

Res. Imp. App 26  
32 000924



# DEVELOPMENT SERVICES

H, HS, #10  
RM-4

## Residential Improvements Permit Application

All mechanical, electrical, and plumbing work will require separate additional permits.

To apply online please visit our [BuildSA portal](#)

Date: 7/31/26 Owner Name: Gregory C. Ellis  
Address: 127 Crofton Ave, San Antonio, TX 78210

|                                                                               |                           |                                                                |                   |
|-------------------------------------------------------------------------------|---------------------------|----------------------------------------------------------------|-------------------|
| <input type="checkbox"/> Addition _____ sq. ft.                               | <b>Permit Fee</b>         | <input type="checkbox"/> Patio/Porch Cover _____ sq. ft.       | <b>Permit Fee</b> |
| <input type="checkbox"/> Shed (or Converted Shipping Container) _____ sq. ft. | 0-500 sq. ft. - \$150     | <input checked="" type="checkbox"/> Carport <u>160</u> sq. ft. | \$160.00          |
| <input type="checkbox"/> Garage _____ sq. ft.                                 | 501-1,000 sq. ft. - \$425 | <input type="checkbox"/> Deck or Ramp _____ sq. ft.            |                   |

**Inspections Required** A Letter of Inspection Report from a licensed foundation engineer is required to be on file at the completion of the project. See IB 226 for sample letter. A framing inspection will be required (Please Note: an engineer's report for the framing inspection may also be required and will be determined by the inspector in the field). If space is insulated, an insulation report/inspection is required. Once complete with above-mentioned inspections, a final inspection is required.

### General Building Setback Requirements (As determined by current property zoning classification)

| Improvement Type                          | Front | Side | Rear                               | Permit Required                                                                                                                                   |
|-------------------------------------------|-------|------|------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------|
| Addition                                  | 10 ft | 5 ft | 20 ft (attached) / 5 ft (detached) | All additions require a permit.                                                                                                                   |
| Shed                                      | N/A   | 5 ft | 5 ft                               | More than 300 sq. ft.                                                                                                                             |
| Altered Shipping Container (Storage Unit) | N/A   | 5 ft | 5 ft                               | All Altered Shipping Containers used as sheds/storage units require a permit. See IB 540 for requirements.                                        |
| Garage                                    | N/A   | 5 ft | 20 ft (attached) / 5 ft (detached) | All garages require a permit. Street entry requires 20' from property line to garage door.                                                        |
| Deck or Handicap Ramp                     | 10 ft | 5 ft | 20 ft (attached) / 5 ft (detached) | More than 300 sq. ft. OR more than 30" above grade OR attached to dwelling OR serves a required exit door. See IB 151 for additional information. |
| Carport                                   | 10 ft | 5 ft | 20 ft (attached) / 5 ft (detached) | All carports require a permit. Street entry requires 20' from property line to garage door.                                                       |
| Patio/ Porch Cover                        | 10 ft | 5 ft | 20 ft (attached) / 5 ft (detached) | More than 300 sq. ft. OR attached to dwelling.                                                                                                    |

- Please note this application is subject to a processing fee and a 6% surcharge of total permit fee.
- Projects exceeding 1,000 sq. ft. or greater than a single story will require plan review - do not use this form.

Registration Holder: \_\_\_\_\_ City Registration #: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Delegate: \_\_\_\_\_  
Homeowner Name: Gregory Ellis Phone #: 609-658 4055  
Escrow # (if applicable): \_\_\_\_\_ Email: gregorycellis@gmail.com

Work Summary: Removable 10' x 16' carport that adheres com to 10' & 5' setback requirements.

The scope of work submitted on this permit application constitutes the only work which is allowed to take place. Any additional remodeling, modifications, or other work outside this scope will result in additional review. This may require plan submittal and additionally assessed fees.

(Initial) Homeowners Only: I understand that by initialing here and my signature below, I attest that I own and will own (occupy or rent) this residence for a period of 12 months after the completion of this project per City Code 10-115 (a)(1). I am requesting a homeowner's permit to remodel my home and will be responsible for all inspections as required by Development Services.

I understand that this permit belongs to the permit applicant and is valid for 6 months from the date of issuance.

