



A. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIAL INCLUDING THOSE FURNISHED BY SUB-CONTRACTORS.

B. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE BUILDING CODE AND ALL LOCAL CODES. IRC, IBC 2021 CODES

C. THE CONTRACTOR SHALL REPORT TO THE DESIGNER ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS HE/SHE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE DESIGNER AFTER CONSTRUCTION HAS COMMENCED OR EXISTING CONDITIONS HAVE BEEN ALTERED.

D. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HERE OR NOT. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES TO OBTAIN LOCATION, ADDITIONAL PERMITS, INSPECTIONS, AND SPECIAL APPROVALS. THE CONTRACTOR TO PROTECT ALL UTILITIES FROM DAMAGE AND SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF WORK.

E. CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE CITY OR GOVERNING AGENCIES.

F. CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.

G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE JOB IS IN PROGRESS AND UNTIL JOB IS COMPLETED.

H. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS BE LEFT IN A CLEAN BROOM CONDITION AT ALL TIMES.

I. WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOR ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED REGARDING WORK TO EXISTING AND NEW FRAMING, WINDBRACING AND FOUNDATION.

1. VERIFY ALL DIMENSIONS AT JOB SITE.
2. DO NOT SCALE DRAWINGS.
3. USE TREATED WOOD AS BASE PLATES @ ALL EXTERIOR WALLS
4. ALL STUDS ARE 16" O.C.
5. WINDOW'S SIZES NOTED ARE NOMINAL UNIT SIZES.
VERIFY ACTUAL ROUGH OPENING DIMENSIONS W/ MFR.
6. R-38 BATT INSULATION TO BE USED FOR
CEILING, AND R-13 FOR EXTERIOR WALLS.
7. 5/8" DRYWALL TAPED AND SANDED.
8. ALL HEADER SPACERS TO BE CONTINUOUS 1/2" PLYWOOD.
9. NOT USED
10. FOR WIND BRACING @ CORNERS USE 1/2" PLYWOOD
BLOCKING @ SPICE.
11. ALL EXTERIOR SURFACES AS
INDICATED AT EXTERIOR ELEVATIONS.
12. PROVIDE CASING BEND WITH WEEPS & FLASHING
AT ALL STUCCO/WINDOW CONDITIONS.
12. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS &
ARE FRAME DIMENSIONS.
13. PROVIDE REQUIRED VENTS AT ALL PLUMBING LOCATIONS
AS PER IBC, IRC 2004 CODES

FIRST FLOOR - NEW CONSTRUCTION		
CONCRETE PATIO	- BASEMENT LEVEL	331 S.F.
WOOD PATIO DECK	- STREET LEVEL	321 S.F.
		652 S.F.

134 EAST AGARITA AVENUE
SAN ANTONIO, TEXAS 78212

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THE JT STUDIO LLC

DESIGNER:



JTERRAZAS@THEJTSTUDIO.COM
TEL: (210) 452-4895

STRUCTURAL ENGINEER - RDPIO:

VILLARREAL DESIGN
GROUP LLC
JOSE VILLARREAL,
P.E. 91208
TEXAS FIRM 12109

PROJECT DESCRIPTION:

INTERIM REVIEW ONLY.
PRELIMINARY DRAWING
FOR OWNER AND OHP
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DOCUMENT INCOMPLETE,
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PROJECT:

2-STORY PATIO & WOOD DECK RESIDENTIAL ADDITION

134 EAST AGARITA AVENUE
SAN ANTONIO, TEXAS 78212

REVISIONS:

SHEET TITLE
PATIO-BALCONY
ADDITION CROSS
SECTION

DATE

PROJECT NO.

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D-3.0

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NEW 8x8 CEDAR OR MOISTURE RESISTANT COMPOSITE WD RAILING POST, 42" ABOVE FINISH FLOOR DECKING. POST SHOULD BE FASTENED TO STRUCTURAL BEAMS. CONTRACTOR TO FIELD VERIFY TOTAL REQUIRED HEIGHT. WRAP POST W/ TPO LAYER ACCORDINGLY FOR PROPER WATER DRAINAGE/ PROTECTION. PROVIDE BEVELED EDGE TOP HAND RAIL AND POST CAPS AS SHOWN. PROVIDE POST TENSION STEEL CABLE DECK RAILING 4" O.C. MAX. AS SHOWN.

2x4 WOOD RIM BOARD AT END OF 2x6 TAPERED SLEEPERS. PROVIDE WOOD OR COMPOSITE PLANK TRIM BOARD AT PERIMETER OVER RIM BOARD. EXTEND EDGE OF 1x WOOD/ COMPOSITE PLANK DECKING TO EDGE OF TRIM AS SHOWN.

PROVIDE A CONTINUOUS COATED MTL. DRIP EDGE FLASHING WITH HEMMED EDGE OVER CLEAT & GUTTER, FASTEN TO WD. NAILER. EXTEND TPO LAYER STRIP (10" MIN.) OVER MTL. FLASHING TO BE HEAT WELDED.

