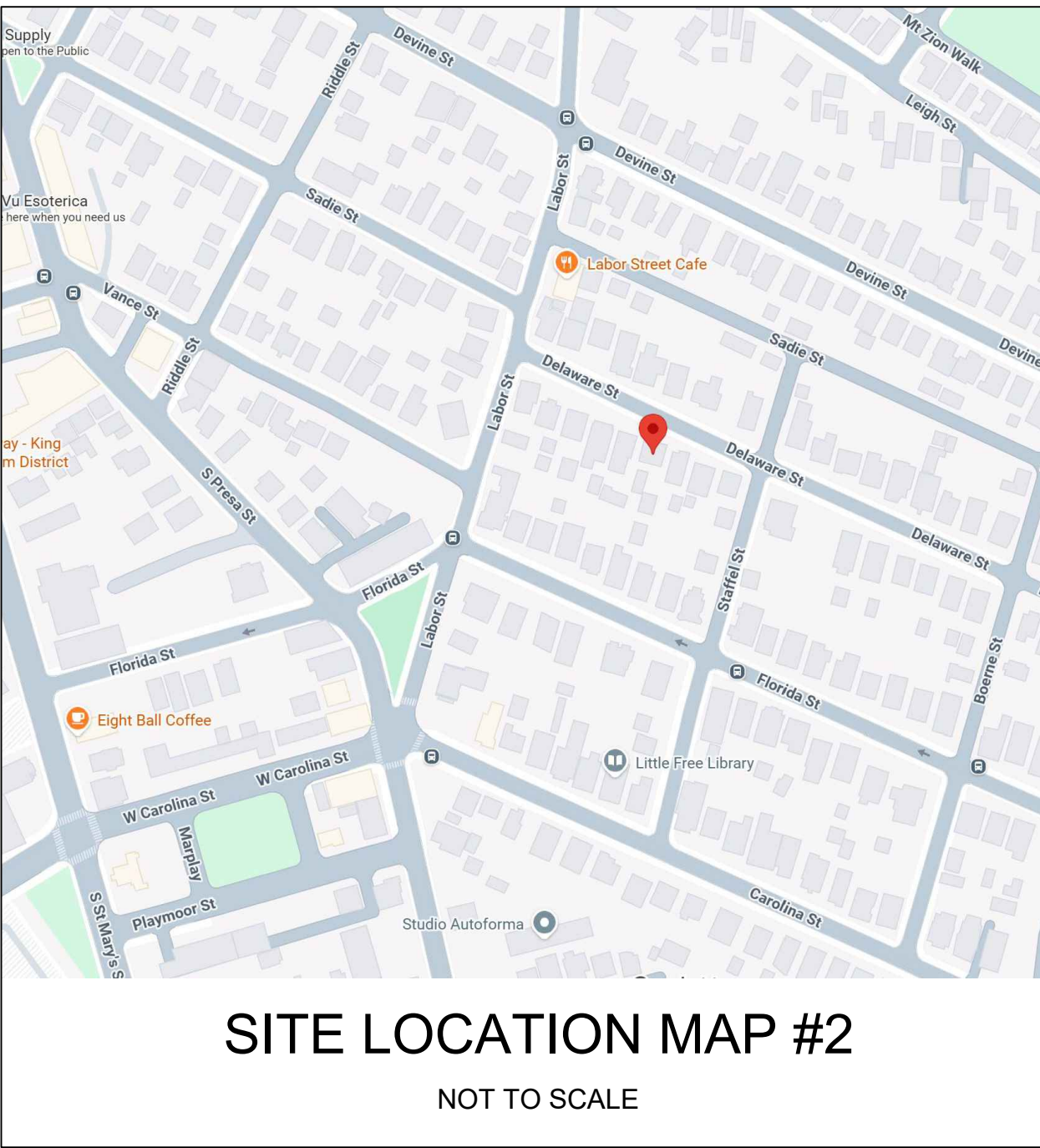
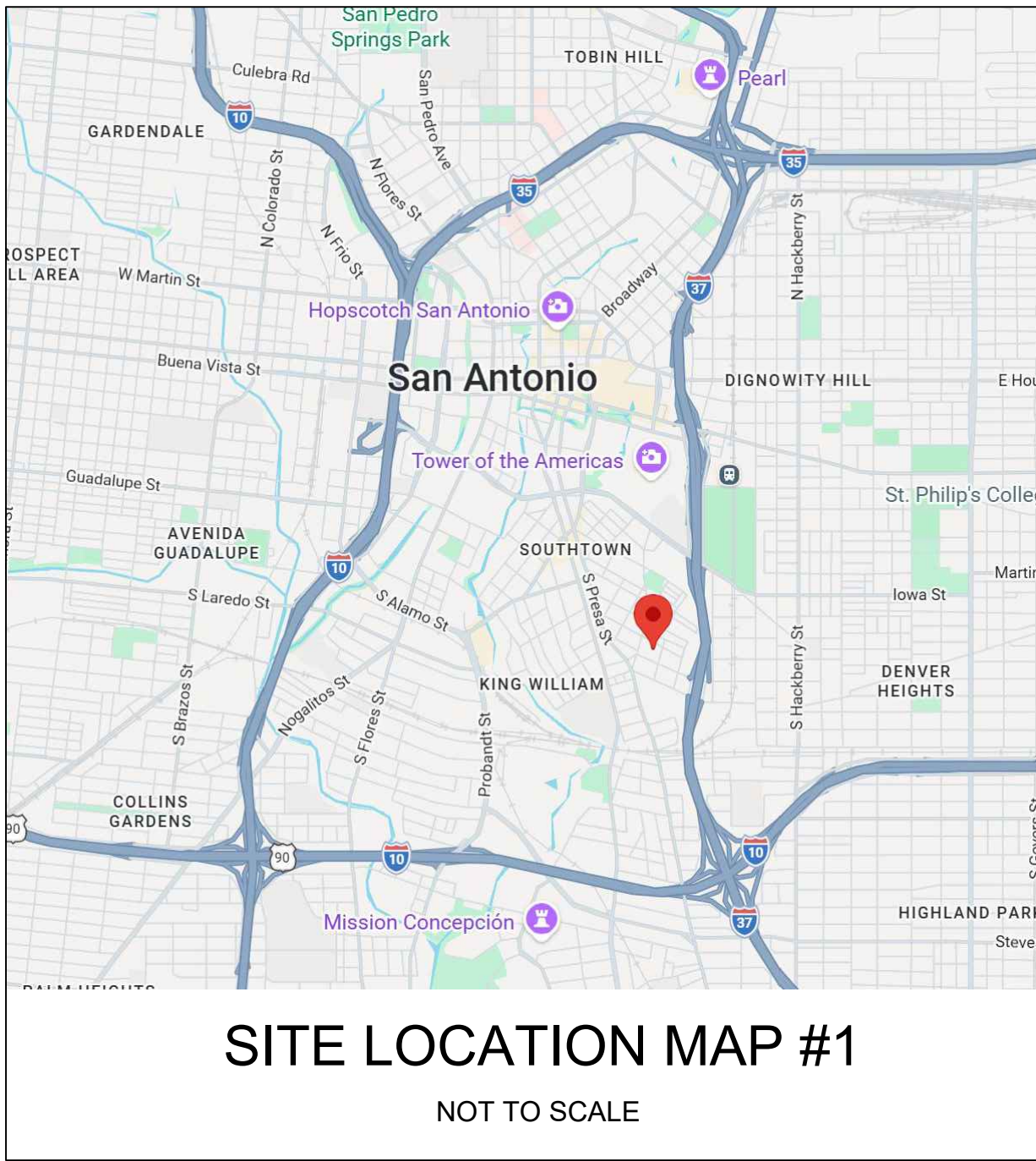


