

TITLE

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A001  
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A301

TITLE SHEET  
3D STREET VIEW  
3D STREET VIEW W/ TREES  
3D BACK OF HOUSE  
SITE PLAN  
FENCE PLAN  
FLOOR PLANS  
ELEVATIONS  
ELEVATIONS  
SECTIONS

NOTES:

THIS IS AN ACCESSORY DETACHED DWELLING UNIT (ADDU). THE TWO STORY UNIT CONSISTS OF FIRST FLOOR 440 SF OF STORAGE AND SECOND FLOOR 440 SF OF CONDITIONED SPACE. THE THE CONDITIONED SECOND STORY SPACE IS A ONE BEDROOM WITH A FULL BATH AND FULL KITCHEN AND LIVING ROOM. THE ADDU WILL BE CONSTRUCTED OF 2X6 WOOD @ 16" O.C. AND STUCCO SIDING.THE INTERIOR SPACE WILL BE GYPSUM BOARD WITH 8'-0" CEILING.

SCOPE OF WORK - GENERALLY

The scope of work is a new 440 SF accessory detached dwelling unit (ADDU) in the historic Monte Vista neighborhood on the second floor of a new 440sf storage space. The two story structure will consist of an exterior staircase. The unit includes one bathroom and a full kitchen on the second floor and storage space on the first floor for a total of 880sf in total.

PRINTING

ALL SHEETS SHOULD BE PRINTED AT 11X17 SCALE TO 100%

SITE

206 E. SUMMIT AVE.  
ZONING: R-5  
HISTORIC MONTE VISTA NEIGHBORHOOD

LOT: 10744sf  
EXISTING HISTORIC HOME: 2,345 SF

ACCESSORY DETACHED DWELLING UNIT (ADDU)

ONE ADDU UNIT IS ALLOWED

1,173 SF MAX ALLOWABLE

NEW ADDU: 880SF TOTAL.  
FIRST FLOOR STORAGE: 440SF  
SECOND FLOOR CONDITIONED SPACE: 440SF

MINIMUM SETBACK FROM REAR AND SIDE PROPERTY LINES IS 5 FEET. IF THE STRUCTURE HAS NO OVERHANG THE ACCESSORY UNIT MAY BE 3 FEET FROM THE REAR AND SIDE PROPERTY LINES

AN ADDU MAY NOT EXCEED 25 FEET OR TWO STORIES IN HEIGHT.

PERCENTAGE OF IMPERVIOUS COVER: 38%

EXISTING CONCRETE: 454 SF  
NEW CONCRETE: 215 SF  
EXISTING HOME : 2279 SF  
CARPORT: 482 SF  
DECK: 204 SF  
NEW ADDU 440 SF

TOTAL COVERAGE: 4074 SF  
TOTAL LOT: 10744 SF

GENERAL NOTES

1.

All work shall be performed in accordance with all applicable codes, regulations, ordinances and standards having jurisdiction within the City of San Antonio city limits. If there are any conflicts or questions concerning the compliance with such code, ordinances and/or standards, the contractor shall notify owner and/or architect prior to commencing any work in question.

2.

All necessary permit licenses, certificates, special inspections and soil reports shall be procured by the contractor.

3.

Contractor is responsible for checking all contract documents, field conditions, and dimensions for accuracy and confirming the work is buildable as shown, and meets all applicable codes before proceeding with construction. If there are any conflicts or questions regarding these or any other coordination issue, it is the responsibility of the contractor to inform the owner and/or architect prior to proceeding with the work in question.

4.

The contractor shall certify size and location of all required openings for structural, mechanical, electrical and plumbing work and equipment with trades involved

5.

The contractor and subcontractors shall be responsible for checking existing conditions of the job site and field verify dimensions prior to submitting a proposal. Claims for extra compensation for work that could have been foreseen by such inspection, whether shown on contract documents or not, shall not be accepted or paid.

6.

All materials associated with the contract shall be new, unless noted on the drawings. All labor and materials shall be guaranteed against defective materials and workmanship for a period of one (1) year after the date of substantial completion. Contractor and subcontractors shall be provide all material warranty information to the owner.

