

# A NEW PROJECT/REMODEL FOR 507 E. HUISACHE SAN ANTONIO, TX. 78212

## ABBREVIATIONS

THIS IS A GENERAL LIST ALL ABBREVIATIONS DO NOT APPLY

<b>A</b>	AT AMPERS	<b>G</b>	GAS	<b>Q</b>	QUALITY ASSURANCE
A, AMP	ANCHOR BOLT	CA	CALVAZED	QA	QUARRY TILE
AB	ABOVE	CB	CRAB BAIT	<b>R</b>	
ABC	ABC CONDITIONING	CC	GENERAL CONTRACTOR	R	RADIUS
ACCU	ACCIDENTAL	CD	GRADE	RA	RETURN AIR
AD	ADJUSTABLE	CD, OYPB	CYDRUM DRYWALL	RC	REINFORCED CONCRETE PER
ADPN	ADMINISTRATIVE	CE	GENERAL	RD	ROOF DRAIN
AK	ACROSS	CE	GLASS	RE	REINFORCED REINFORCEMENT
AKC	ACROSS FINISHED CEILING	CND	GROUND	REF	REFER REFERENCE
AKF	ACROSS FINISHED FLOOR	CGST	GLAZED STRUCTURAL FACING TILE	REQ	REQUIRED
AGG	AGGREGATE	CV	GAS VALVE	RO	ROUGH OPENING
AHJ	AIR HANDLING UNIT	CYP	CYDRUM WALLBOARD	RO	ROUGH OPENING
ALUM	ALUMINUM	CYP	CYDRUM WALLBOARD	RO	ROUGH OPENING
ALT	ALTERNATE	<b>H</b>		RO	ROUGH OPENING
ANGLE	ANGLE	HO	HOLE	RO	ROUGH OPENING
ANCO	ANCHORED	HO	HOLE	RO	ROUGH OPENING
AP	ACCESS PANEL	HO	HOLE	RO	ROUGH OPENING
APC	ACCOUSTICAL PANEL CEILING	HO	HOLE	RO	ROUGH OPENING
APROX	APPROXIMATELY	HO	HOLE	RO	ROUGH OPENING
AR	ARCHITECTURAL	HO	HOLE	RO	ROUGH OPENING
AR, ARCH	ARCHITECTURAL	HO	HOLE	RO	ROUGH OPENING
ASBY	ASSEMBLY	HO	HOLE	RO	ROUGH OPENING
AUX	AUXILIARY	HO	HOLE	RO	ROUGH OPENING
AW	ARCHITECTURAL WOODWORK INSTITUTE	HO	HOLE	RO	ROUGH OPENING
AWP	ACCOUSTICAL WALL PANEL	HO	HOLE	RO	ROUGH OPENING
<b>B</b>		<b>I</b>		<b>S</b>	
BD	BOARD	IN	IN ACCORDANCE WITH	SB	SPASH BLOCK
BDDG	BUILDING	ID	INSULATED DIMENSION	SC	SOLID CORE
BK	BRICK	IG	INSULATING GLASS	SCF	SOLID CORE FISH VENEER
BLFC	BLOCKING	IN	INCH INCHES	SCHED	SCHEDULE
BM	BIM	INC	INCANDESCENT	SD	SMOKE DETECTOR
BOS	BOTTOM OF STEEL	INCL	INCLUDING	SEC	SECONDARY
B, BOIT	BOTTOM	INT	INTERIOR	SF	SQUARE FEET
BR	BRONZE	INT	INTERIOR	SFT	STRUCTURAL GLAZED FACING TILE
BTU	BRITISH THERMAL UNIT	<b>J</b>		SGL	SINGLE
BUR	BURGLAR PROOF	JAN	JANITOR	SLS	SHEET
<b>C</b>		JT	JOINT	SRL	SHOWER
CAB	CABINET	<b>L</b>		SRL	SHOWER
CAF	COLD-FORMED METAL FRAMING	LAM	LAMINATE	SRL	SHOWER
CH	CHAMFER	LAV	LAVATORY	SRL	SHOWER
CHBD	CHAMFER BOARD	LF	LINEAR FOOT	SRL	SHOWER
CI	CAST IRON	LF	LINEAR FOOT	SRL	SHOWER
CL	CONTROL UNIT	LF	LINEAR FOOT	SRL	SHOWER
CL, CL	CENTER LINE	LF	LINEAR FOOT	SRL	SHOWER
CLD	CLOSED	LF	LINEAR FOOT	SRL	SHOWER
CLD	CLEAR	LF	LINEAR FOOT	SRL	SHOWER
CMU	CONCRETE MASONRY UNIT	LF	LINEAR FOOT	SRL	SHOWER
CONC	CONCRETE	LF	LINEAR FOOT	SRL	SHOWER
CONNK	CONNECTION	LF	LINEAR FOOT	SRL	SHOWER
CONSTR	CONSTRUCTION	LF	LINEAR FOOT	SRL	SHOWER
CONT	CONTINUOUS	LF	LINEAR FOOT	SRL	SHOWER
COOR	CORNER	LF	LINEAR FOOT	SRL	SHOWER
CPS	COURSE	LF	LINEAR FOOT	SRL	SHOWER
CR	CERAMIC TILE	LF	LINEAR FOOT	SRL	SHOWER
CTR	CURTAIN TRACK	LF	LINEAR FOOT	SRL	SHOWER
CU	CUP	LF	LINEAR FOOT	SRL	SHOWER
CUST	CUSTOMER	LF	LINEAR FOOT	SRL	SHOWER
CWP	CEMENTitious WOOD FIBER PLANK	LF	LINEAR FOOT	SRL	SHOWER
<b>D</b>		<b>M</b>		<b>T</b>	
DBL	DOUBLE	MAS	MASONRY	T, TEL	TELEPHONE
DA, Ø	DIAMETER	MAINT	MAINTENANCE	TOP	TOP
DAG	DRAWING	MAK	MAKER BOARD	TB	TACKBOARD
DRT	DIRECTIONAL	MC	MEDICINE CABINET	TC	TEACHER CABINET
DSP	DRAIN	MECH	MISCELLANEOUS	TECH	TECHNICAL
DN	DOWN	MFR	MANUFACTURER	TEMP	TEMPERATURE
DP	DOWNPOUT	MH	MANHOLE	TND	TACKBOARD
DR	DOWNPOUT	MH	MANHOLE	TKS	TACK STRIP
DS	DOWNPOUT	MH	MANHOLE	TLS	TACK SURFACE
DTL	DRAWING	MH	MANHOLE	TP	TEMPERED
DWG	DRAWING	MH	MANHOLE	TP	TEMPERED
DWLS	DRAWING	MH	MANHOLE	TP	TEMPERED
DWR	DRAWING	MH	MANHOLE	TP	TEMPERED
<b>E</b>		<b>N</b>		<b>U</b>	
E, ELEC	ELECTRICAL	NA	NOT APPLICABLE	UBC	UNIFORM BUILDING CODE
EA	EACH	NEG	NEGATIVE	ULM	UNLESS OTHERWISE NOTED
EF	EXHAUST FLE	NG	NOT IN CONTRACT	ULS	UNIFORM SCREEN
EFB	EXHAUST FLE	NLS	NOT TO SCALE	UTL	UTILITY
EF, ELEV	ELEVATION	<b>O</b>		<b>V</b>	
EQ	EQUIPMENT	OC	ON CENTER	V, VERT	VERTICAL
EQP	EQUIPMENT	OD	OUTSIDE DIMENSION	VCT	VINTL COMPOSITION TILE
EW	EACH WAY	OF	OFFICE	VEND	VENDING
EWC	ELECTRIC WATER COOLER	OH	OVERHEAD	VEST	VESTIBULE
EXC	EXHAUST	OH	OVERHEAD	VTR	VENT THROUGH ROOF
EXH, EXC	EXHAUST	OH	OVERHEAD	VWC	VINYL WALL COVERING
EXP	EXPANSION	OH	OVERHEAD	<b>W</b>	
EXPD	EXPANSION	OH	OVERHEAD	W	WATTS
EXT	EXTERIOR	OH	OVERHEAD	W	WATTS
<b>F</b>		<b>P</b>		W	WATTS
FA	FAHRENHEIT	PA	PUBLIC ADDRESS	W	WATTS
FC	FLOOR COVERING	PAB	PUBLIC ADDRESS	W	WATTS
FD	FLOOR DRAIN	POP	PORTLAND CEMENT PLASTER	W	WATTS
FE	FIRE EXTINGUISHER	REN	REINFORCEMENT	W	WATTS
REC	REINFORCED CONCRETE	REN	REINFORCEMENT	W	WATTS
FF	FIRE FIGHTER	REN	REINFORCEMENT	W	WATTS
FGD	FRESH GRADE	REN	REINFORCEMENT	W	WATTS
FKC	FIRE HOSE CABINET	REN	REINFORCEMENT	W	WATTS
FNH	FRESH	REN	REINFORCEMENT	W	WATTS
FLSH	FLASHING	REN	REINFORCEMENT	W	WATTS
FLS	FLOOR	REN	REINFORCEMENT	W	WATTS
FOC	FACE OF CONCRETE	REN	REINFORCEMENT	W	WATTS
FOH	FACE OF MASONRY	REN	REINFORCEMENT	W	WATTS
FOLD PART	FOLDING PARTITION	REN	REINFORCEMENT	W	WATTS
FR	FIRE RESISTANT	REN	REINFORCEMENT	W	WATTS
FRWD	FRESH	REN	REINFORCEMENT	W	WATTS
FS	FLOOR SCRAPER	REN	REINFORCEMENT	W	WATTS
FT	FLOOR	REN	REINFORCEMENT	W	WATTS
Fy	YIELD STRESS	REN	REINFORCEMENT	W	WATTS
FUR	FURRING	REN	REINFORCEMENT	W	WATTS