POTTER RESIDENCE

120 DELAWARE, SAN ANTONIO, TX 78210



GENERAL NOTES

- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS OR SPECIFICATIONS, ADDENDUM, BULLETIN, OR OTHER DOCUMENT, SHALL BE AS BINDING AS IF REQUIRED BY ALL. CONTRACTOR SHALL USE ONLY COMPLETE SETS OF CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM OF WORK.
- CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODE, ORDINANCES, A.D.A. T.A.S., AND REGULATIONS OF ALL GOVERNING BODIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR AND ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- ALL TRAFFIC CONTROLS ON THIS PROJECT SHALL ADHERE TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE OWNER SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER OF THE OTHER PROPERTY.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION PROPERLY AND PROVIDE ALL SUITABLE FILL MATERIAL AS APPROVED BY THE SOILS ENGINEER, AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
- EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.

- ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT THE CONTRACTOR SHALL REPLACE OR REPAIR ANY WORK OR MATERIAL FOUND TO BE DEFECTIVE.
- CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE IS USING ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHER SHALL VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES.
- SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED, IF EXISTING UTILITY CONSTRUCTION CONFLICTS WITH REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, EXCEPT THAT THE SPECIFICATIONS, WHERE MORE STRINGENT, SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, WATER, AND ELECTRICITY FOR ALL PROJECT FUNCTIONS, OFFICE, STORAGE, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, TOILET, VALVES, OR OTHER DEVICES NECESSARY TO RUN POWER TOOLS AND EQUIPMENT. SUCH MODIFICATIONS TO EXISTING UTILITIES SHALL BE REMOVED AT COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT IN A TIMELY MANNER THAT WILL ALLOW NOT LESS THAN 10 DAYS FOR REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT CORRECT NUMBER REQUIRED, BUT NOT LESS THAN 4 COPIES.
- THE GENERAL CONTRACTOR SHALL PROVIDE STREET NUMBERING ON THE BUILDING IN COMPLIANCE WITH LOCAL AUTHORITY.
- ALL PENETRATIONS THRU WALLS SHALL BE SEALED AIR/WATER TIGHT AND CAULKED WITH 2 PART SEALANT EACH SIDE.
- THE GENERAL CONTRACTOR SHALL PROVIDE (1) COPY OF AS-BUILT DRAWINGS TO THE OWNER AT THE COMPLETION OF THE PROJECT. AS-BUILT DRAWINGS SHALL BE KEPT ON THE JOB AT ALL TIMES AND UPDATED THROUGHOUT THE CONSTRUCTION PHASE.
- UNLESS NOTED OTHERWISE, SITE PLAN DIMENSIONS ARE TO FACE OF CURB. FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS, FRAMING, MASONRY, CONCRETE WALL PANELS, OR FOUNDATION WALLS.

SHEET INDEX

CS	COVER SHEET
SP001	EXISTING SITE / ROOF PLAN
A100	EXISTING/DEMO AND PROPOSED FLOOR PLAN
A002	EXISTING EXTERIOR ELEVATIONS
A200	PROPOSED EXTERIOR ELEVATIONS & SCHEDULES
A500	REFLECTED CEILING PLAN / ELECTRICAL PLAN

ARCHITECT

ZIGA ARCHITECTURE STUDIO, PLLC

6508 WEST AVE, CASTLE HILLS, TX 78213 | 210-201-3637

1700 S LAMAR BLVD, STE 338, AUSTIN, TX 78704 | 512-522-5505

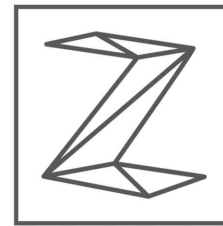
INFO@STUDIOZIGA.COM | WWW.STUDIOZIGA.COM

CODE INFORMATION

2024 INTERNATIONAL RESIDENTIAL CODE
2024 IECC

BUILDING DATA

63	SQ. FT.	PORCH
1,642	SQ. FT.	LIVING AREA
1,705	SQ. FT.	TOTAL GROSS AREA
		MAIN HOUSE



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SAN ANTONIO, TX 78210
MR. JOSHUA POTTER

