

PLAT IS SUBJECT TO RESTRICTIVE COVENANTS, EASEMENTS, AGREEMENTS, AND/OR SETBACK LINES (IF ANY) AS FOLLOWS: VOLUME 368, PAGE(S) 330-3311, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

|        |   |                         |                             |
|--------|---|-------------------------|-----------------------------|
| LEGEND | ○ = SET 1/2" IRON ROD WITH CAP STAMPED WESTAR | ◀ = ZERO LOT LINE       | R.O.W. = RIGHT OF WAY       |
|        | ● = FND 1/2 IRON ROD                          | —●—●— CHAINLINK FENCE   | E.E. = ELECTRICAL EASEMENT  |
|        | △ = SET PK ON POST                            | —//—//— WOOD FENCE      | D.E. = DRAINAGE EASEMENT    |
|        | ▲ = FND PK ON POST                            | —*—*— WIRE FENCE        | M.E. = MAINTENANCE EASEMENT |
|        | △ = CALCULATED POINT                          | — — — METAL FENCE       | B.S. = BUILDING SETBACK     |
|        | X = "X" ON CONCRETE                           | — — — OVERHEAD ELECTRIC | U.E. = UTILITY EASEMENT     |
|        | □ = METAL POST @ CORNER                       | — — — LINE BREAK        | C.M. = CONTROLLING MONUMENT |
|        | ⊠ = FND MONUMENT                              |                         |                             |
|        | ⊙ = FND 1" PIPE                               |                         |                             |
|        | ( ) = RECORD INFORMATION                      |                         |                             |
|        | ● = POWER POLE                                |                         |                             |
|        | ⊙ = CABLE TELEVISION                          |                         |                             |
|        | ⊠ = TELEPHONE PEDESTAL                        |                         |                             |

As scaled from FEMA's FLOOD INSURANCE RATE MAP, Community No. 480045, Panel No. 0453 E, Panel Dated 0216/96, this tract is in Zone(a) X and is NOT in a special flood hazard zone. This flood zone information is to be used for informational purposes only. This surveyor does not certify to any information provided by FEMA.

NOTE: ANY FLOODPLAIN DATA HEREON IS AS PROVIDED BY FEMA AND IS ONLY AS CURRENT AS THE DATE OF THE MAP PANEL THEREON. NO REPRESENTATION IS MADE BY THE SURVEYOR AS TO THE PROBABILITY OF A FLOOD OCCURRING AT ANY GIVEN PLACE OR TIME. THE SURVEYOR IS LIMITED TO SHOW THE ELEVATION OF POINTS WITHIN HIS OR SCOPE OR WORK. NOTE: AS THIS INFORMATION IS BASED ON GRAPHIC PLOTTING WE ASSUME NO RESPONSIBILITY FOR EXACT FLOOD ZONE DETERMINATION AND LOCATION.

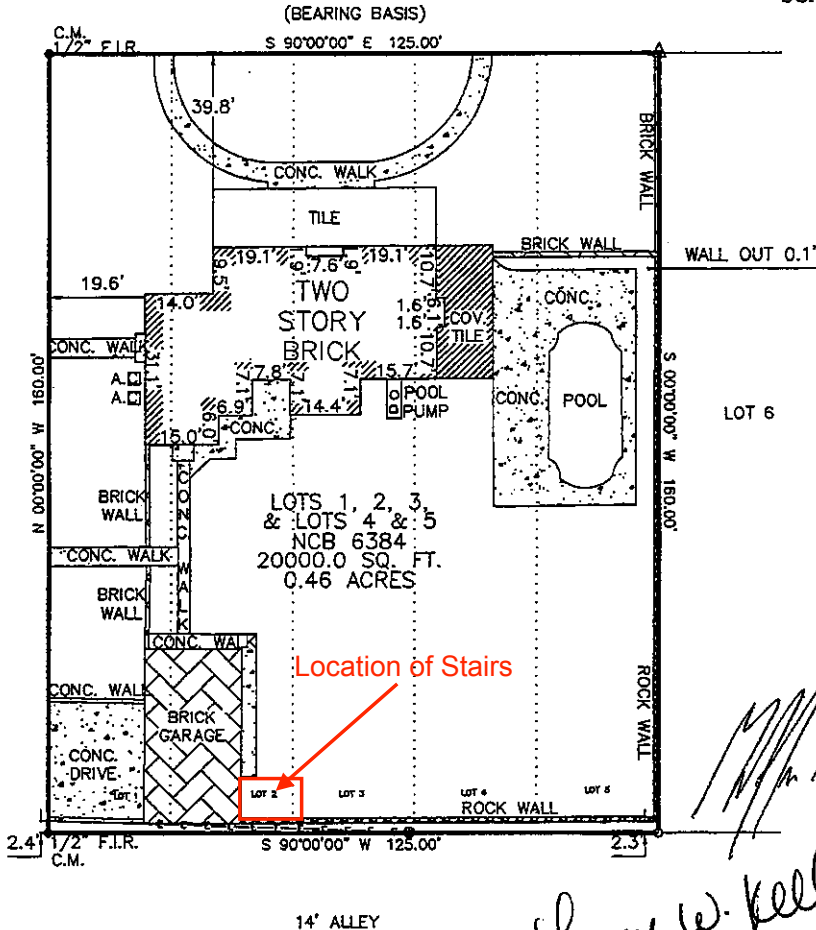
NOTE: BEARINGS SHOWN HEREON ARE ASSUMED.

NOTE: THE ORIGINAL PLAT OF RECORD IS WITHOUT BEARINGS. THIS IS REPRESENTATION OF THIS SURVEYORS BEST INTERPRETATION OF RECORD INFORMATION.

## LYNWOOD AVENUE (55' R.O.W. AKA LINWOOD BOULEVARD)

SCALE: 1"=30'

BELKNAP PLACE  
(55' R.O.W.)



*Leanne W. Kelly*

PROPERTY ADDRESS  
242 LYNWOOD AVENUE AKA LINWOOD BOULEVARD

BORROWER  
GRIFFIN STUART KELLY AND LEANNE W. KELLY

PROPERTY DESCRIPTION  
LOT 1, 2, 3, 4, AND 5, BLOCK 4, NEW CITY BLOCK 6384, MONTE VISTA SUBDIVISION, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, ACCORDING TO MAP OR PLAT THEREOF RECORDED IN VOLUME 368, PAGE(S) 330-3311, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

**Westar  
Alamo**  
LAND SURVEYORS, INC.  
P.O. BOX 1036 HELOTES, TEXAS 78023-1036  
PHONE (210) 372-9500 FAX (210) 372-8999



I, JOSE ANTONIO TREVINO, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plat represents an actual survey made on the ground under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, to the best of my knowledge and belief except as shown herein.

*Jose Antonio Trevino*  
JOSE ANTONIO TREVINO  
Registered Professional Land Surveyor  
Texas Registration No. 5552

G.F. NO. 778693-SA40 JOB NO. 21242  
DRAWN BY: I.M.

DATE: MAY 24, 2006  
UPDATED ON: