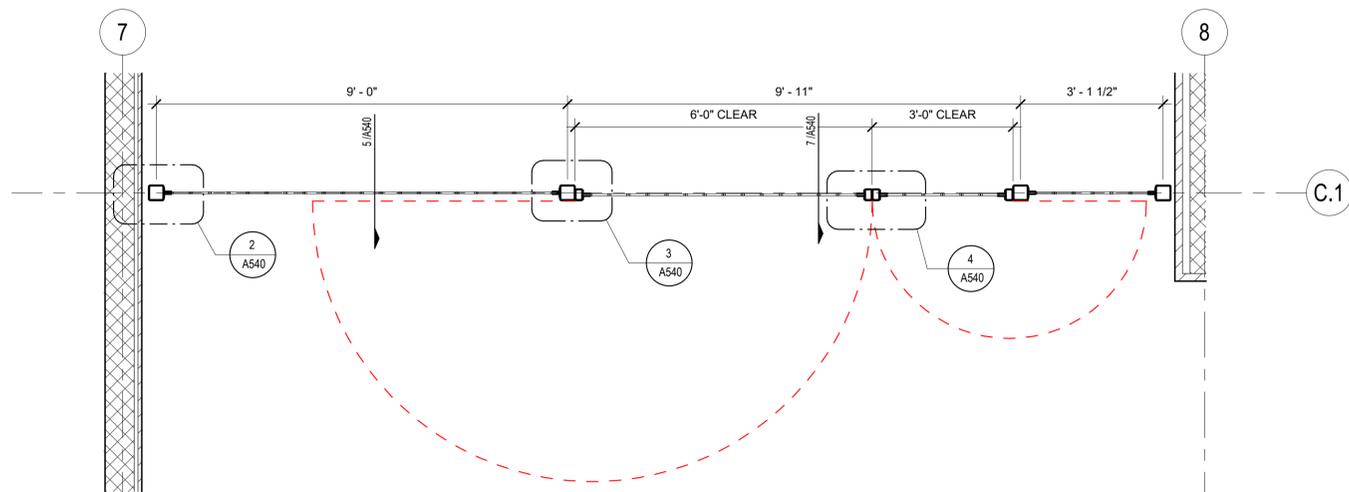
3 PLAN DETAIL - ADD ALTERNATE #5
3" = 1'-0"



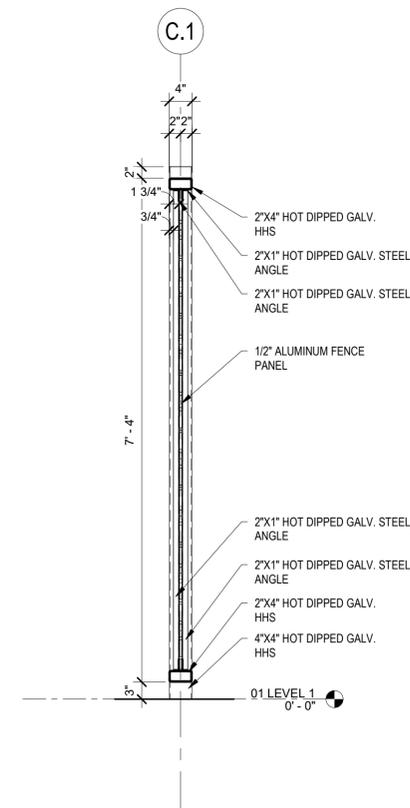
4 PLAN DETAIL - ADD ALTERNATE #5
3" = 1'-0"



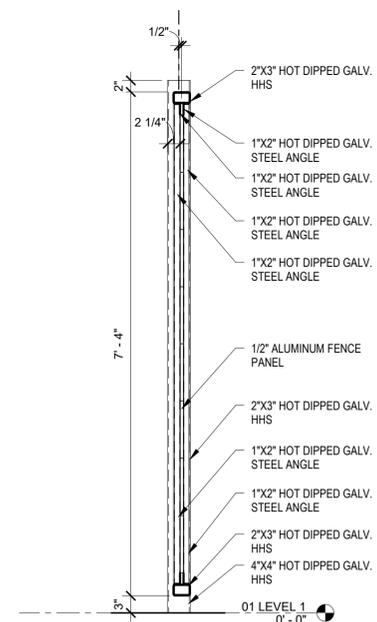
6 GATE/FENCE ELEVATION - ADD ALTERNATE #5
1/2" = 1'-0"