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11.1.24

L I M I N A L

Rask Family

206 E Summit Ave

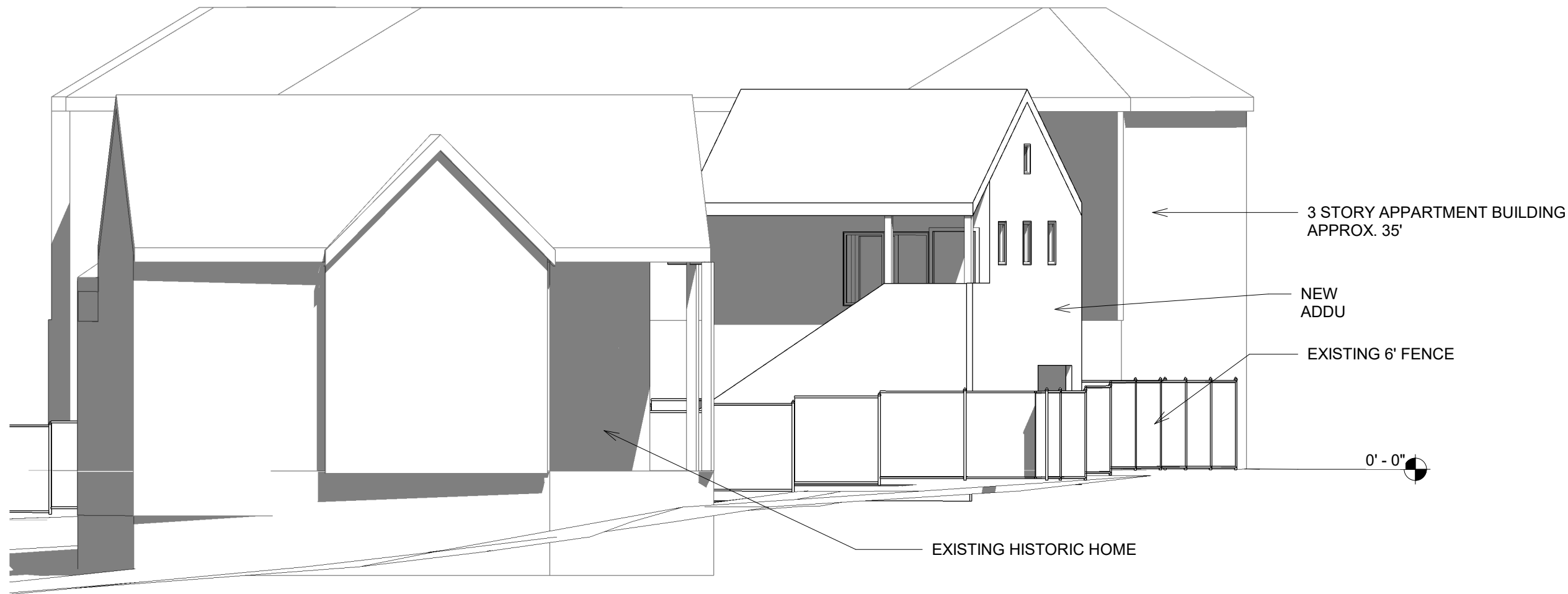
Revisions

No.	Description	Date

TITLE SHEET

Project number	Project Number	A000
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	Scale

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1 McCULLOUGH AVE

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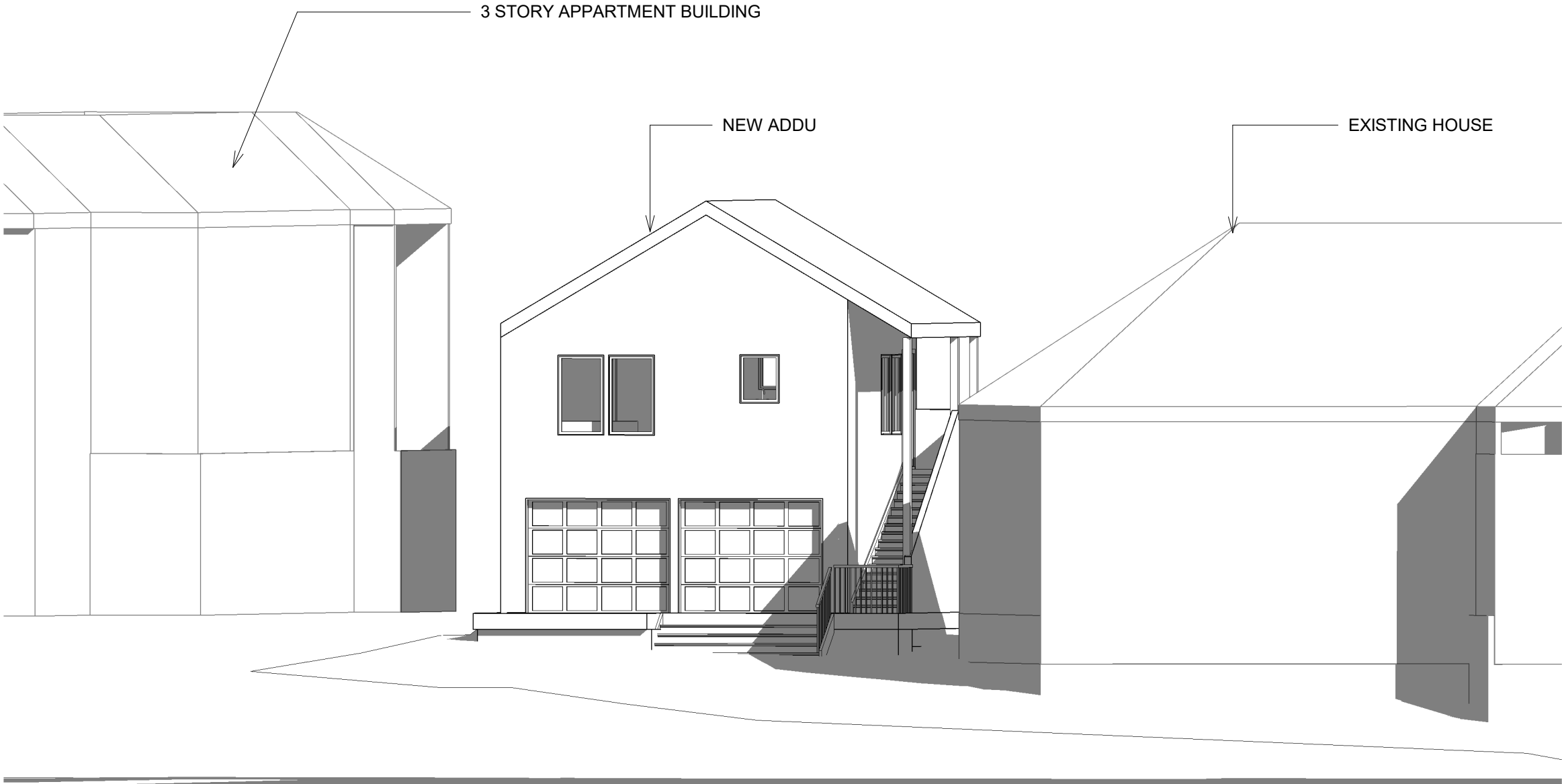
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206 E Summit Ave