## MATERIAL LEGEND

THIS IS A GENERAL LIST ALL MATERIALS DO NOT APPLY

	EARTH (UNDISTURBED)
	EARTH (COMPACTED)
	POROUS FILL (STONE OR GRAVEL, ETC.)
	ROCK
	STRUCTURAL CONCRETE
	BRICK (COMMON OR FACE)
	CONCRETE MASONRY UNITS (CMU)
	GLAZED STRUCTURAL FACING TILE (GSFT)
	CUT STONE
	METAL (LARGE SCALE)
	METAL (SMALL SCALE)
	RESILIENT FLOORING
	ACOUSTICAL CEILING TILE
	TERRAZZO
	PLASTER, SAND, CEMENT, GROUT
	GYPSUM DRYWALL
	CERAMIC TILE
	GLASS
	RIGID INSULATION
	BATT INSULATION
	ROUGH WOOD (CONTINUOUS)
	ROUGH WOOD (NON-CONTINUOUS)
	FINISH WOOD
	PLYWOOD

## LOCATION MAP



## GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES. PRIOR TO ANY TRENCHING.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND START OF AND DURING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE DESIGNER FOR CLARIFICATIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
- IN THE CASE OF A CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY CONFLICT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK UNLESS DESIGNATED (N.I.C.) OR (O.F.O.I.). ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH ALL CURRENT AND LOCAL APPLICABLE CODES AND GOVERNING REGULATIONS, AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ALL DAMAGED SURFACES CAUSED BY CONTRACTOR OR SUBCONTRACTOR PERSONNEL TO THE SATISFACTION OF THE OWNER AND DESIGNER.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY ACCORDING TO THE CITY'S STANDARD PLANS AND SPECIFICATIONS. CONTRACTOR SHALL OBTAIN PERMITS FROM APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES FOR WORKERS' USE. EXISTING FACILITIES SHALL NOT BE USED.
- THE CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF WATER, ELECTRICAL, GAS TELEPHONE AND TELEVISION COMPANIES TO VERIFY AVAILABLE FACILITIES AND, IF APPLICABLE, TO ESTABLISH TEMPORARY FACILITIES.
- CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEES REQUIRED, NOT NORMALLY COVERED BY THE BUILDING PERMITS.