1 GATE/FENCE ENLARGED PLAN - ADD ALTERNATE #5
1/2" = 1'-0"



5 FENCE SECTION
3/4" = 1'-0"



7 GATE SECTION
3/4" = 1'-0"

- NOTES:**
1. FINAL DIMENSIONS AND DETAILS OF FENCING PANELS TO BE COORDINATED WITH SHOP DRAWINGS CREATED BY SUB-CONTRACTOR / FABRICATOR
 2. GATE FRAME ASSEMBLY, FULLY WELDED, THEN HOT DIPPED GALVANIZED.



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INTERIM REVIEW DOCUMENTS

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RIALTO STUDIO, INC.

District 3
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San Antonio, TX

ISSUE DATE 10/23/2025

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DRAWN BY

CHECKED BY

SCALE

SHEET TITLE

FENCE/GATE DETAILS
ADD ALT.#5

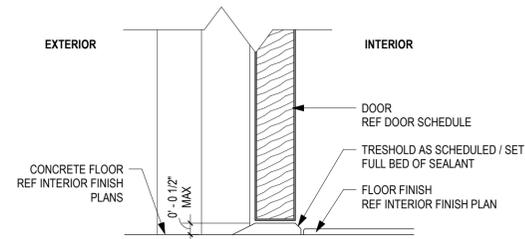
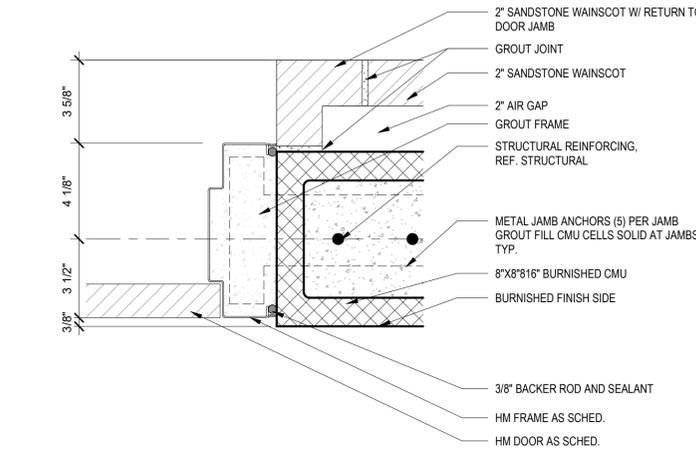
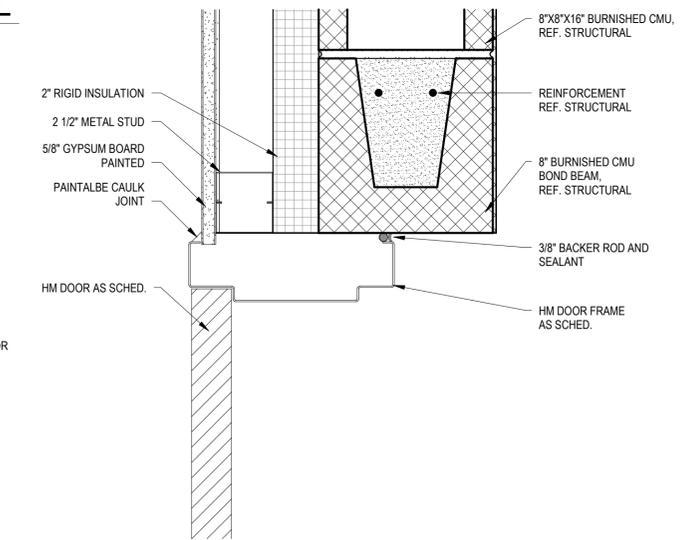
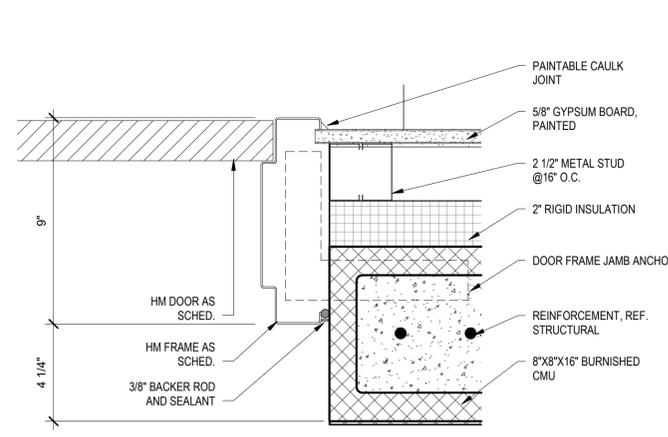
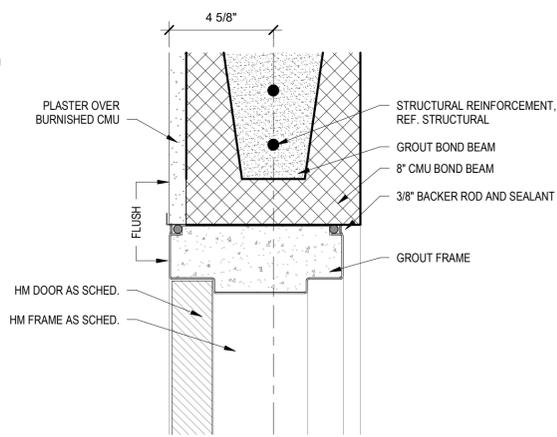
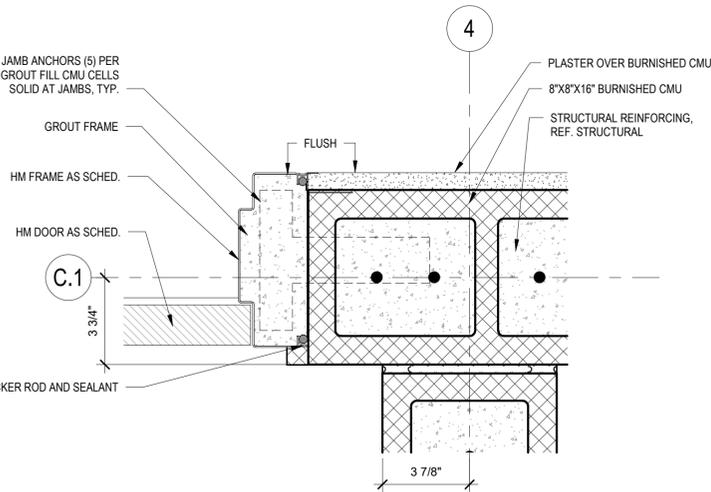
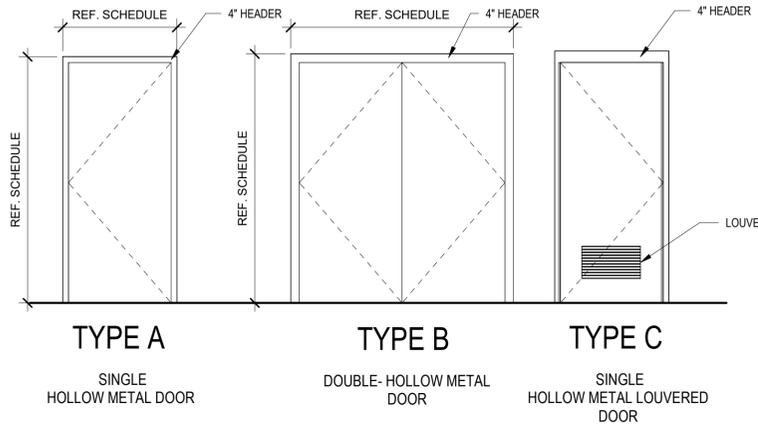
SHEET NUMBER