PRE-FINISHED, GALV. METAL GUTTER AT EDGE OF TPO ASSEMBLY. INSTALL GUTTER MTL. FLANGE OVER TPO MEMBRANE, OVER WOOD NAILER. TPO SHOULD EXTEND DOWN WD. NAILER BUT NOT TERMINATE BELOW GUTTER EDGES. INSTALL A CONTINUOUS MTL. FASCIA CLEAT OVER GUTTER AND FASTEN TO WD. NAILER. PROVIDE TPO CAULK GRADE SEALANT/ STRIP AT ALL PENETRATIONS AS REQUIRED.

2x10 RIM BOARD. PROVIDE EXTERIOR FINISH TO MATCH DECK.

STRUCTURAL PRE-ENGINEERED LVL BEAMS. REFERENCE STRUCTURAL FOR SPECS. LVL BEAMS TO BE PROTECTED & WRAPPED W/ MOISTURE BARRIER. PROVIDE A CEDAR OR COMPOSITE PLANK CLADDING FOR EXTERIOR FINISH TO MATCH COLUMN. COORDINATE FINAL MATERIAL AND STAIN FINISHES W/ OWNER.

PROVIDE 1x CEDAR WOOD TRIM AT CEDAR COLUMN TOP AND BOTTOM.

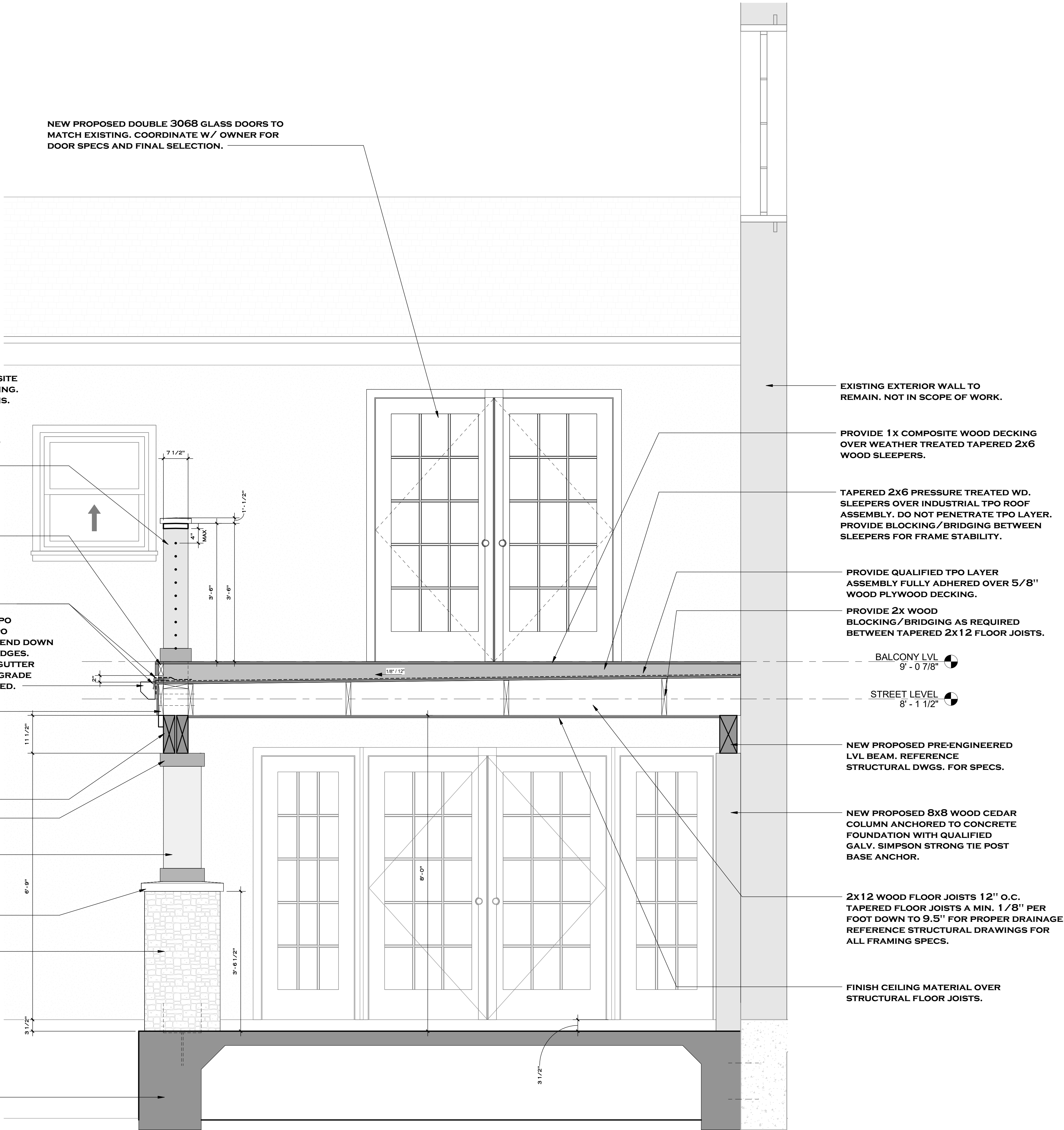
NEW 12x12 CEDAR COLUMN ANCHORED TO FOUNDATION W/ QUALIFIED SIMPSON STRONG TIE GALV. POST BASE ANCHOR.