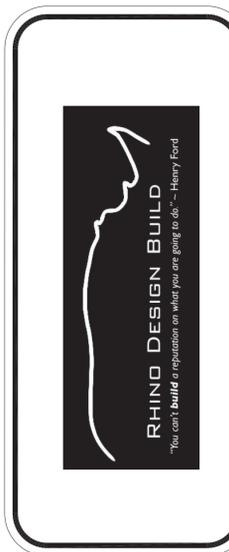
## DRAWING INDEX

- A000 COVER SHEET
- A001 AS BUILT / PROPOSED 1ST FLOOR
- A002 PROPOSED 2ND FLOOR / ROOF PLAN

## AREA TABULATION

PROPOSED 1ST FL ADDITION	193 SQFT
PROPOSED 2ND FL ADDITION	1,109 SQFT
<b>SQFT/FOOTPRINT</b>	
TOTAL COVERED AREA	1,302 SQFT

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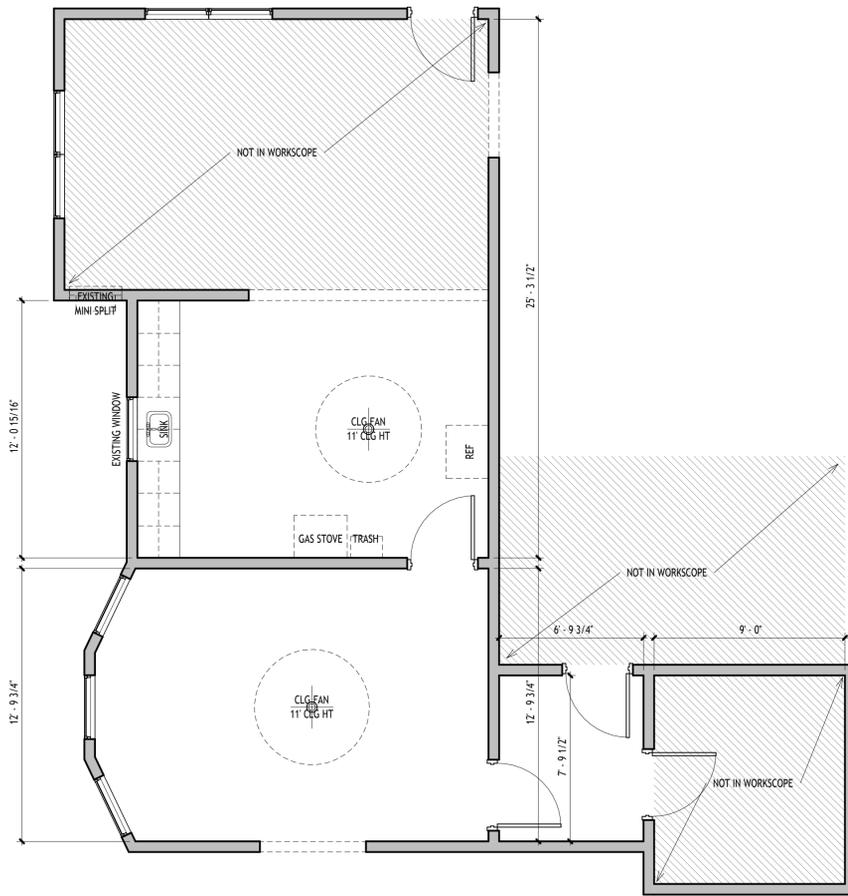