Applicant Signature: [Signature]

H, HS, R10 & RM4

# Site Plan

Address: 127 Crofton Ave, SA 78210

Zoning: \_\_\_\_\_

- ☐ Addition
- ☒ Carport
- ☐ Deck
- ☐ Garage
- ☐ Patio/Porch Cover
- ☐ Shed
- ☐ Existing Structures
- ☐ Property Lines
- ☐ Setbacks

## Setback Measurements

Front: 16'5"

Rear: \_\_\_\_\_

Side: 5' (right)

Side: 50'+ (left)

Notes: Removable

Carport in  
King William  
Historic District

New 160 SQFT REMOVABLE CARPORT DETACHED TO Front

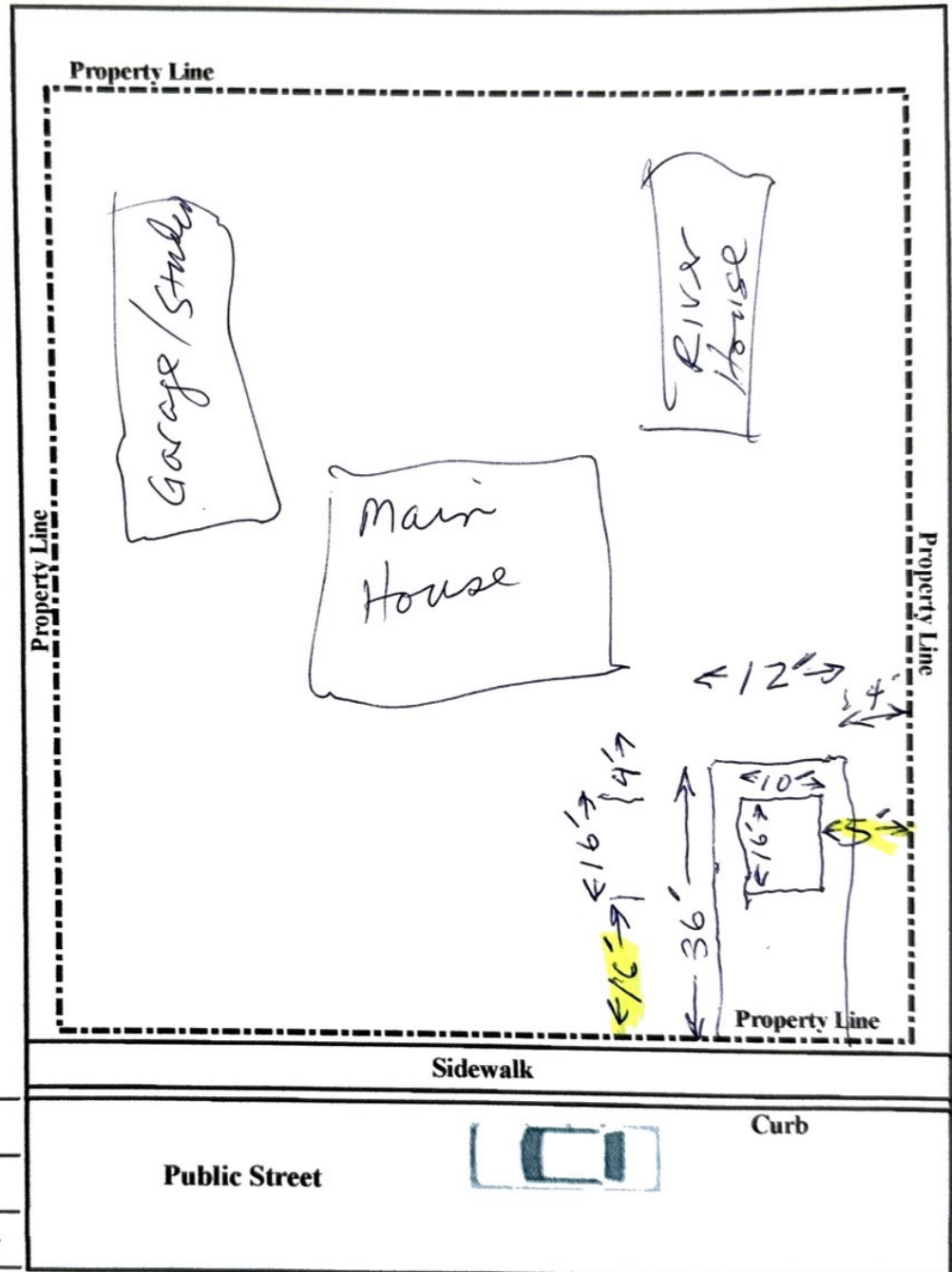
FRONT OF EXISTING HOME ON POST ATTACHED ANCHORED TO FOOTINGS

I certify that the above site plan shows all improvements on this property to scale and that there will be no construction over easements.  
I also certify that I will build in compliance with current codes and ordinances.