A540

FPC DOOR SCHEDULE

DOOR NO.	TYPE	DOOR			PANEL MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HEAD	JAMB	SILL	HARDWARE	FIRE RATING	REMARKS
		HEIGHT	WIDTH	THICKNESS										
D102	A	7'-0"	3'-0"	0'-1 3/4"	HM	PAINT	HM	PAINT	6/A601	5/A601	2/A601	REF. SPECS		
D103	A	7'-0"	3'-0"	0'-1 3/4"	HM	PAINT	HM	PAINT	4/A601	1/A601 & 3/A601	2/A601	REF. SPECS		
D103.1	A	7'-0"	3'-0"	0'-1 3/4"	HM	PAINT	HM	PAINT	4/A601	1/A601 & 3/A601	2/A601	REF. SPECS		
D104	A	7'-0"	3'-0"	0'-1 3/4"	HM	PAINT	HM	PAINT	4/A601	1/A601 & 3/A601	2/A601	REF. SPECS		
D105	A	7'-0"	3'-0"	0'-1 3/4"	HM	PAINT	HM	PAINT	4/A601	1/A601 & 3/A601	2/A601	REF. SPECS		
D106	A	7'-0"	3'-0"	0'-1 3/4"	HM	PAINT	HM	PAINT	4/A601	1/A601 & 3/A601	2/A601	REF. SPECS		
D107	A	7'-0"	3'-0"	0'-1 3/4"	HM	PAINT	HM	PAINT	4/A601	1/A601 & 3/A601	2/A601	REF. SPECS		
D108	A	7'-0"	3'-0"	0'-1 3/4"	HM	PAINT	HM	PAINT	4/A601	1/A601 & 3/A601	2/A601	REF. SPECS		
D109	B	7'-0"	6'-0"	0'-1 3/4"	HM	PAINT	HM	PAINT	4/A601	1/A601 & 3/A601	2/A601	REF. SPECS		
D110	C	7'-0"	3'-0"	0'-1 3/4"	FIBERGLASS	PAINT	FIBERGLASS	PAINT	4/A601	1/A601 & 3/A601	2/A601	REF. SPECS		ALL COMPONENTS OF THIS OPENING TO BE CORROSION RESISTANT

DOOR TYPES



GENERAL NOTES

1. DIMENSIONS SHOWN HERE AND/OR IN DOOR SCHEDULE ARE NOMINAL FOR OPENINGS. CONTRACTOR TO TAKE INTO ACCOUNT UNDERCUTS, FRAME CLEARANCES, ETC.
2. REFER TO FLOOR PLAN, PARTITION PLAN, AND FINISH PLANS FOR DOOR LOCATIONS AND OTHER INFORMATION APPLICABLE TO THIS DRAWING.
3. PROVIDE TEMPERED (SAFETY) GLAZING IN DOORS AND STOREFRONTS PER IBC 2406 REQUIREMENTS.
4. ADJUST DOOR AND GATE CLOSERS SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
5. THE FORCE FOR PUSHING OR PULLING OPEN AND INTERIOR HINGED DOOR, GATE, SLIDING OR FOLDING DOOR IS 5 POUNDS 922.2N).
6. KEY LOCKS INTO THE BUILDINGS MASTER KEY SYSTEM. COORDINATE BUILDINGS REQUIREMENTS WITH BUILDING MANAGEMENT.
7. SEAL TOP AND BOTTOM EDGE OF ALL NEW DOORS. PLASTIC LAMINATE DOORS ARE TO HAVE PLASTIC LAMINATE CLAD VERTICAL EDGES, SAME FINISH AS FACE. PAINTED DOORS TO HAVE VERTICAL EDGES PAINTED, SAME AS FACE. WOOD VENEER DOORS TO HAVE VERTICAL EDGES FINISHED TO MATCH FACE.
8. PROVIDE UL FIRE RATED HARDWARE FOR RATED OPENINGS.
9. MOUNT SURFACE-MOUNTED CLOSERS ON THE LEAST PUBLIC FACE OF DOOR. COORDINATE WITH PLAN FOR DOOR HAND CONFIGURATION.
10. MOUNT COAT HOOKS IN PRIVATE OFFICES 54 INCHES AFF. IN LOCATIONS OTHER THAN PRIVATE OFFICES AT 48 INCHES AFF, UNLESS NOTED OTHERWISE.
11. COORDINATE DOOR HARDWARE WITH REQUIRED INFRASTRUCTURE FOR ELECTRIC ACCESS & SECURITY. PROVIDE ACCESS CONTROLLED HARDWARE INCLUDING BUT NOT LIMITED TO CARD READERS, POSITION SENSORS, ELECTROMAGNETIC LOCKS, ELECTRIC MORTISE LOCKSETS, ELECTRIC STRIKES AND TRANSFER HINGES.
12. WHEN PROVIDED, REFER TO SPECIFICATIONS, SECTION 08 71 00 FOR HARDWARE DESIGNATIONS AND DESCRIPTIONS.
13. SUBMIT A HARDWARE SCHEDULE PREPARED BY A LICENSED HARDWARE SPECIFIER.