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SAN ANTONIO, TX 78212

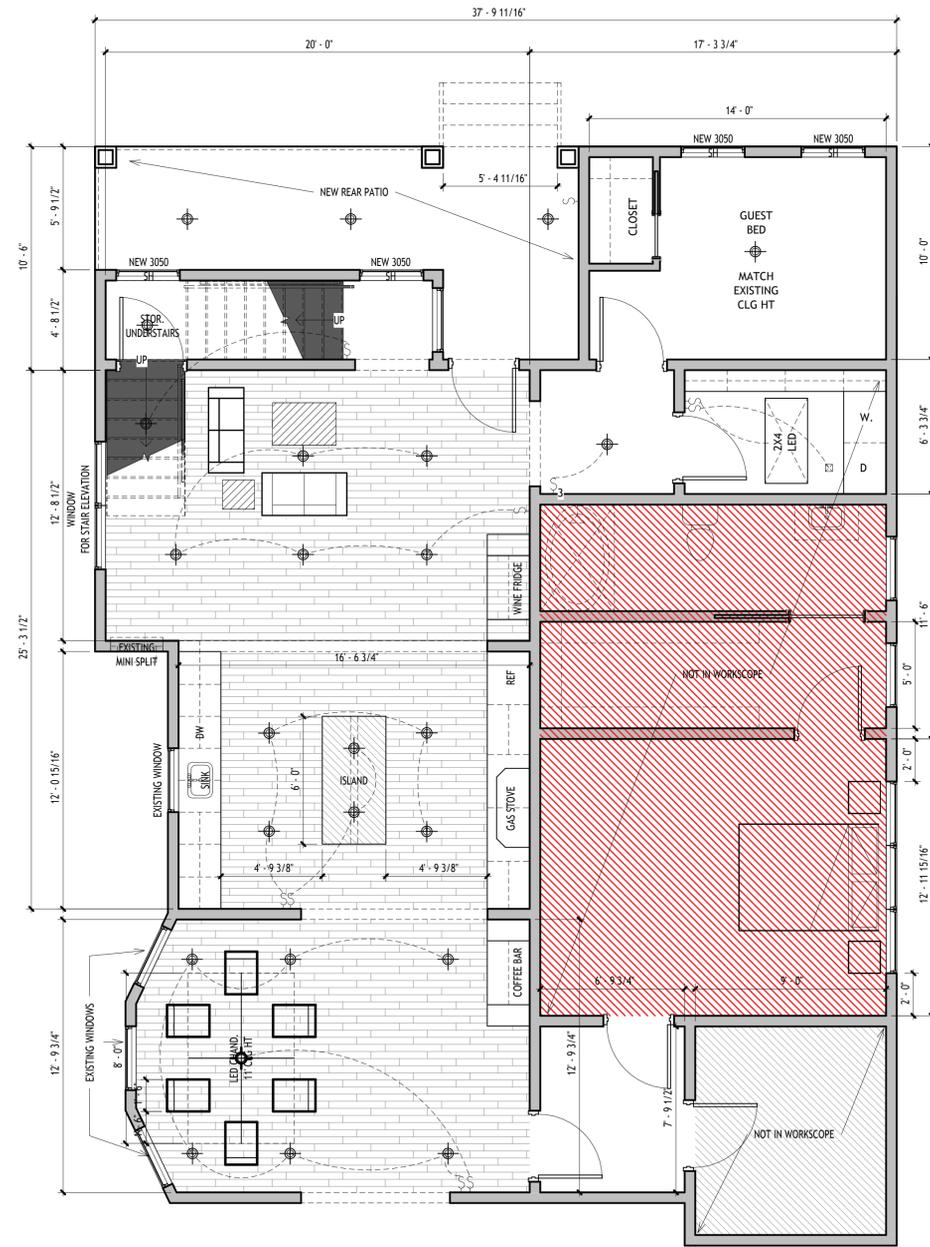
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REVIEWER:	

COVER SHEET

SHEET NO:  
A000



AS-BUILT - FLOOR PLAN  
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

AS-BUILT / PROPOSED FLOOR PLAN  
507 E. HUISACHE  
SAN ANTONIO, TX. 78212

SCALE: 1/4"=1'-0"