Date: 8/3/26

Applicant Signature: \_\_\_\_\_

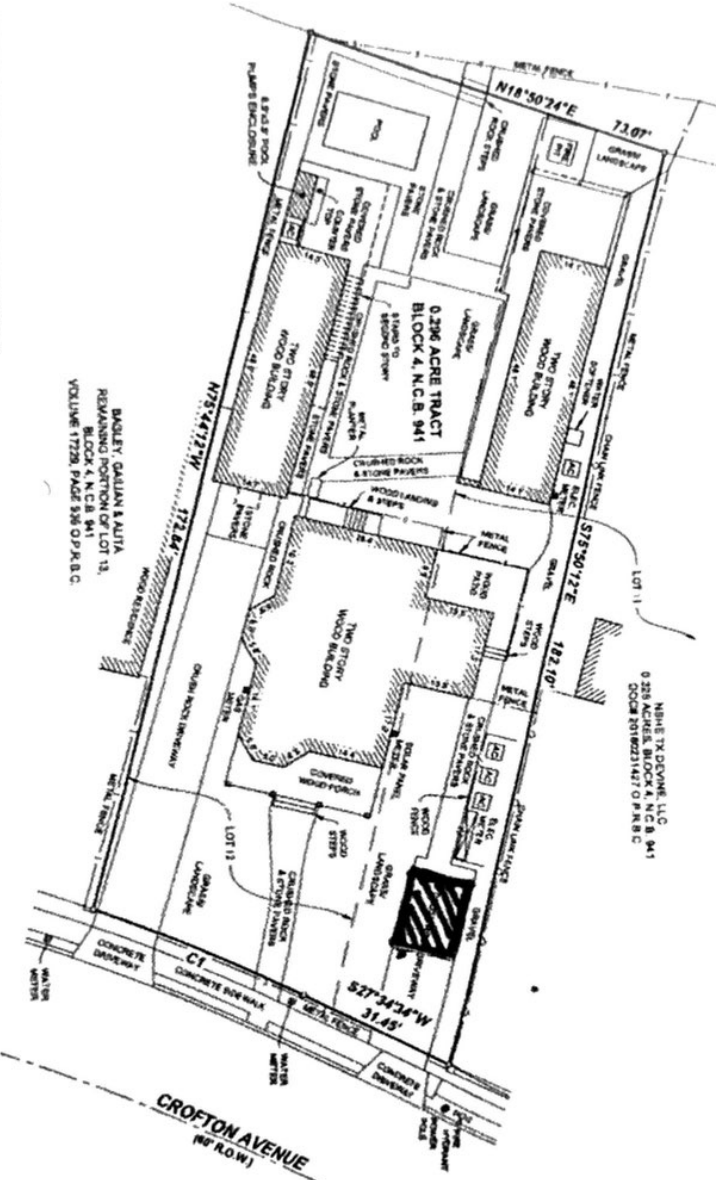
Rear



SAN ANTONIO RIVER

| CURVE TABLE |        |        |          |             |
|-------------|--------|--------|----------|-------------|
| CURVE #     | ADIUS  | LENGTH | DEG. 1/4 | TANGENT     |
| C1          | 433.00 | 43.26  | 87.42°   | 21.66       |
|             |        |        |          | SSA 42°46'W |

**Flores & Company**  
Consulting Engineers, Inc.  
Texas Registered Engineering Firm No. 1174  
5205 Jones Substation, Suite 401  
San Antonio, Texas 78247  
210.482.5500 Phone  
210.482.1000 Fax



BAILEY, GAILAN & ALITA  
REMAINING PORTION OF LOT 13,  
BLOCK 4, N.C.B. 941  
VOLUME 17729, PAGE 595 O.P.R.B.C.

NHIE TX DEVINE, LLC  
0.220 ACRES, BLOCK 4, N.C.B. 941  
S.O.C.A. 20180221417 O.P.R.B.C.

**PROPERTY SURVEY OF:**

BEING 0.296 ACRES OF LAND, CONSISTING OF HALF OF LOT 11 AND ALL OF LOT 13, BLOCK 4, N.C.B. 941, SITUATED IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, SAWS AS EXCEPT THAT PORTION OF LAND DEEDED TO THE SAN ANTONIO RIVER AUTHORITY RECORDED IN VOLUME 8335, PAGE 794, OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.