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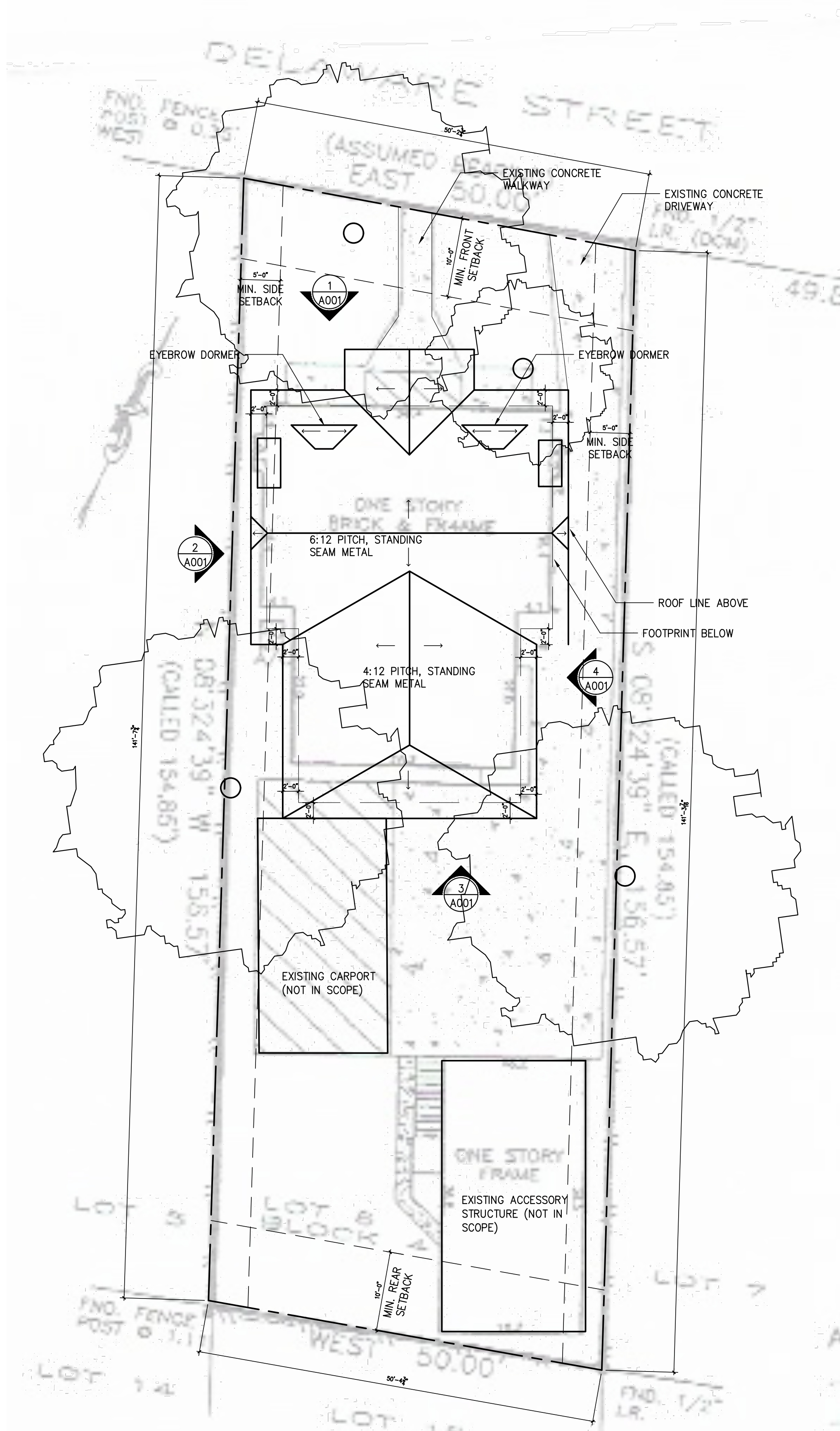
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ISSUE		
#	DATE	DESCRIPTION
1	06/17/2026	AS-BUILT SET
2	07/29/2026	CLIENT REVIEW

COVER SHEET

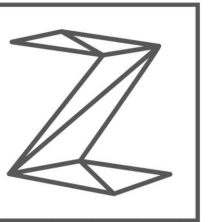
PROJECT NO.	26-123
DATE:	07-29-26
DRAWN BY:	AMZ
REVIEWED BY:	AMZ
PROJECT ARCHITECT: ADRIANA M. ZIGA, AIA TEXAS LICENSE NO. 33413	

CS



FOR REFERENCE ONLY. NO
SITE/ROOF SCOPE PROPOSED

1 EXISTING SITE-ROOF PLAN
SCALE: 1"=10'-0"



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EXISTING SITE-ROOF
PLAN

PROJECT NO.	26-123
DATE:	07-29-26
DRAWN BY:	AMZ
REVIEWED BY:	AMZ

PROJECT ARCHITECT:
ADRIANA M. ZIGA, AIA
TEXAS LICENSE NO. 33413

SPOOL



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ISSUE		
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EXISTING/DEMO
EXTERIOR ELEVATIONS