PROVIDE STONE CAP AT TOP OF STONE VENEER TO DRAIN AWAY FROM COLUMN.

PROPOSED STONE VENEER FINISH AT COLUMN BASE 42" AFF.

NEW PROPOSED STRUCTURAL CONCRETE FOUNDATION. REFERENCE STRUCTURAL DRAWINGS FOR ALL DETAILS AND SPECS.

NEW PROPOSED DOUBLE 3068 GLASS DOORS TO MATCH EXISTING. COORDINATE W/ OWNER FOR DOOR SPECS AND FINAL SELECTION.



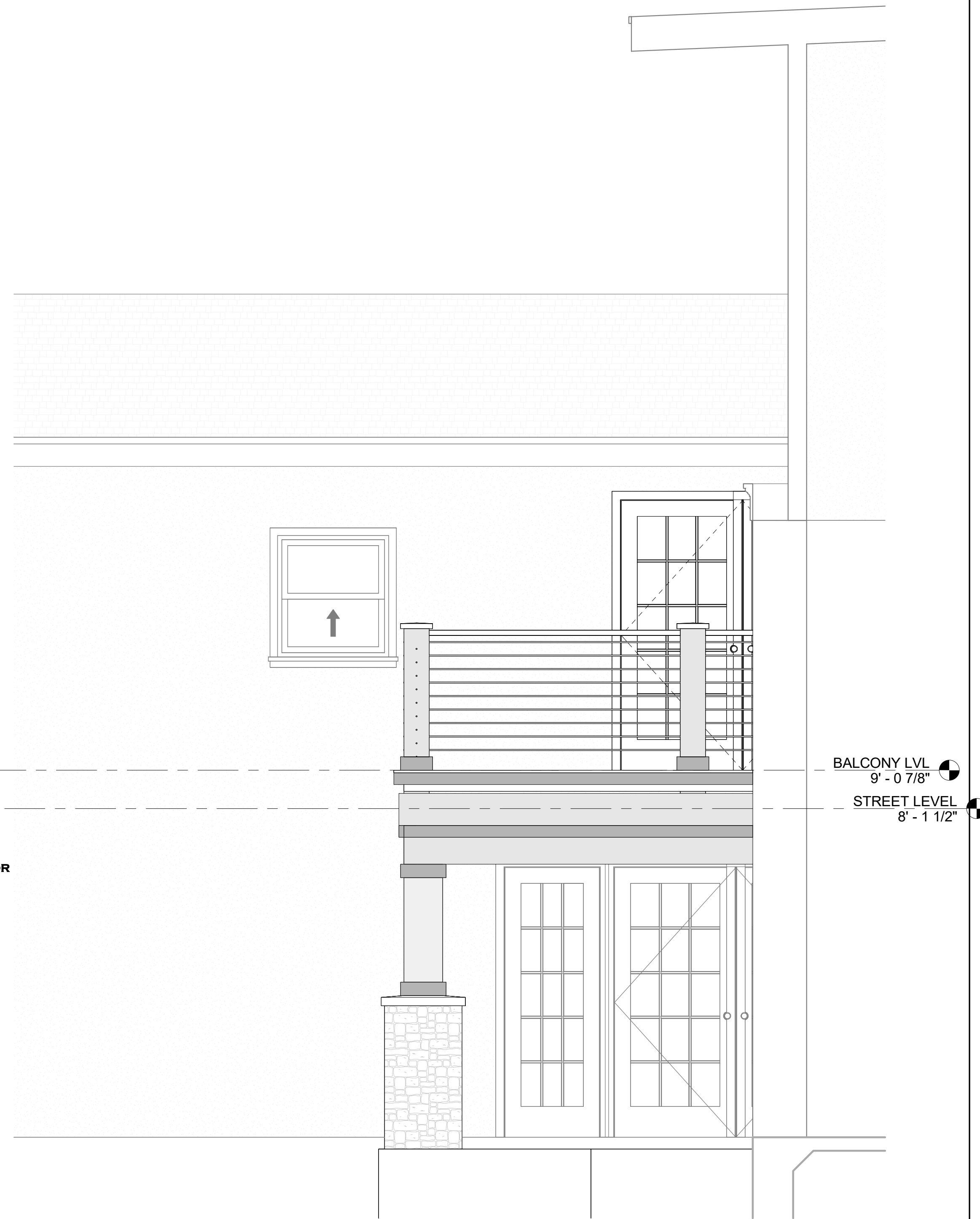
4

BUILDING SECTION @ NEW PATIO-BALCONY ADDITION

3/4" = 1'-0"