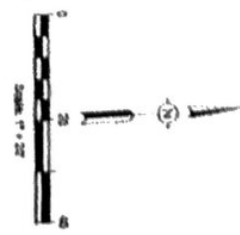
The 1st day of NOVEMBER, A.D. 2014  
I, *Thomas Flores*  
Surveyor  
111.519

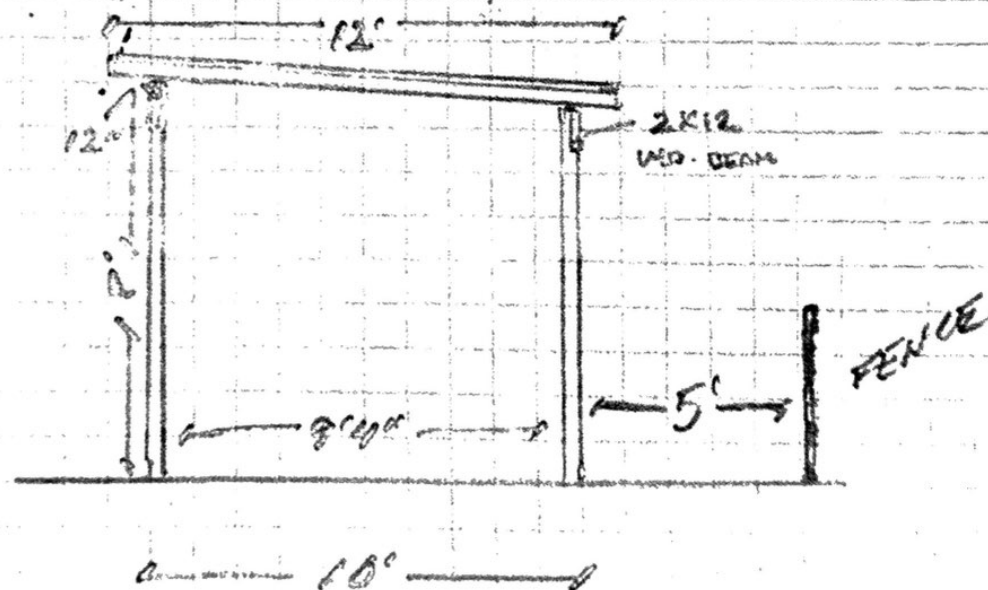
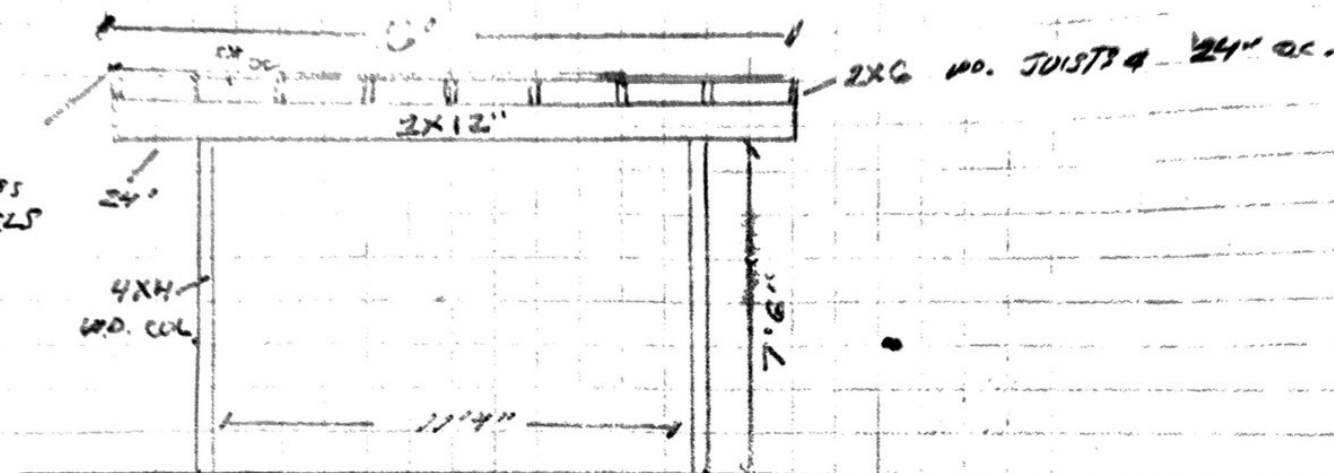
**ADDRESS:**  
117 CROFTON AVENUE

**CERTIFICATION**

I hereby certify that the above is a true and correct survey of the land described in the foregoing plat, and that the same is in accordance with the laws of the State of Texas, and the rules and regulations of the State Board of Surveyors, and that the same is in accordance with the laws of the State of Texas, and the rules and regulations of the State Board of Surveyors, and that the same is in accordance with the laws of the State of Texas, and the rules and regulations of the State Board of Surveyors.

- NOTES:
1. SHOWING 10' SET AT ALL CORNERS WITH YELLOW CAP LAMENED "FLORES & CO." UNLESS OTHERWISE NOTED.
  2. SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.





127 CROFTON AVE.