Revisions

No.	Description	Date

3D STREET VIEW

Project number	Project Number	A001
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	Scale



1 BACK OF HOUSE

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206 E Summit Ave

Revisions

No.	Description	Date

3D VIEW

Project number	Project Number	A002
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	Scale



1 McCULLOUGH AVE WITH TREES

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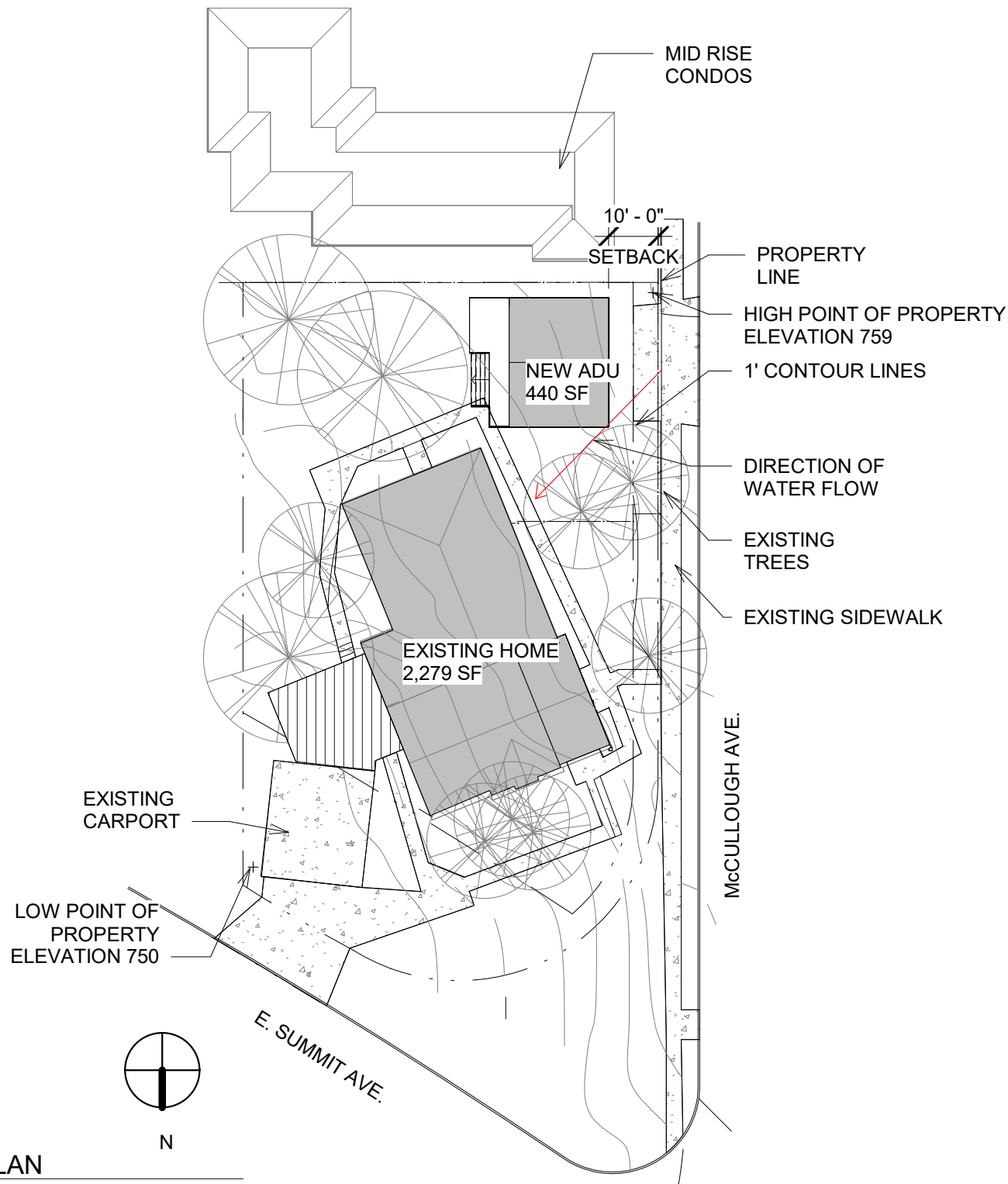
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206 E Summit Ave

Revisions

No.	Description	Date

3D VIEW WITH TREES

Project number	Project Number	A003
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	Scale



PERCENTAGE OF IMPERVIOUS COVER: 38%

EXISTING CONCRETE: 454 SF  
NEW CONCRETE: 215 SF  
EXISTING HOME : 2279 SF  
CARPORT: 482 SF  
DECK: 204 SF  
NEW ADDU 440 SF

TOTAL COVERAGE: 4074 SF  
TOTAL LOT: 10744 SF

① SITE PLAN  
1" = 30'-0"

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206 E Summit Ave

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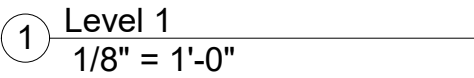
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SITE PLAN

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A100

Scale 1" = 30'-0"



- NOTES:
1. Interior walls to be gypsum wall board with light orange peel finish.
  2. Ceiling to be at 8'-0" at floor finish.
  3. 2nd floor to be conditioned with HVAC system.
  4. Full Kitchen.
  5. 1 Full Bath.