4 PATIO-BALCONY ADDITION - FRONT ELEVATION
1/2" = 1'-0"



5 PATIO-BALCONY ADDITION - SIDE ELEVATION
1/2" = 1'-0"

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ADDITION**
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REVISIONS:

SHEET TITLE
**PATIO-BALCONY
ADDITION EXTERIOR
ELEVATIONS**

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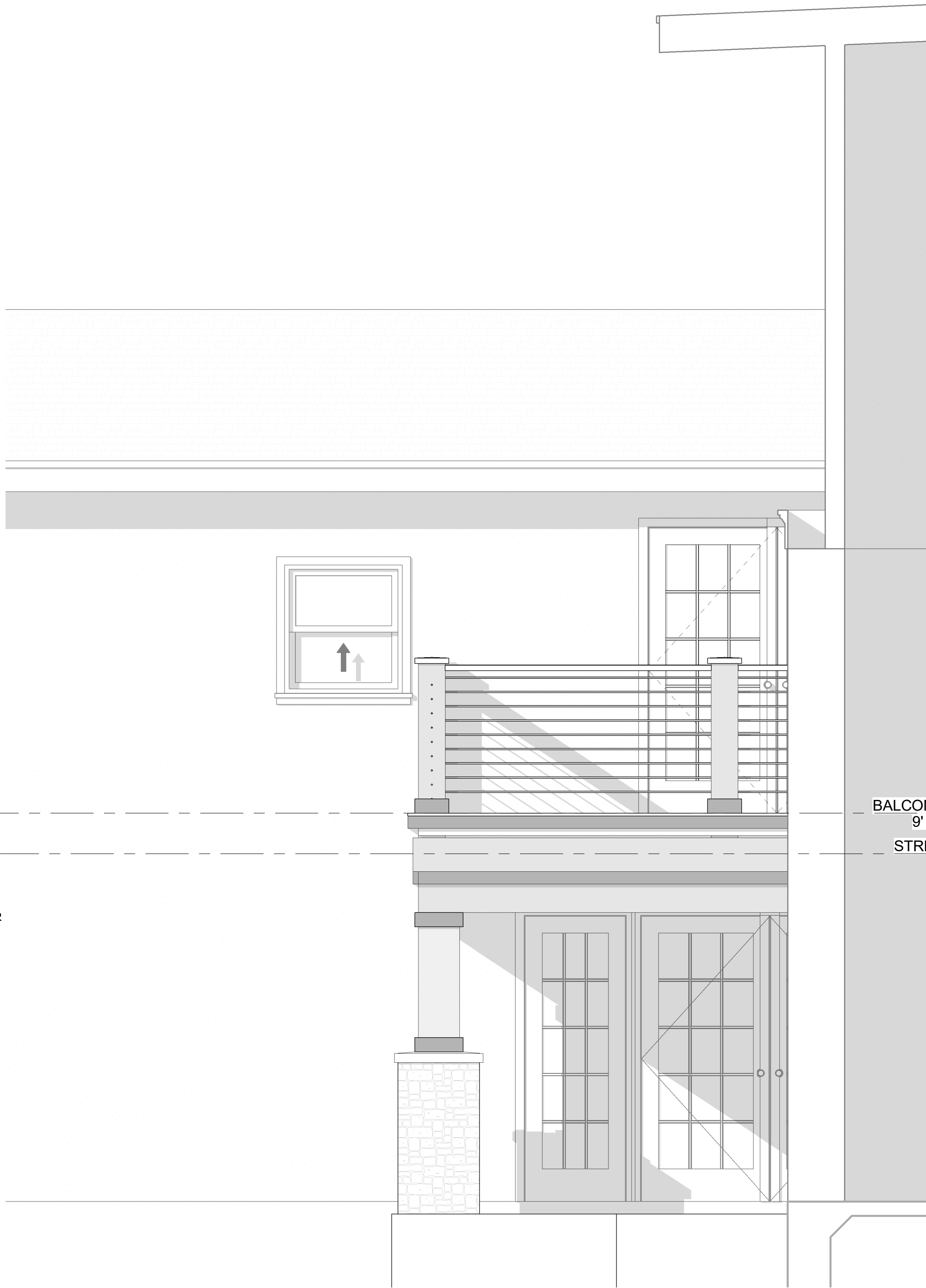
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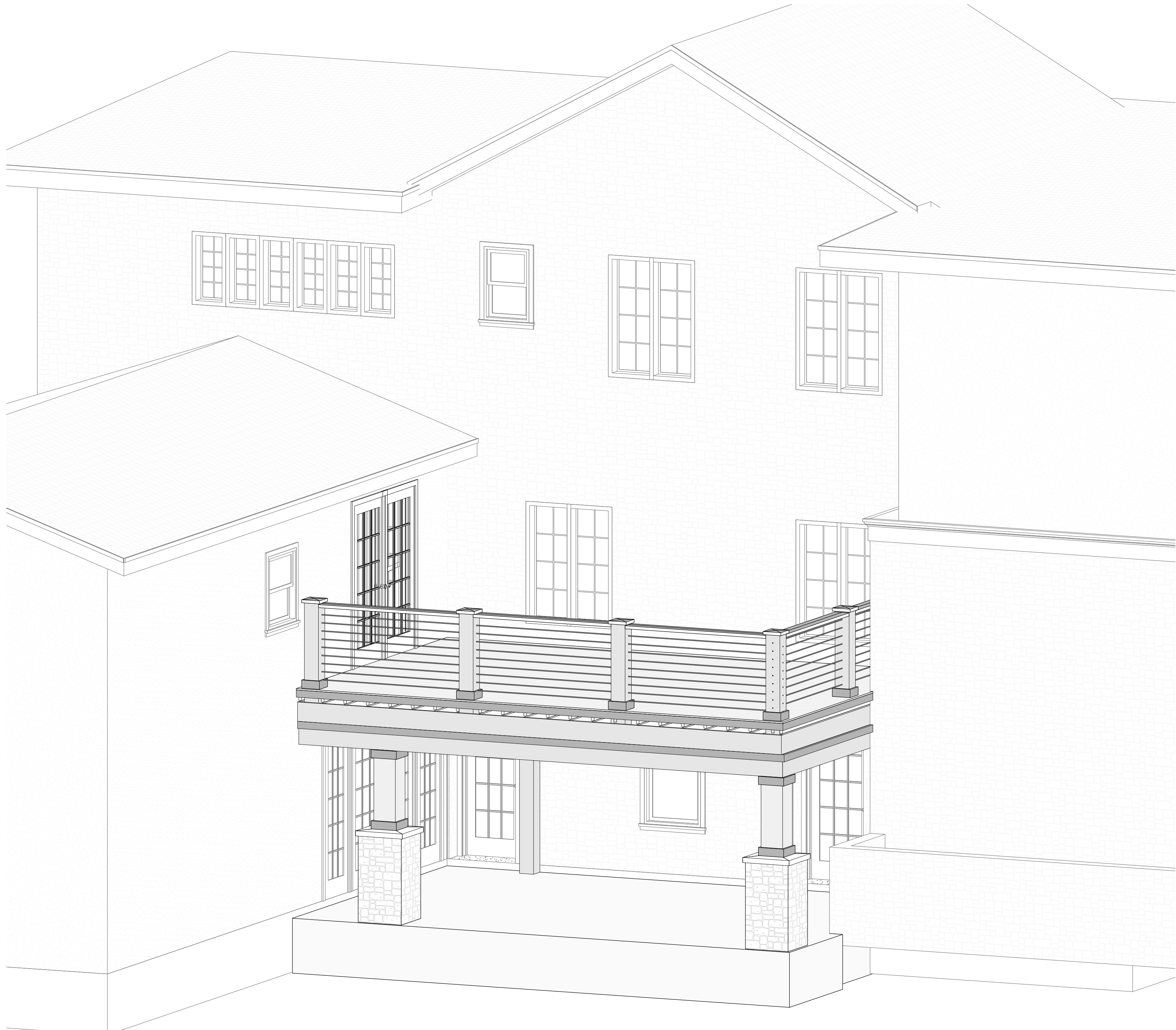
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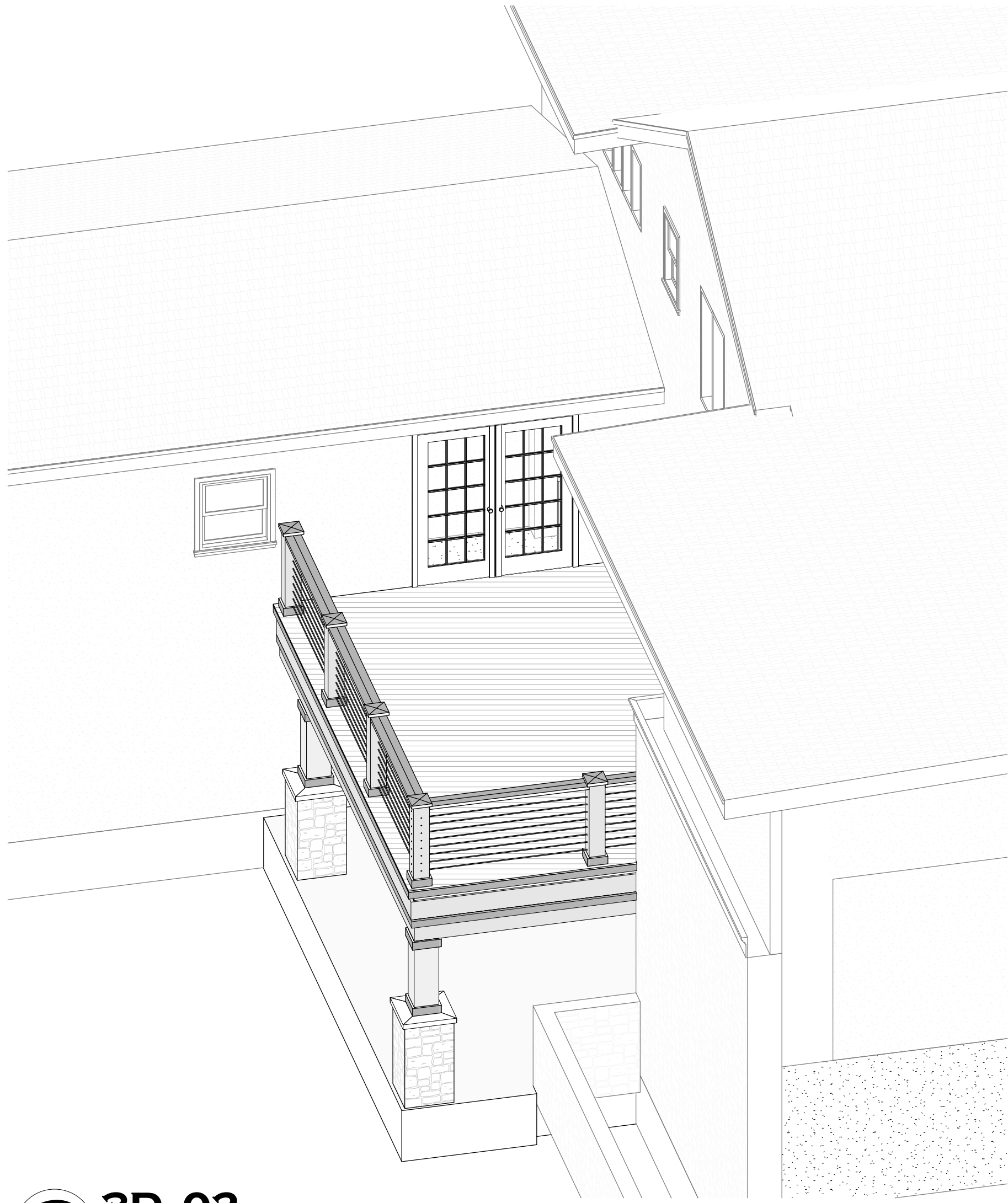
4 PATIO-BALCONY ADDITION - FRONT ELEVATION
1/2" = 1'-0"