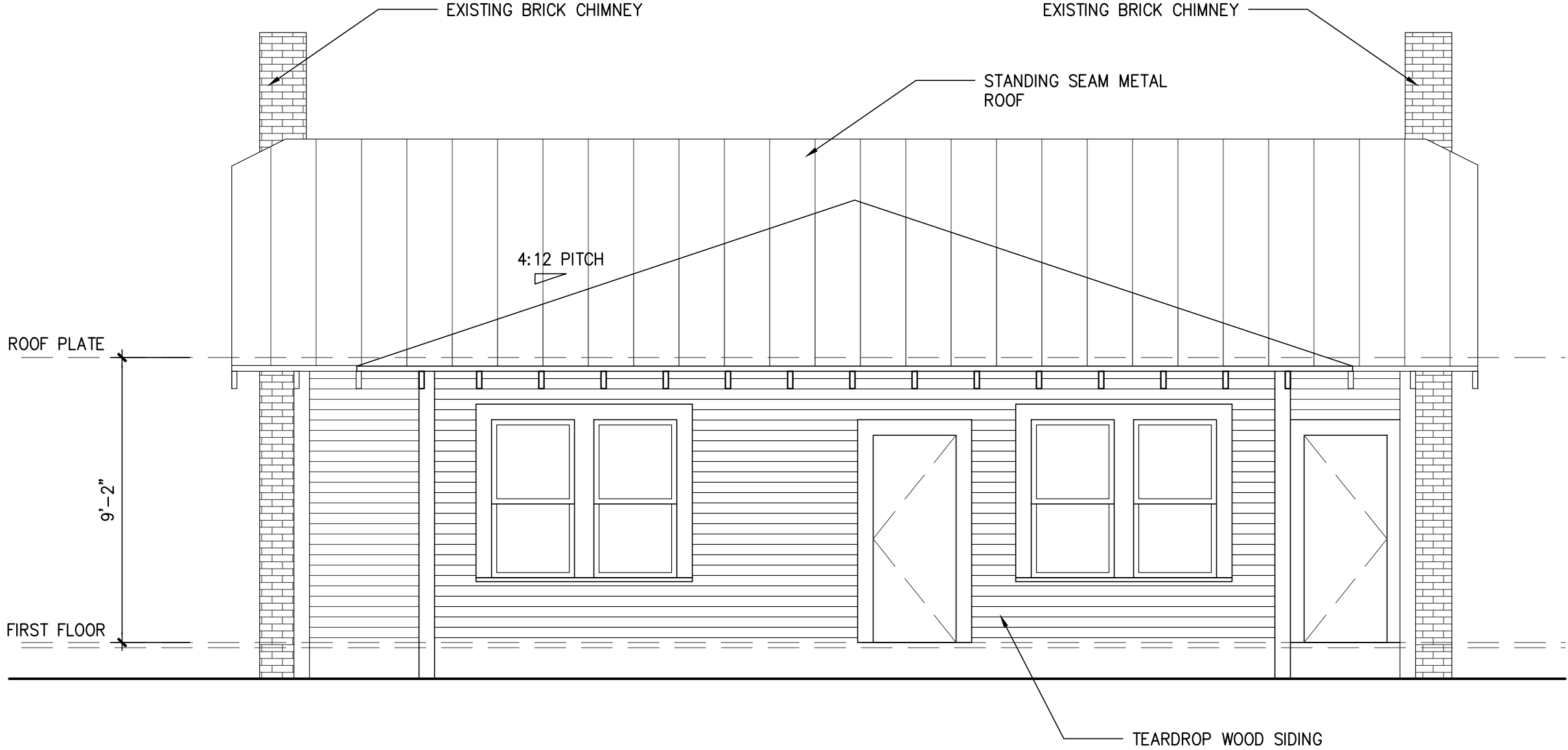
PROJECT NO. 26-123
DATE: 07-29-26
DRAWN BY: AMZ
REVIEWED BY: AMZ