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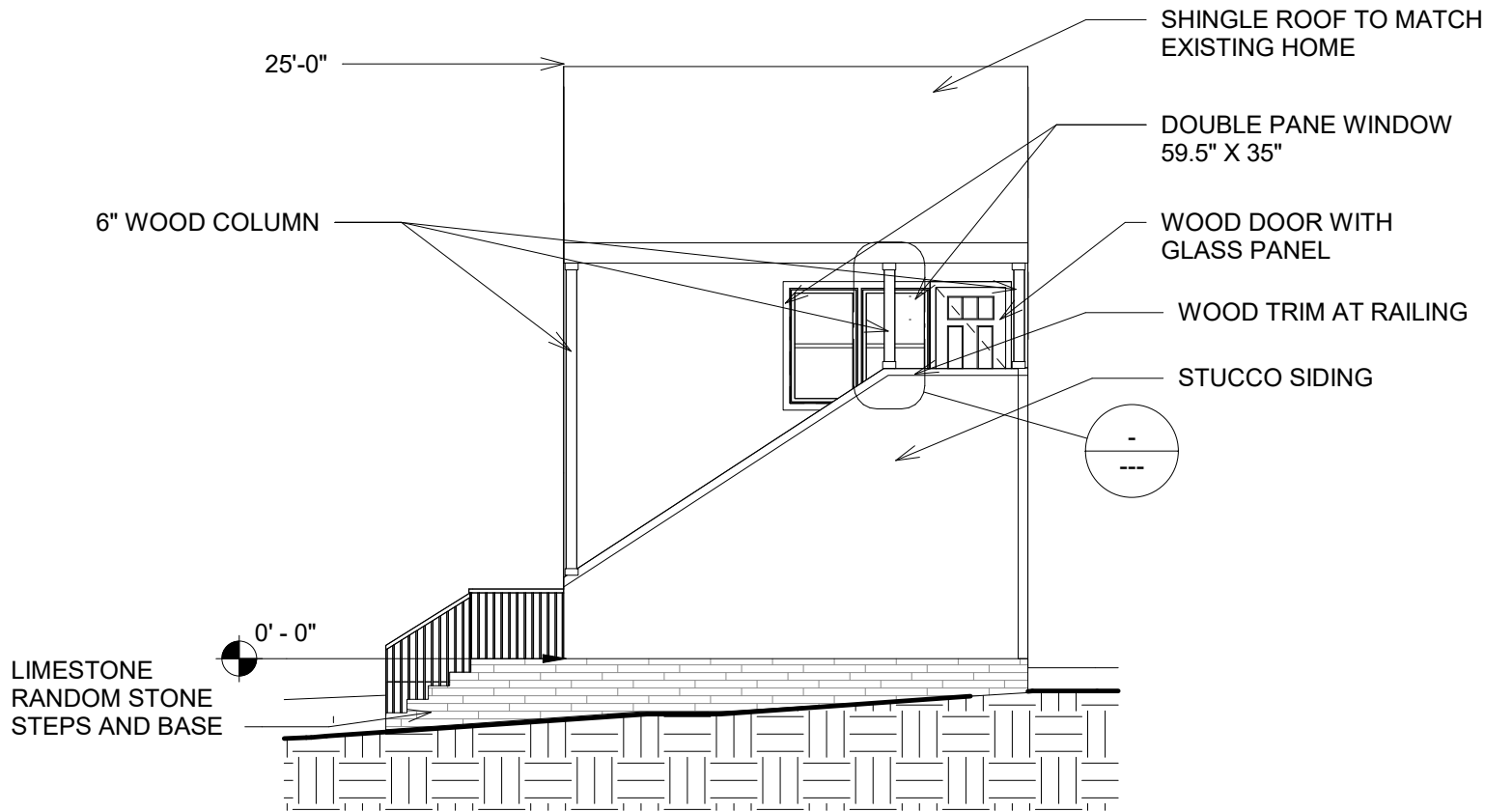
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## FLOOR PLANS