5 PATIO-BALCONY ADDITION - SIDE ELEVATION
1/2" = 1'-0"



1 3D-01



3 3D-02



2 3D-03

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3D VIEWS

DATE

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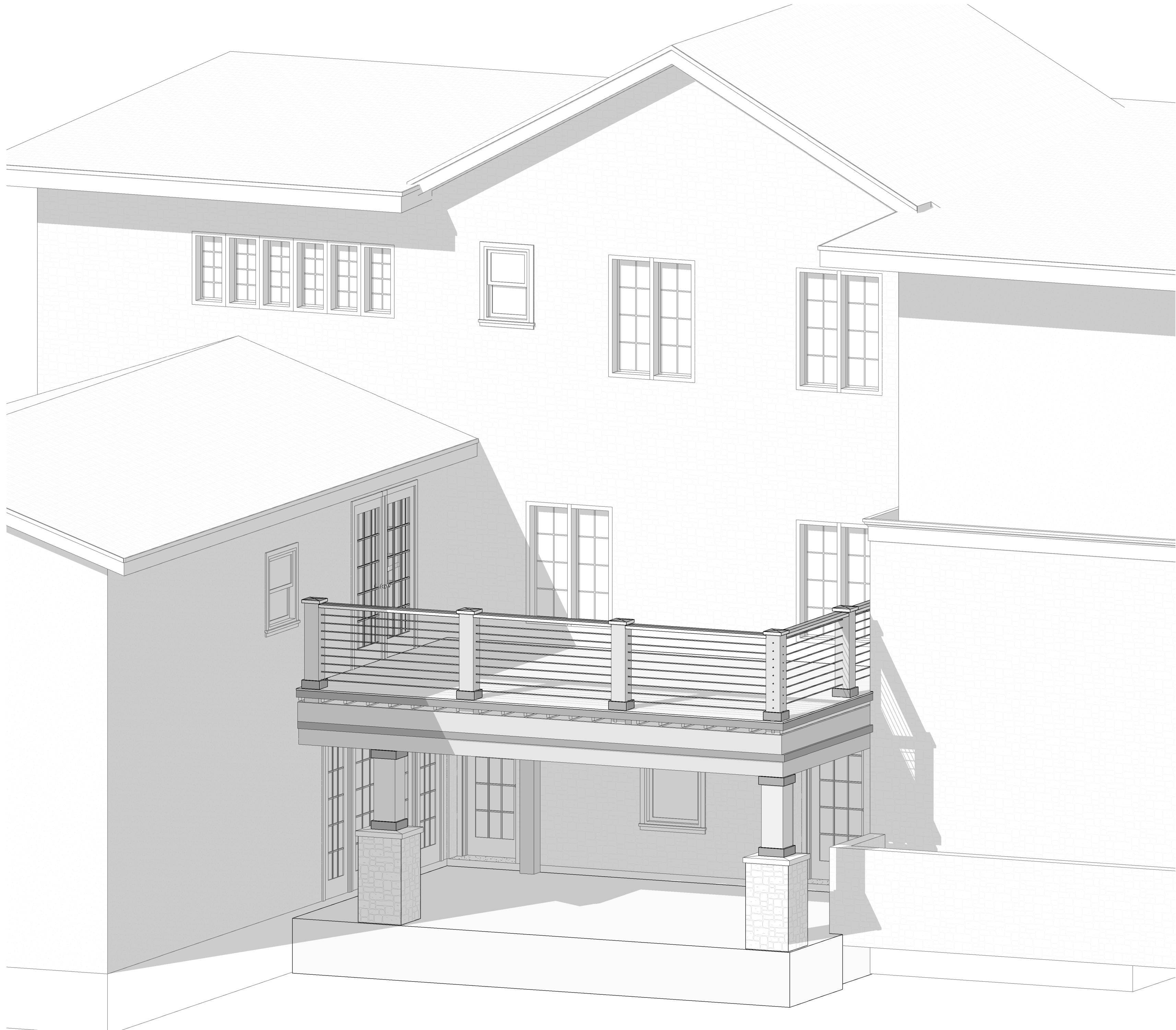
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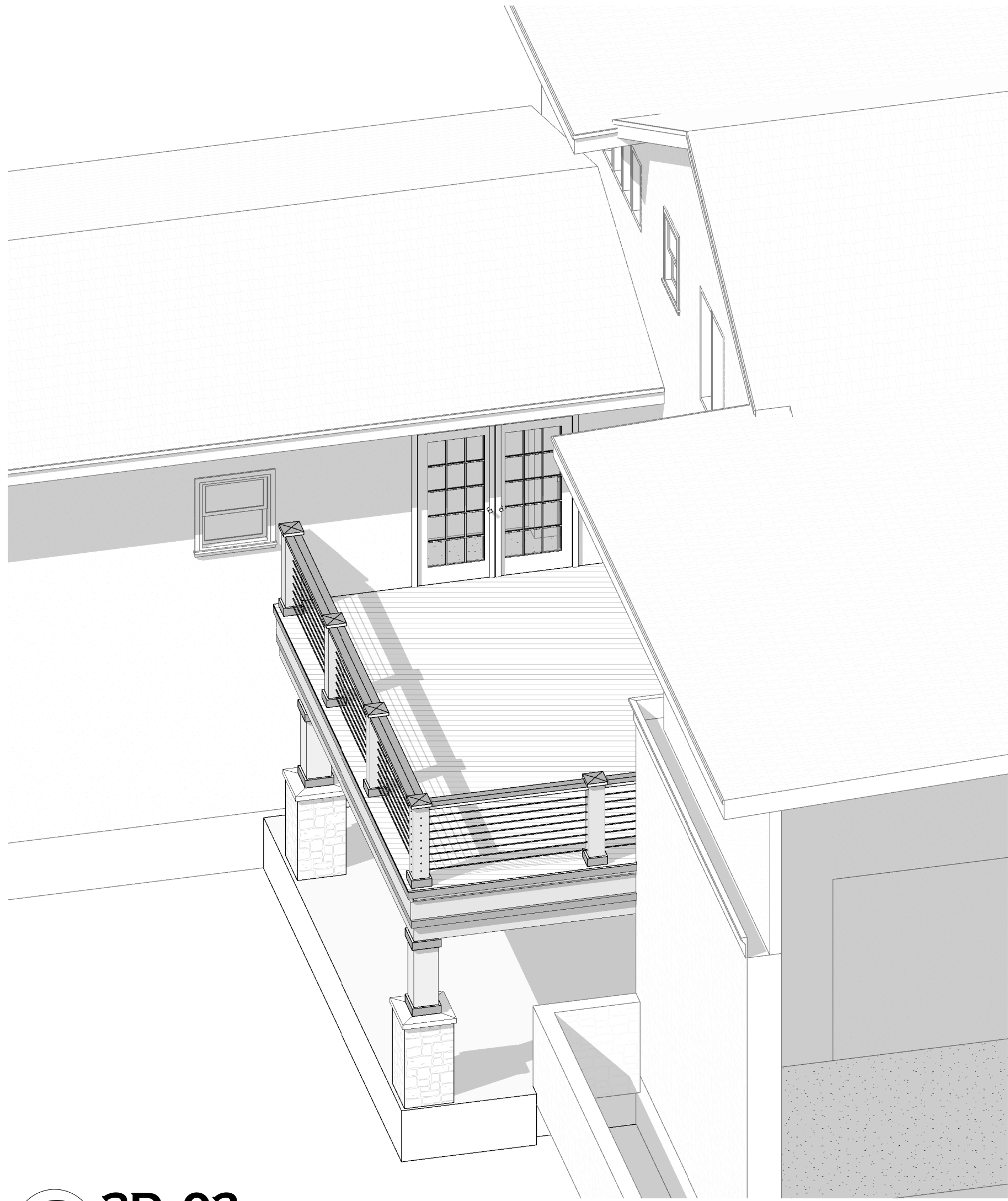
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1 3D - 01