PROJECT ARCHITECT:
ADRIANA M. ZIGA, AIA
TEXAS LICENSE NO. 33413

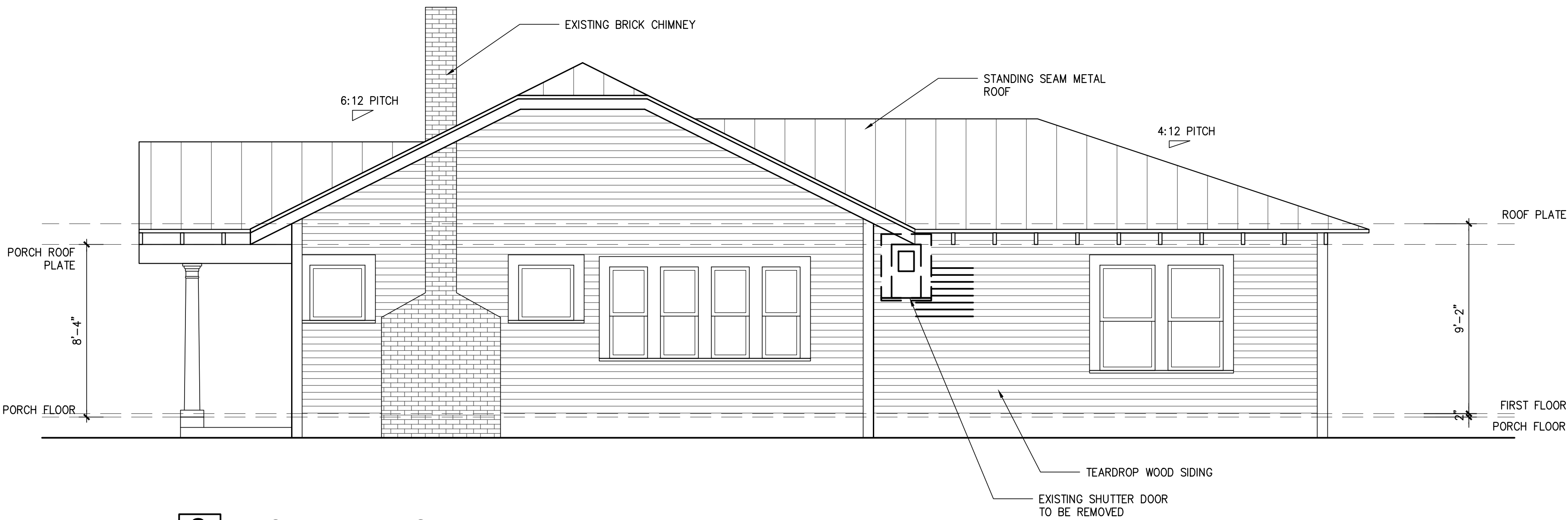
AOO2



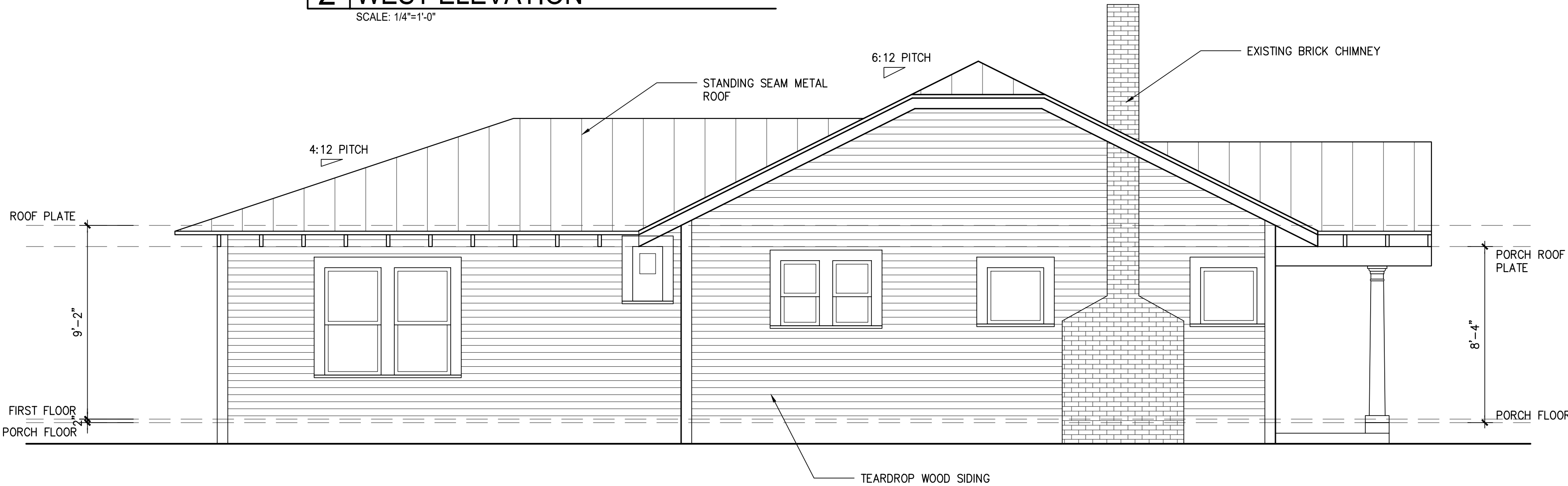
1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 WEST ELEVATION
SCALE: 1/4"=1'-0"



4 EAST ELEVATION
SCALE: 1/4"=1'-0"



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ISSUE

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EXISTING &
PROPOSED FLOOR
PLAN

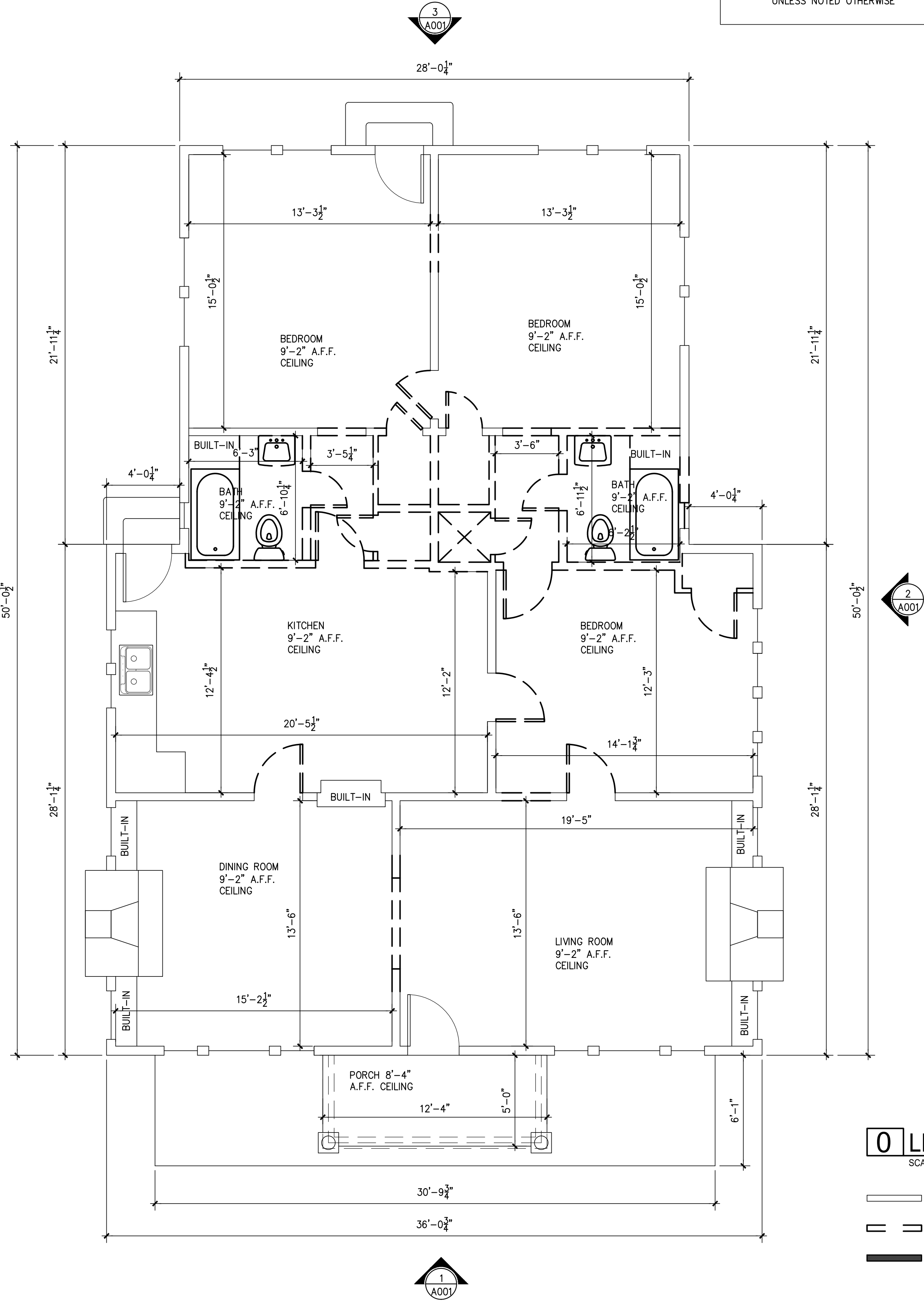
PROJECT NO.	26-123
DATE:	07-29-26
DRAWN BY:	AMZ
REVIEWED BY:	AMZ