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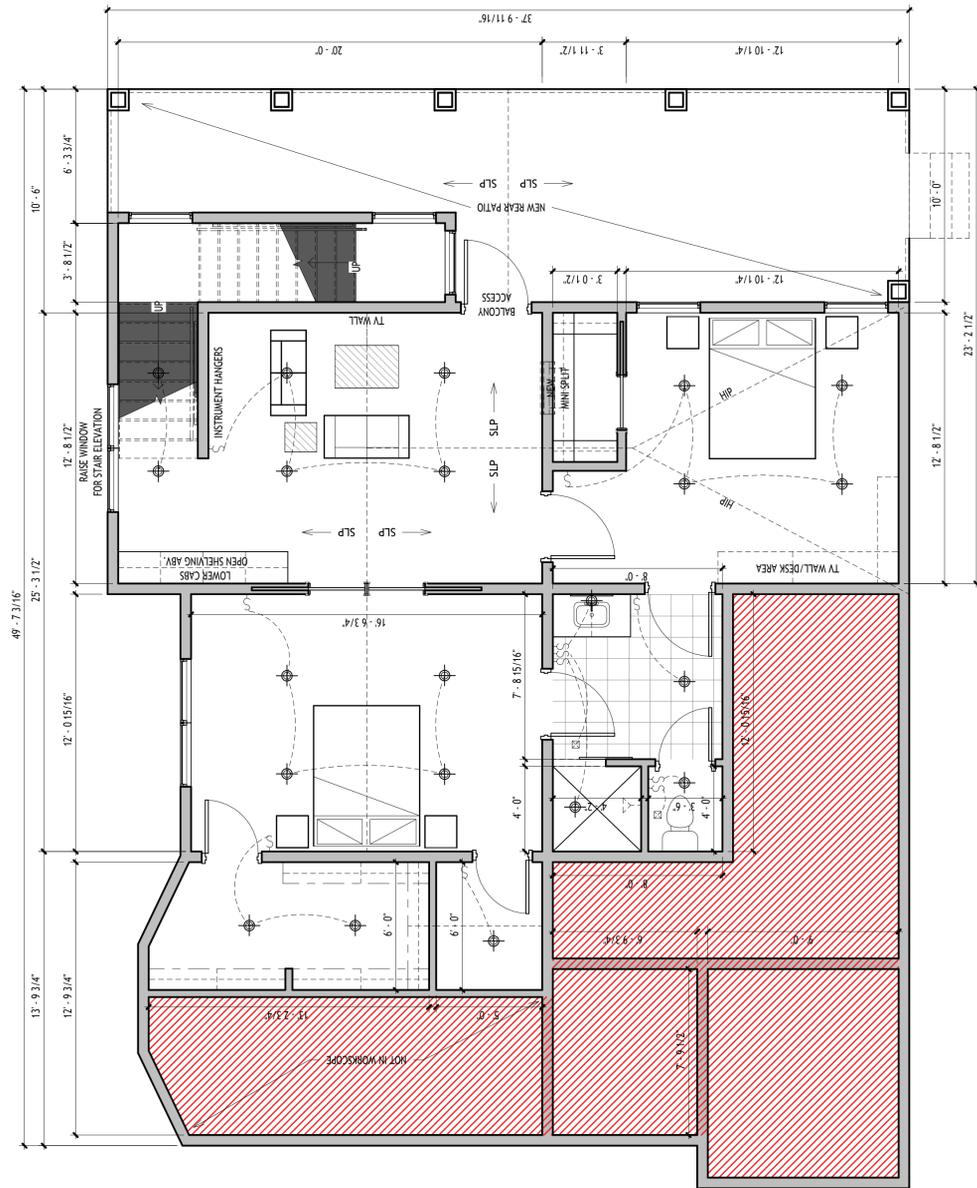