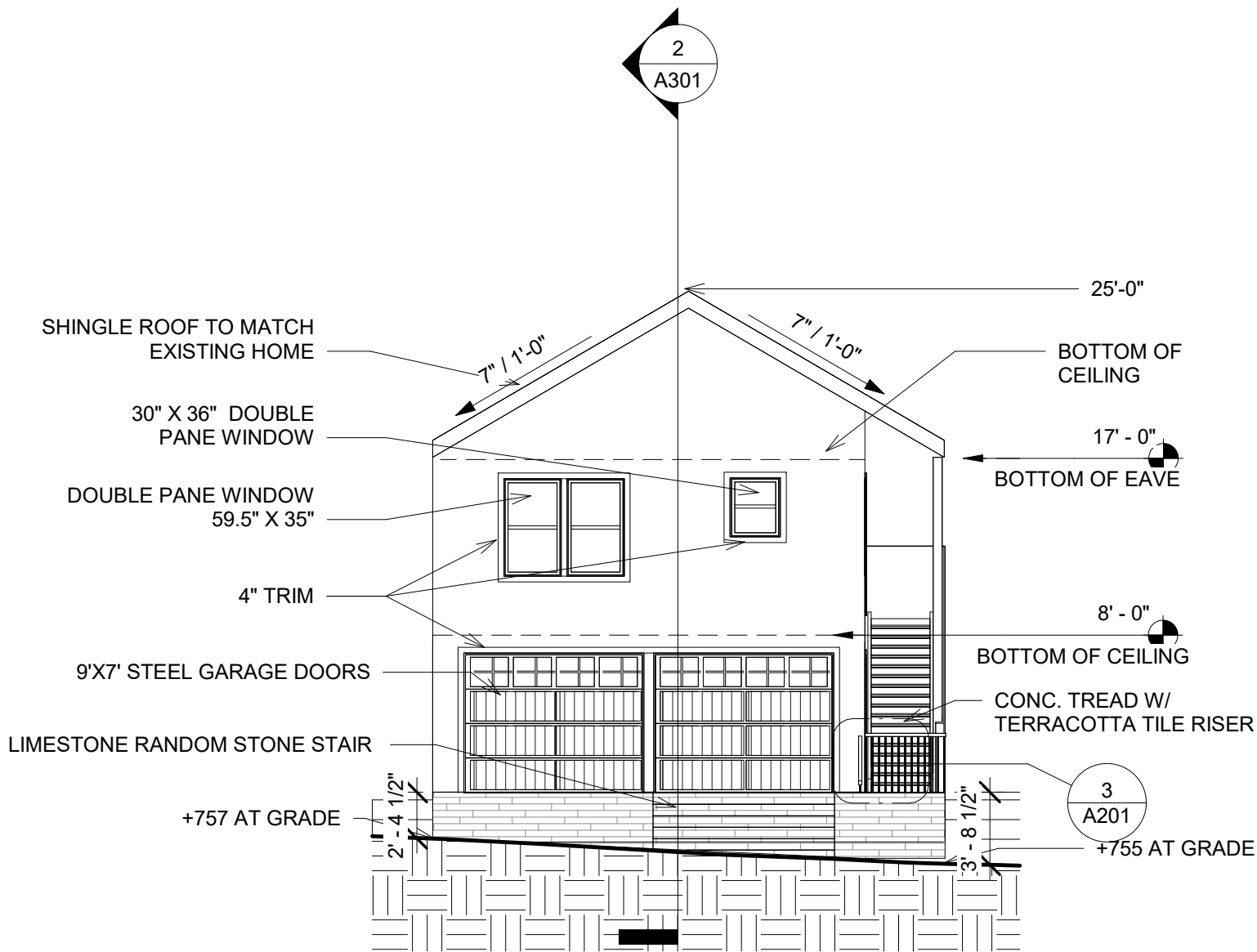
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Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
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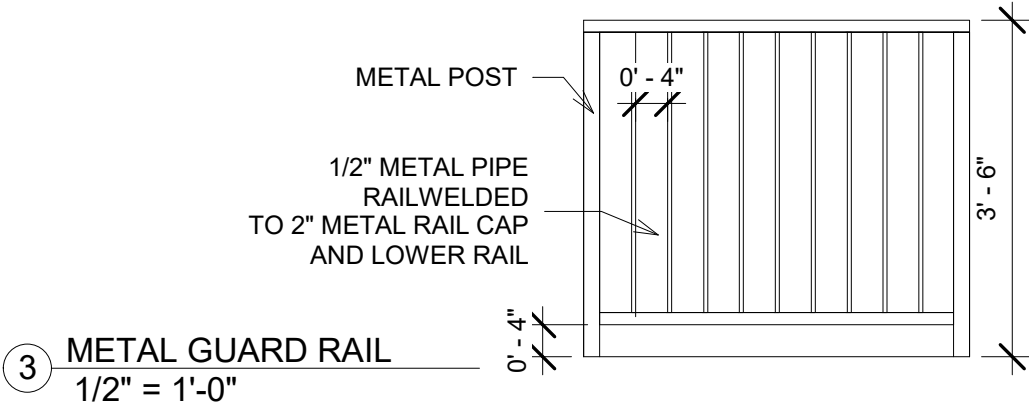
- NOTES:
- 1. EXTERIOR IS STUCCO
  - 2. SHINGLE ROOF TO MATCH EXISTING HOME
  - 3. STEPS AT BACK TO BE RANDOM STONE.
  - 4. PROVIDE STEEL GARAGE DOORS, SEE SPECS.
  - 5. FRONT DOOR TO BE WOOD WITH GLASS PANEL, SEE SPECS
  - 6. SEE SPECS FOR WINDOWS
  - 7. PROVIDE 6" WOOD COLUMNS
  - 8. TRIM TO BE 4" WOOD TRIM