PROJECT ARCHITECT:
ADRIANA M. ZIGA, AIA
TEXAS LICENSE NO. 33413

A100

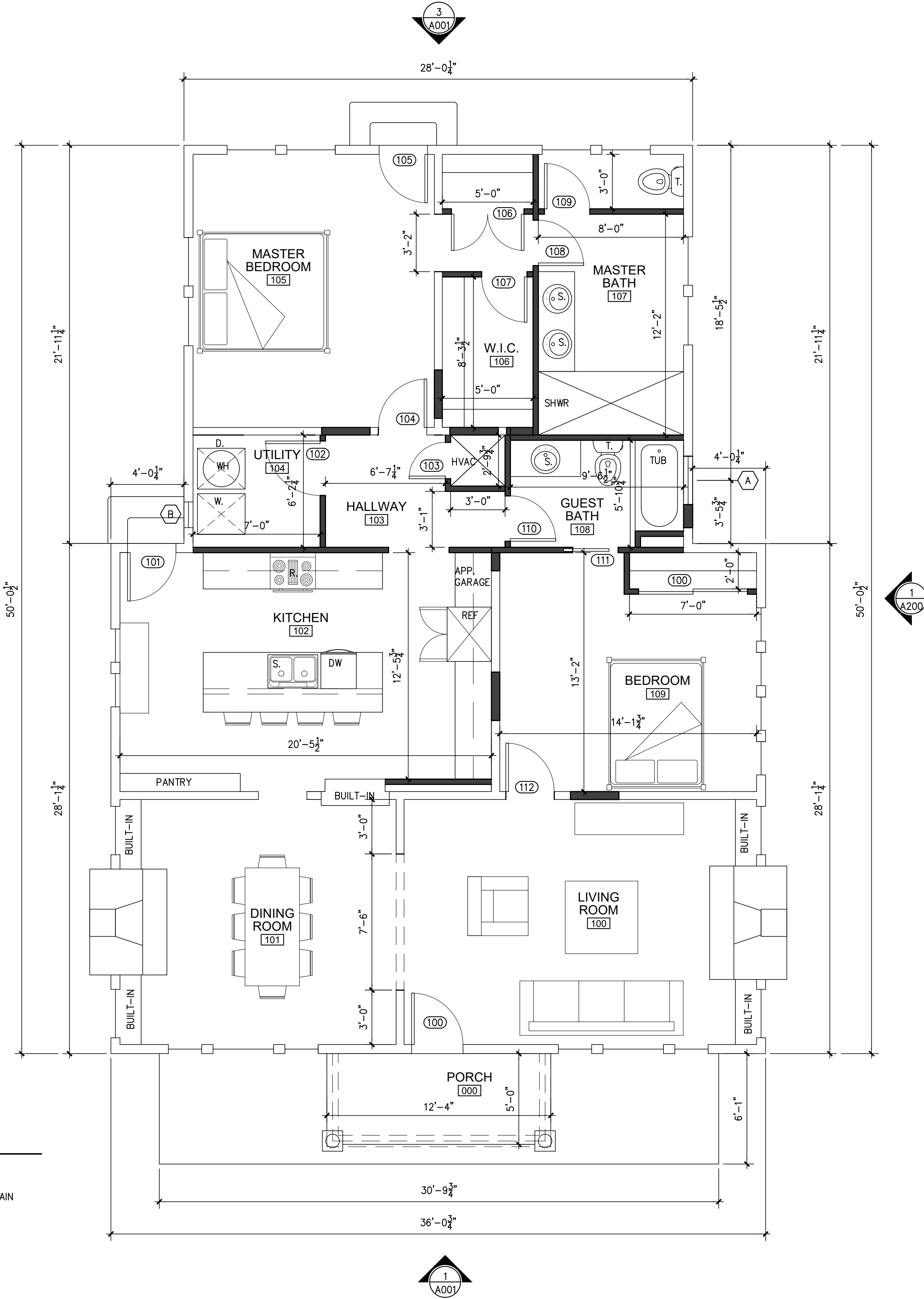
DEMO NOTES:

- ALL EXISTING DOORS AND DOOR
HARDWARE TO BE SALVAGED AND REUSED
- ALL EXISTING BUILT-INS TO REMAIN
UNLESS NOTED OTHERWISE



1 EXISTING/DEMO FLOOR PLAN

SCALE: 1/4"=1'-0"



2 PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"





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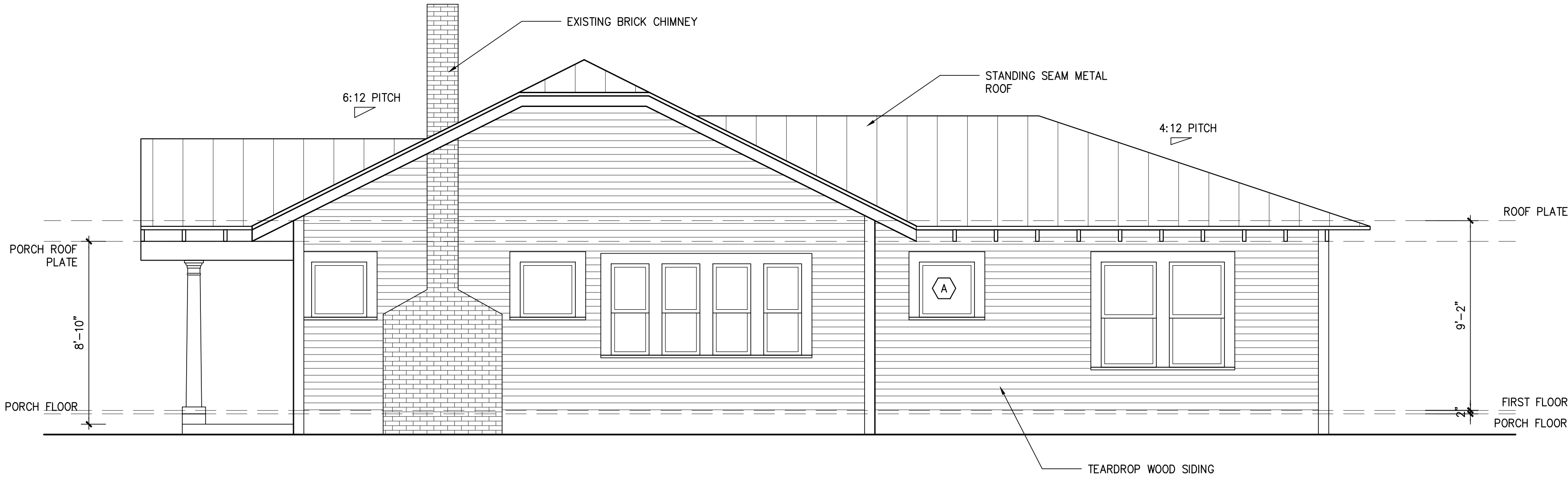
ISSUE		
#	DATE	DESCRIPTION
1	06/17/2026	AS-BUILT SET
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PROPOSED EXTERIOR
ELEVATIONS &
SCHEDULES