GENERAL NOTES

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2. REFER TO FLOOR PLAN, PARTITION PLAN, AND FINISH PLANS FOR WINDOW LOCATIONS AND OTHER INFORMATION APPLICABLE TO THIS DRAWING.
3. PROVIDE TEMPERED (SAFETY) GLAZING AT WINDOWS AND STOREFRONTS PER IBC 2406 REQUIREMENTS.
4. PROVIDE UL FIRE RATED FRAME AND GLAZING AT RATED OPENINGS.



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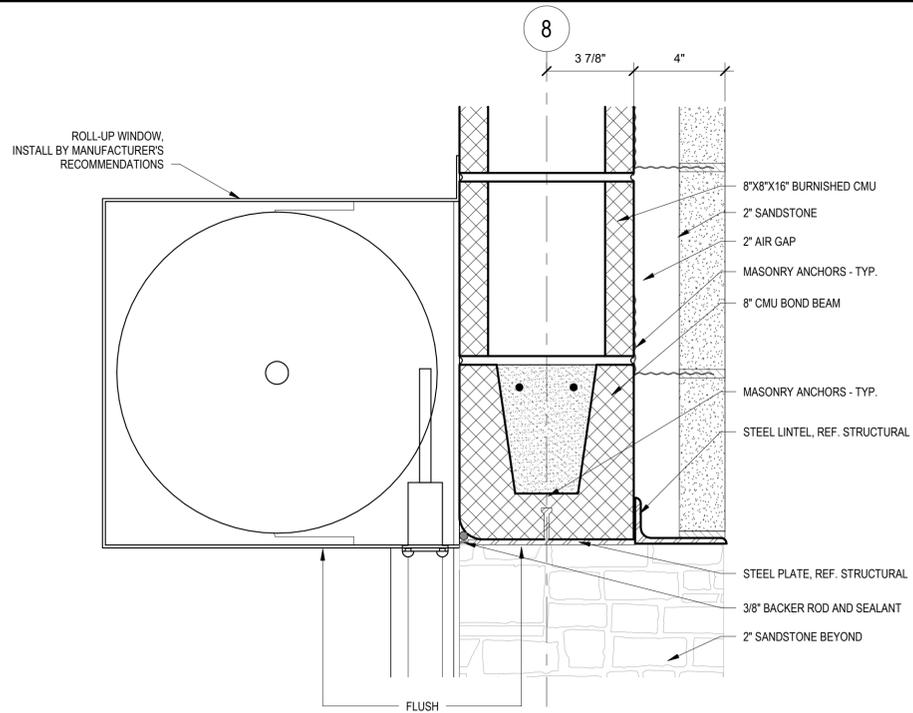