1 North  
1/8" = 1'-0"



2 East  
1/8" = 1'-0"



3 METAL GUARD RAIL  
1/2" = 1'-0"

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206 E Summit Ave

Revisions

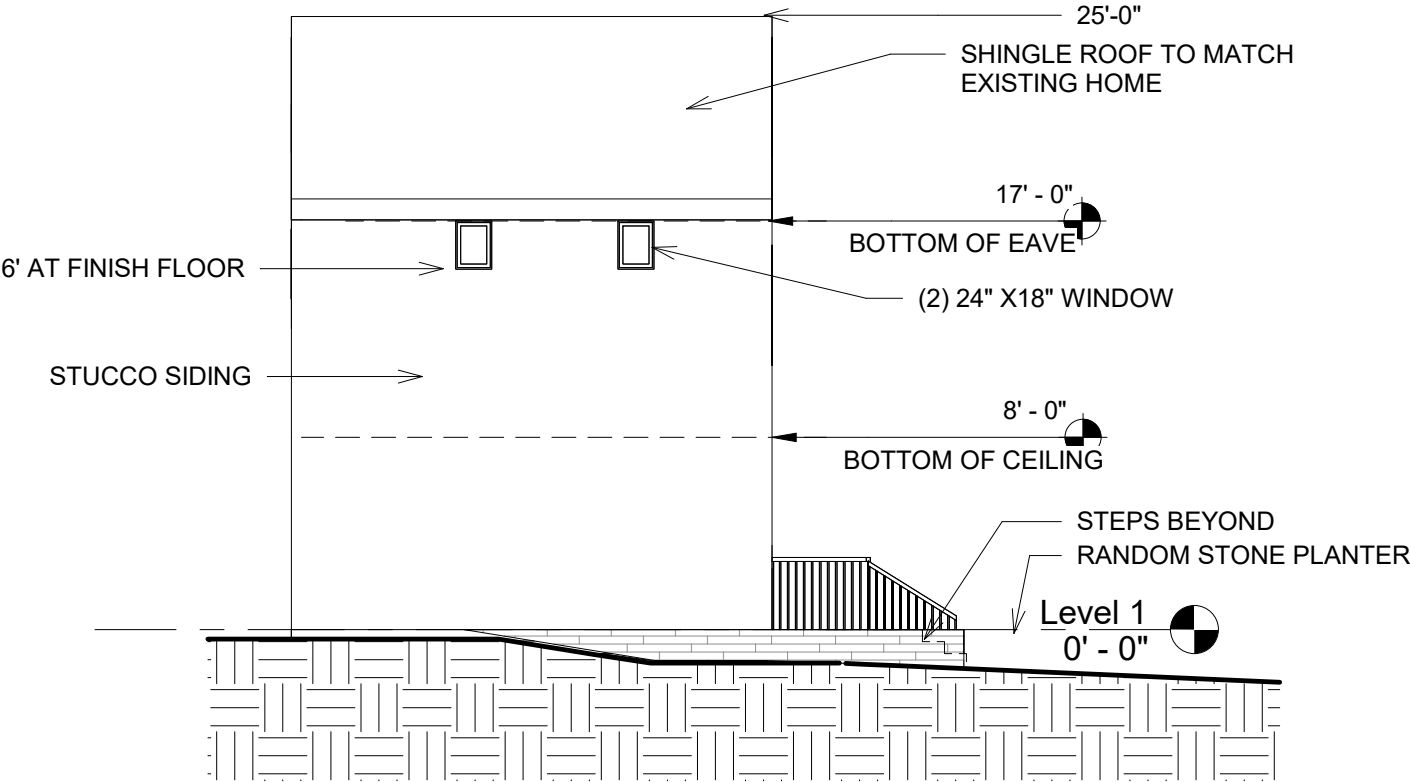
No.	Description	Date

ELEVATIONS

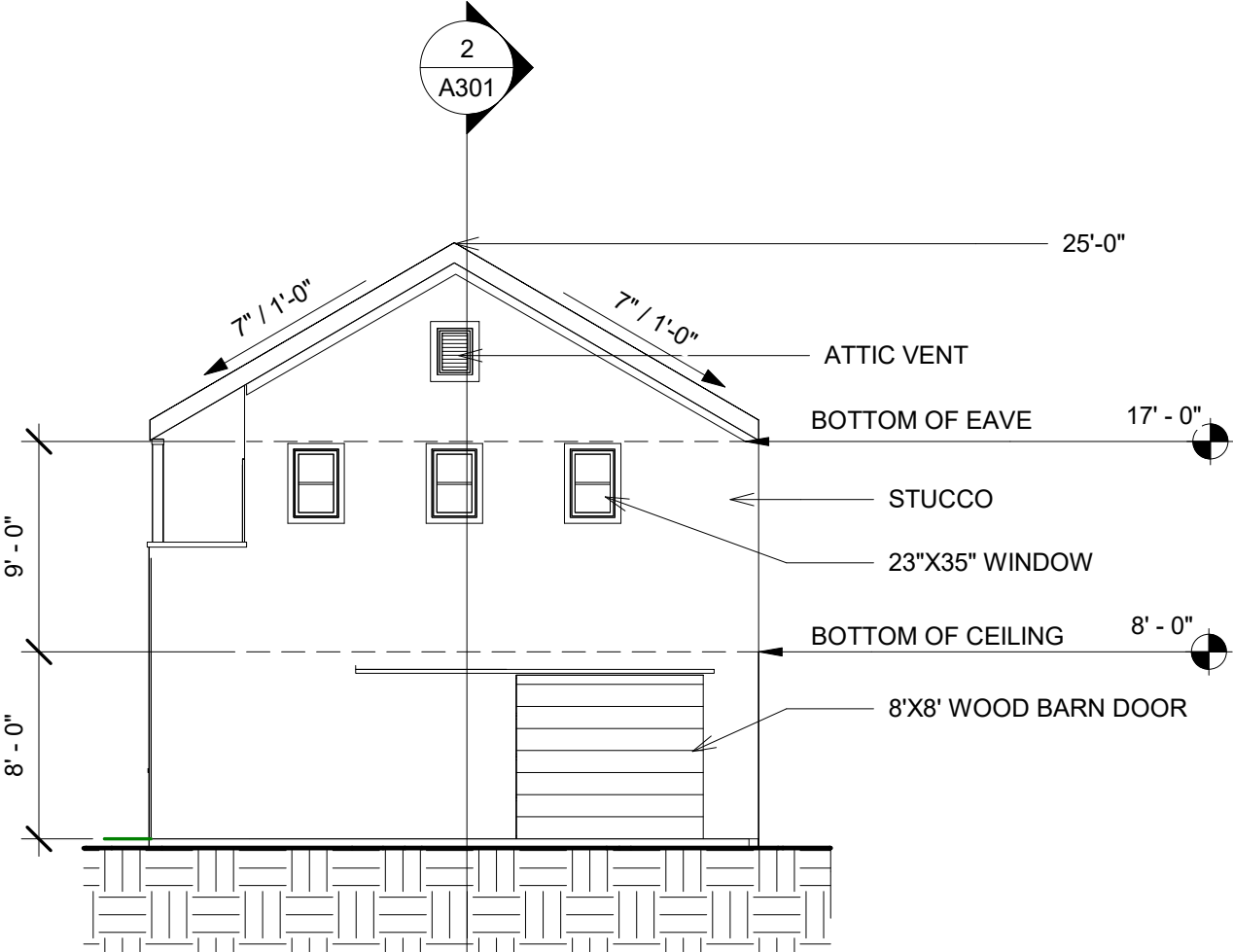
Project number	Project Number
Date	Issue Date
Drawn by	Author
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A201