PROJECT NO.	26-123
DATE:	07-29-26
DRAWN BY:	AMZ
REVIEWED BY:	AMZ

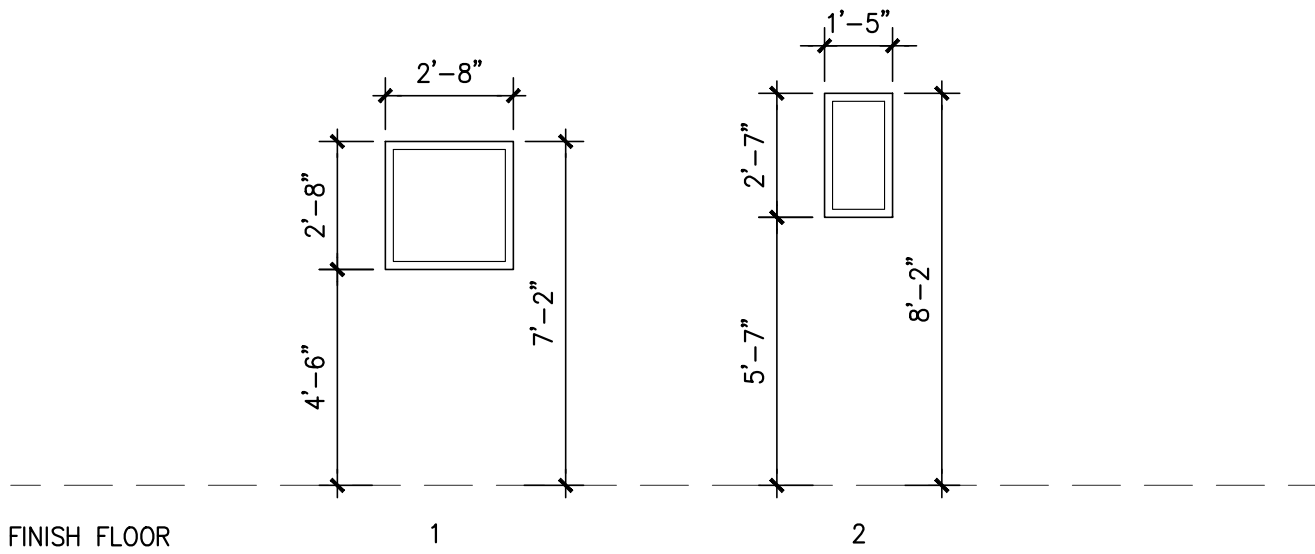
PROJECT ARCHITECT:
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TEXAS LICENSE NO. 33413

A200



2 WEST ELEVATION
SCALE: 1/4"=1'-0"

DOOR SCHEDULE									
NUMBER	LOCATION	SIZE	THICKNESS	TYPE	HARDWARE	FINISH	FRAME FIN.	FRAME TYPE	NOTES
100	ENTRY	34"X81"	0'-2 3/4"	EXTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	SALVAGE DOOR TO BE REINSTALLED
101	KITCHEN	32"X80"	0'-2 3/4"	EXTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	EXISTING TO REMAIN
102	UTILITY	36"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	
103	HALLWAY	24"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	REUSE SALVAGE DOOR
104	MASTER BEDROOM	32"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	REUSE SALVAGE DOOR
105	MASTER BEDROOM	32"X80"	0'-2 3/4"	EXTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	EXISTING TO REMAIN
106	MASTER BEDROOM	48"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	FRENCH DOUBLE DOORS
107	W.I.C.	32"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	REUSE SALVAGE DOOR
108	MASTER BATH	32"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	REUSE SALVAGE DOOR
109	MASTER BATH	32"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	REUSE SALVAGE DOOR
110	GUEST BATH	32"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	REUSE SALVAGE DOOR
111	GUEST BATH	32"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	POCKET DOOR
112	BEDROOM	32"X80"	0'-1 3/4"	INTERIOR	HARDWARE AS SELECTED BY OWNER	PAINTED	PAINTED	WOOD	REUSE SALVAGE DOOR



WINDOW NOTES:
1. ALL WINDOWS TO BE JELD-WEN W-2500 OR ARCHITECT/OWNER APPROVED EQUAL. USE LOW-E 366.

WINDOW SCHEDULE						
SYMBOL	TYPE	SIZE (WXH)	SILL HEIGHT	HEAD HEIGHT	LOCATION	DESCRIPTION
A	1	2'-8"X2'-8"	4'-6" A.F.F.	7'-2" A.F.F.	GUEST BATH	FIXED, USE SAFETY GLASS
B	2	1'-5"X2'-7"	5'-7" A.F.F.	8'-2" A.F.F.	UTILITY	FIXED, KEEP EXTERIOR SHUTTER IN PLACE



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ISSUE		
#	DATE	DESCRIPTION
1	06/17/2026	AS-BUILT SET
2	07/29/2026	CLIENT REVIEW