District 3
Aquatics Facility
San Antonio, TX

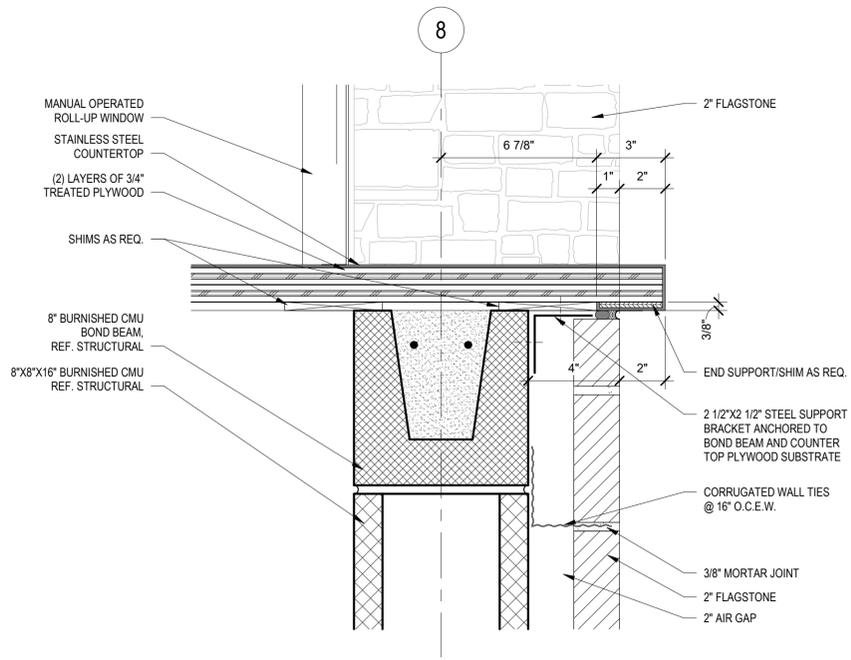
ISSUE DATE	10/23/2025
REVISION	00/00/0000
PROJECT NUMBER	23010
DRAWN BY	
CHECKED BY	
SCALE	
SHEET TITLE	

DOOR SCHEDULE

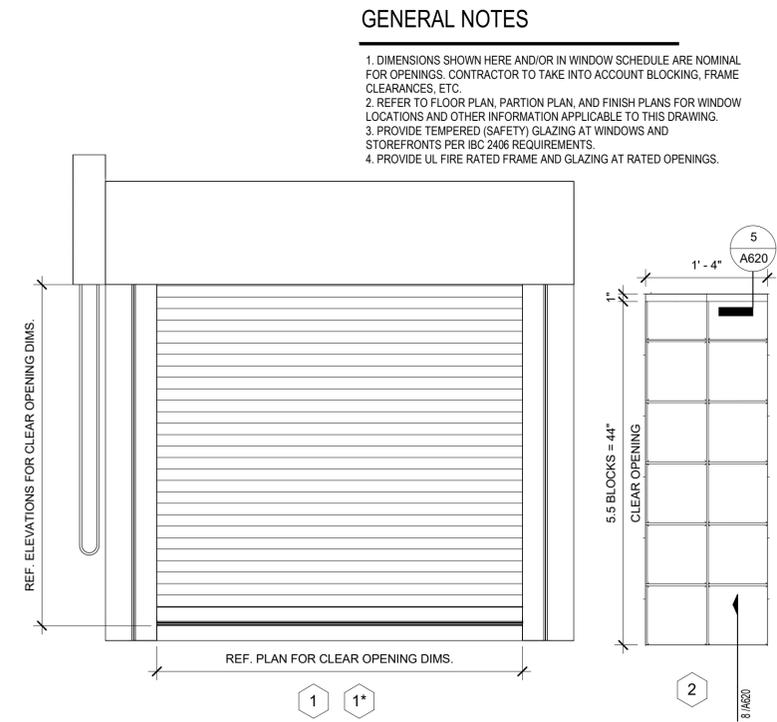
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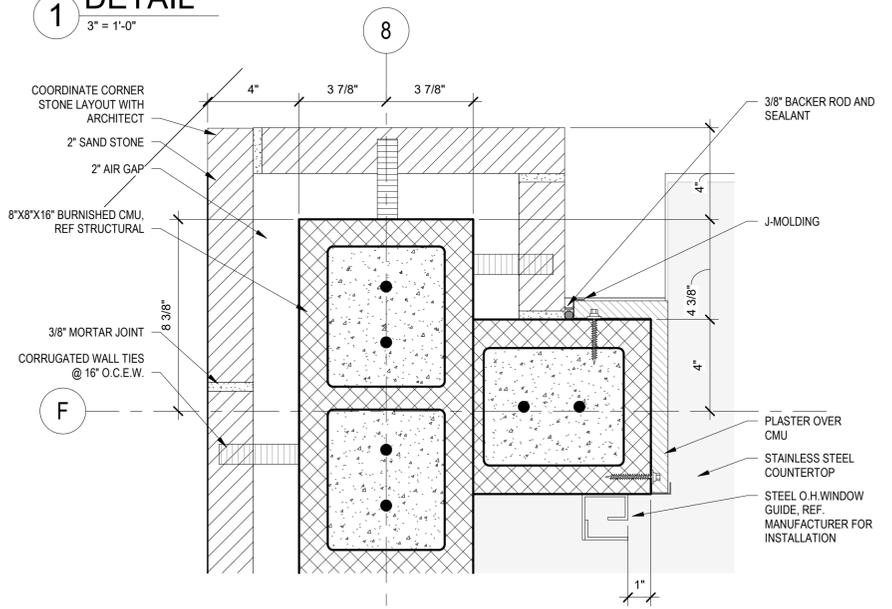
1 DETAIL
3" = 1'-0"



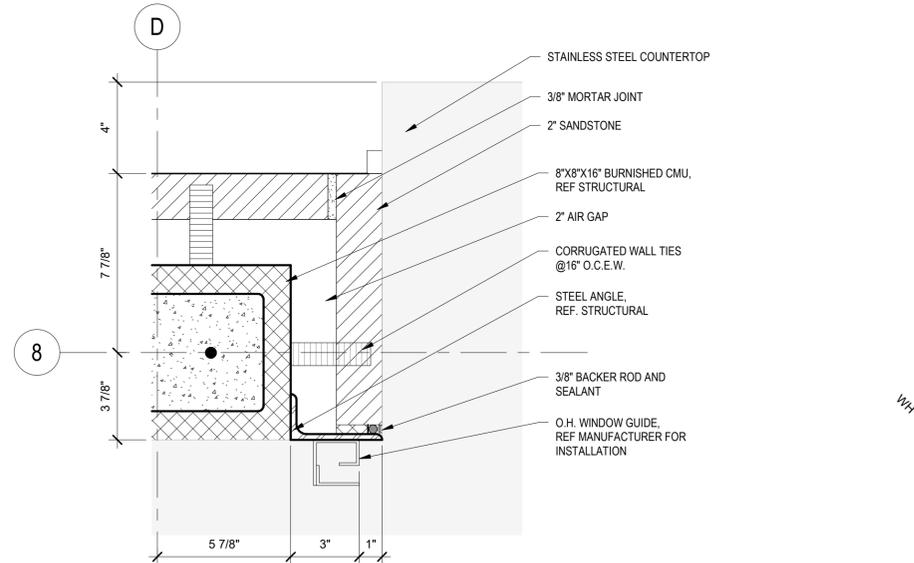
2 DETAIL
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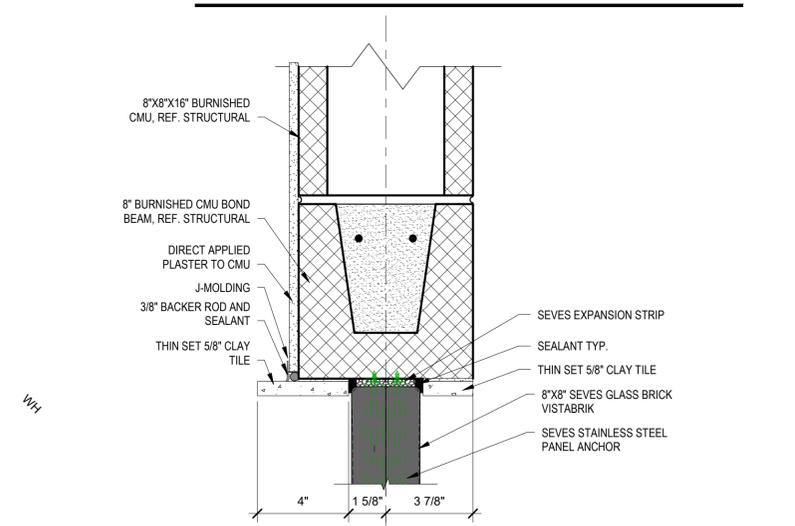
WINDOW LEGEND