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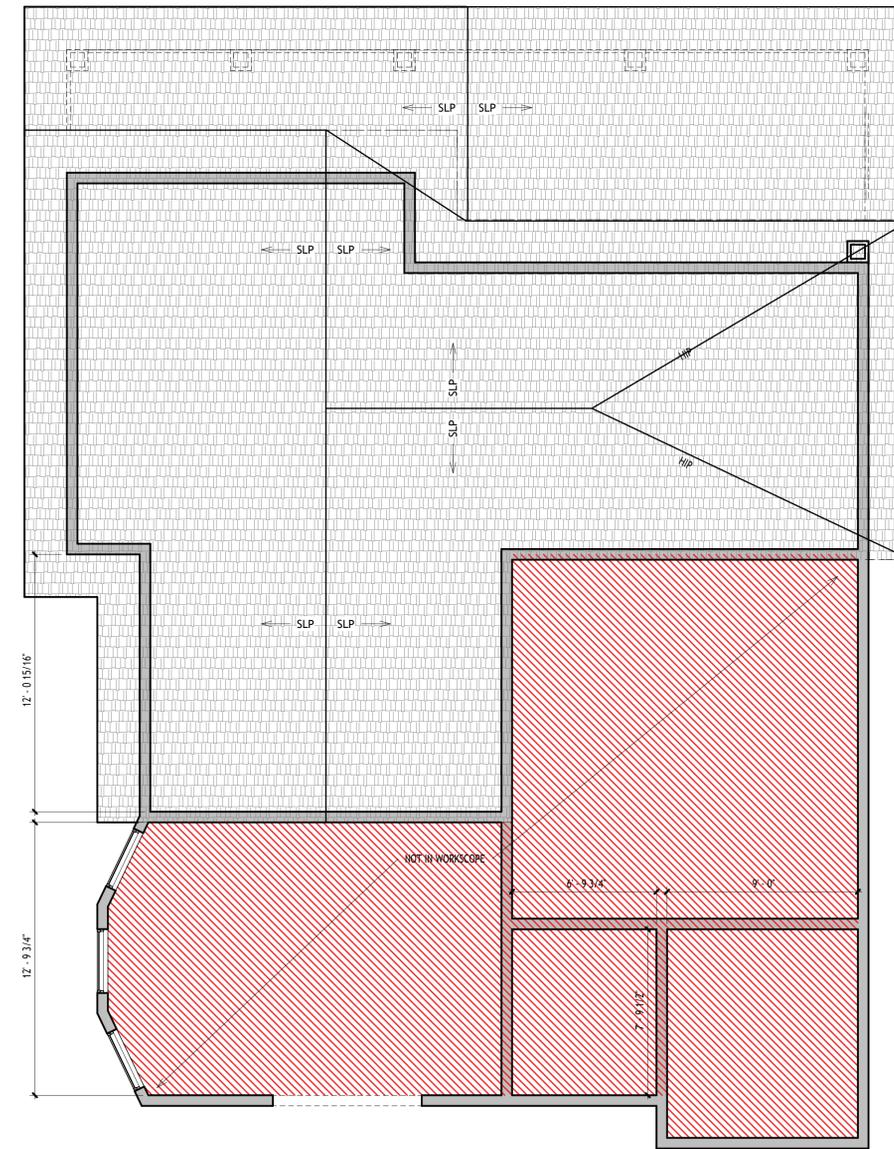
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CHECKED BY:	JJR
REVIEWED:	

AS-BUILT/  
FLOOR PLAN

SHEET NO:  
A001



PROPOSED 22ND FLOOR PLAN  
SCALE: 1/4"=1'-0"



PROPOSED 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

**PROPOSED 2ND FL ADDITION / ROOF PLAN**  
507 E. HUISACHE  
SAN ANTONIO, TX. 78212

SCALE: 1/4"=1'-0"



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DATE: 12.4.25

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CHECKED BY: JR

REVIEWED:

FLOOR PLAN/  
ROOF PLAN

SHEET NO.:

A002