RCP/ELECTRICAL
PLANS

PROJECT NO.	26-123
DATE:	07-29-26
DRAWN BY:	AMZ
REVIEWED BY:	AMZ

PROJECT ARCHITECT:
ADRIANA M. ZIGA, AIA
TEXAS LICENSE NO. 33413

A500

ELECTRIC PLAN SYMBOLS

- CEILING FAN
- CEILING FAN W/ LIGHT
- PENDANT
- RECESSED CAN DOWNLIGHT
- WALL MOUNTED TELEPHONE OUTLET
- T.V./CABLE OUTLET
- H.L.F. HEAT LIGHT FAN UNIT
- SINGLE POLE SWITCH
- EXHAUST FAN UNIT
- DOOR BELL SWITCH
- MR-16 FLUSH MOUNT SLOT APETURE
- CAT-5 DATA OUTLET
- COMM. PORT (CAT-5, VOICE, COAX. CABLE)
- DIMMER SWITCH
- DOOR JAMB SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- FAN FAN CONTROL / LIGHT SWITCH
- CEILING MOUNT FIXTURE
- RECESSED LOW VOLTAGE PINHOLE
- WALL MOUNT FIXTURE
- UNDERCABINET LOW VOLTAGE PUCK LIGHT
- 120v DUPLEX OUTLET
- DAMP LOCATION
- HALF SWITCHED (HALF HOT) OUTLET
- GROUND FAULT INT. OUTLET
- 4 WAY 120v OUTLET
- 220V OUTLET
- WALL WASH DOWNLIGHT
- CEILING MOUNT EXTERIOR DIRECTIONAL UTILITY FLOOD
- SMOKE/C.O. COMBINATION DETECTORS
- 2x4 FOUR LAMP CEILING MOUNT FLUORESCENT
- LED STRIP IN ALUMINUM CHANNEL

NOTE:

ALL OUTLETS TO BE SPACED AS PER NEC 6'/12'
PLACEMENT RULES

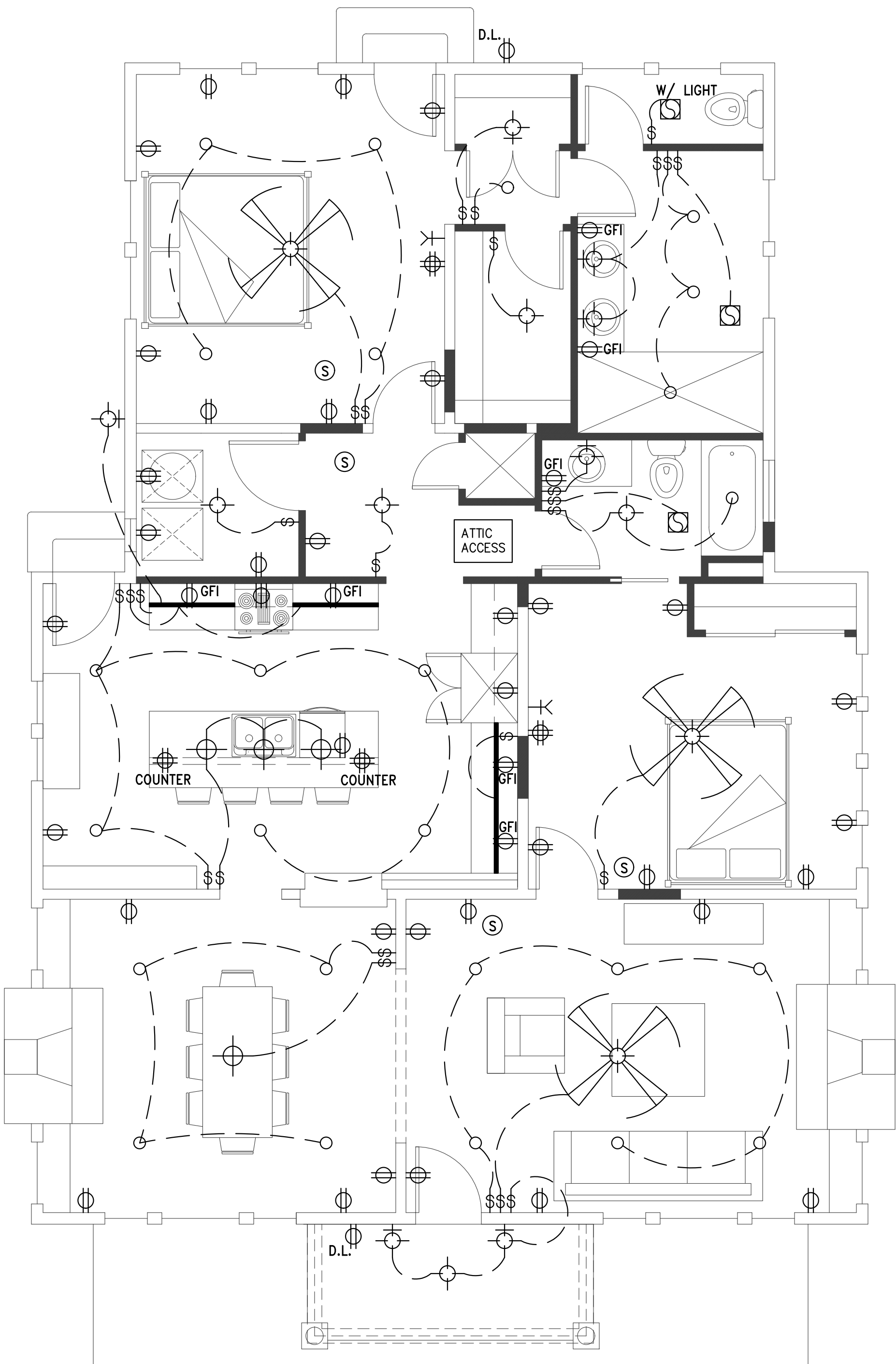
ALL SMOKE DETECTORS SHALL BE ELECTRICALLY HARDWIRES
WITH A BATTERY BACKUP.

ALL SMOKE DETECTORS SHALL BE ELECTRICALLY
INTERCONNECTED, SO THAT IF ONE GOES INTO ALARM, ALL
GO INTO ALARM. INSTALL PER 2024 IFC SECTION
907.210.1.2 AND 2024 IRC SECTION 314.

PROVIDE VACUUM BREAKERS DEVICES ON ALL EXTERIOR
HOSE BIBS.

INSTALL ARC FAULT CIRCUIT INTERRUPTION PROTECTION ON
ALL BEDROOM ELECTRICAL CIRCUITS.

PROVIDE MULTI-ROCKER SWITCHES WHEN POSSIBLE.



1 RCP/ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