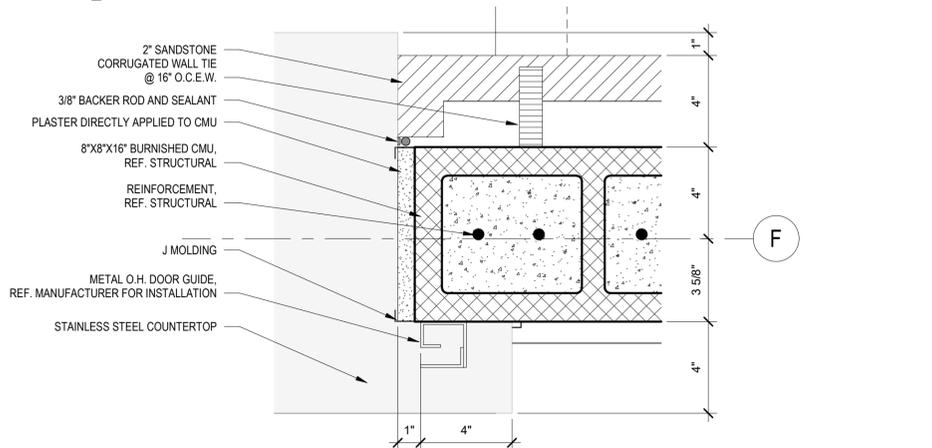
3 DETAIL
3" = 1'-0"



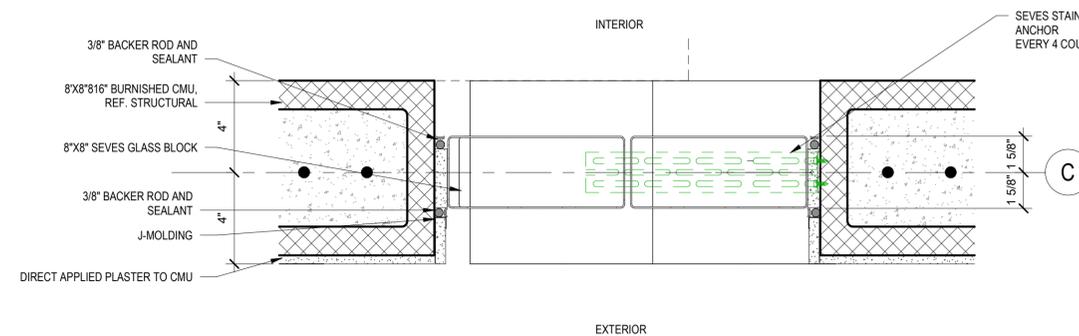
4 DETAIL
3" = 1'-0"



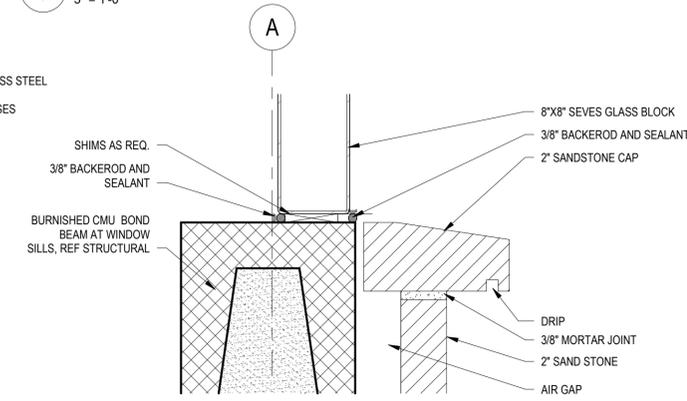
5 GLASS BRICK HEAD DETAIL
3" = 1'-0"



6 DETAIL
3" = 1'-0"



7 DETAIL
3" = 1'-0"



8 DETAIL
3" = 1'-0"

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ISSUE DATE 10/23/2025

REVISION 00/00/0000

PROJECT NUMBER 23010

DRAWN BY

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SCALE

SHEET TITLE

WINDOW DETAILS

SHEET NUMBER

A620