Scale As indicated



1 South  
1/8" = 1'-0"



2 West  
1/8" = 1'-0"

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Rask Family  
206 E Summit Ave

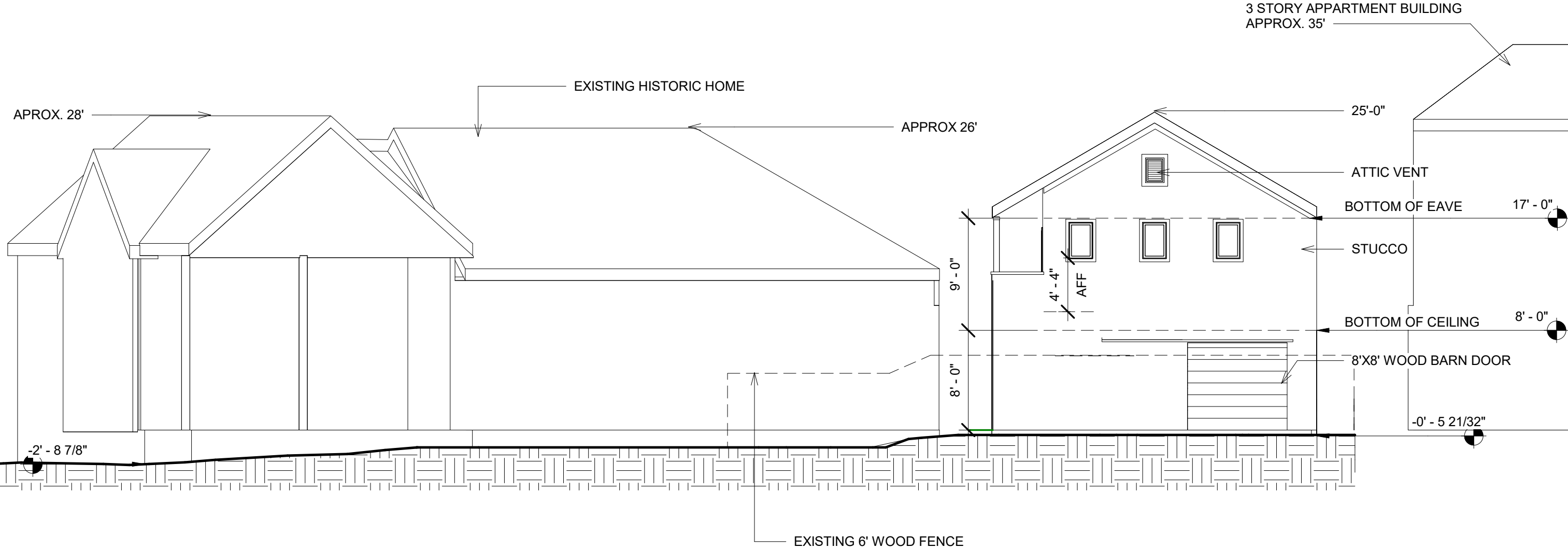
Revisions

No.	Description	Date

ELEVATIONS

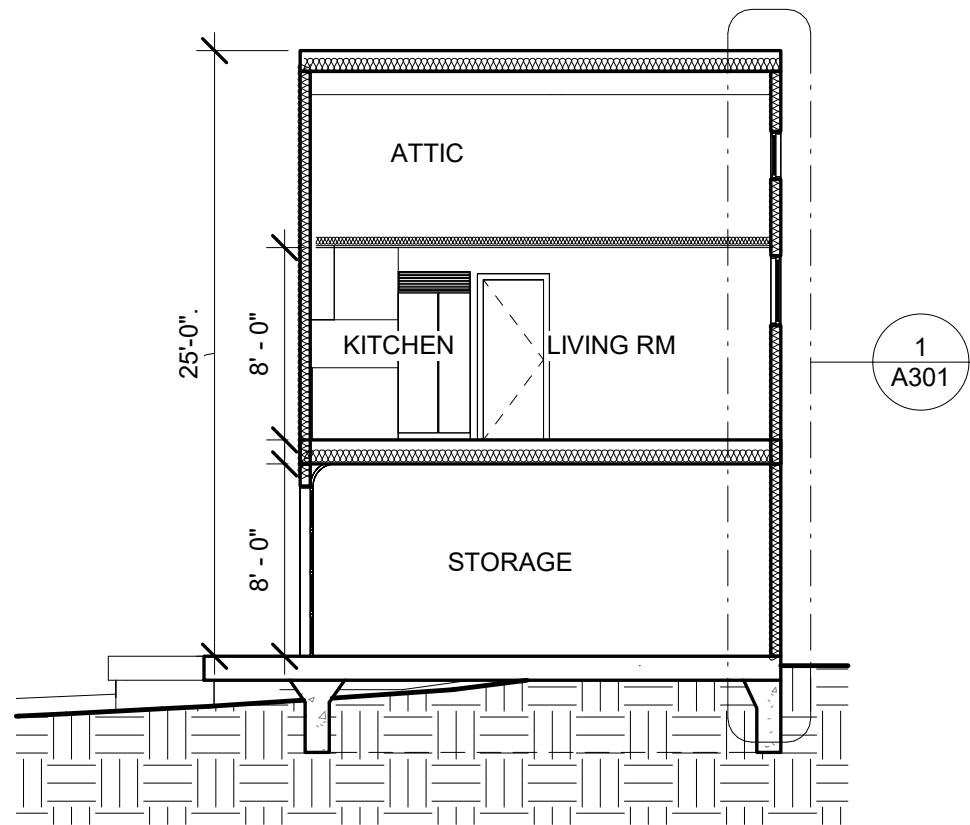
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Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
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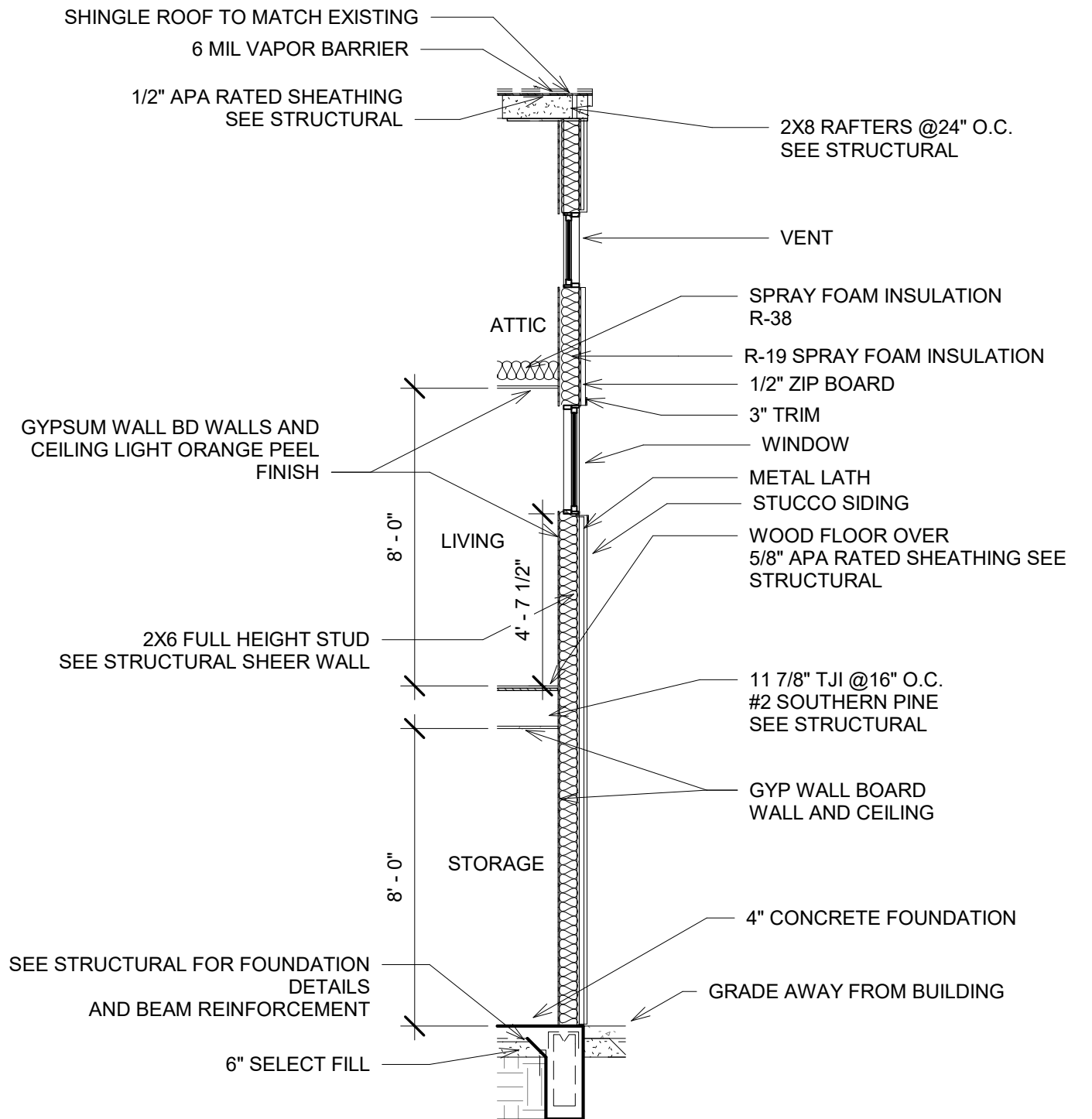


1 WEST ELEVATION W/ HISTORIC BUILDINGS (McCULLOUGH AVE.)  
1/8" = 1'-0"

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			No.	Description	Date	Project number	Project Number	A203
						Date	Issue Date	
						Drawn by	Author	
						Checked by	Checker	Scale 1/8" = 1'-0"
11.1.24								



2 Section 1  
1/8" = 1'-0"



1 WALL SECTION  
1/4" = 1'-0"

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206 E Summit Ave

Revisions

No.	Description	Date

SECTIONS

Project number	Project Number	A301
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	Scale As indicated