3 3D -02



2 3D -03

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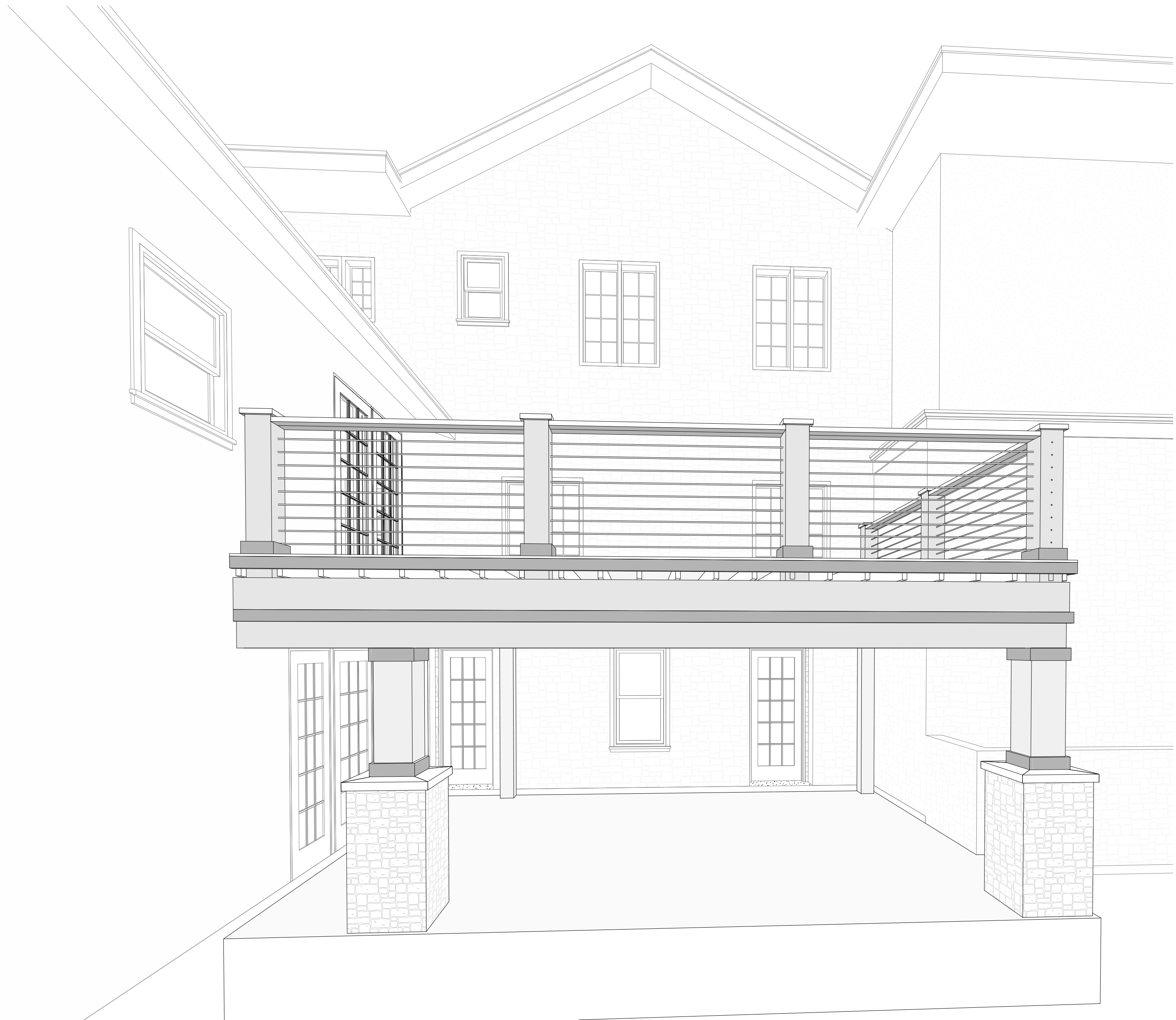
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1 3D PERSPECTIVE 01



2 3D PERSPECTIVE 02

DESIGNER:



JTERRAZAS@THEJTSTUDIO.COM
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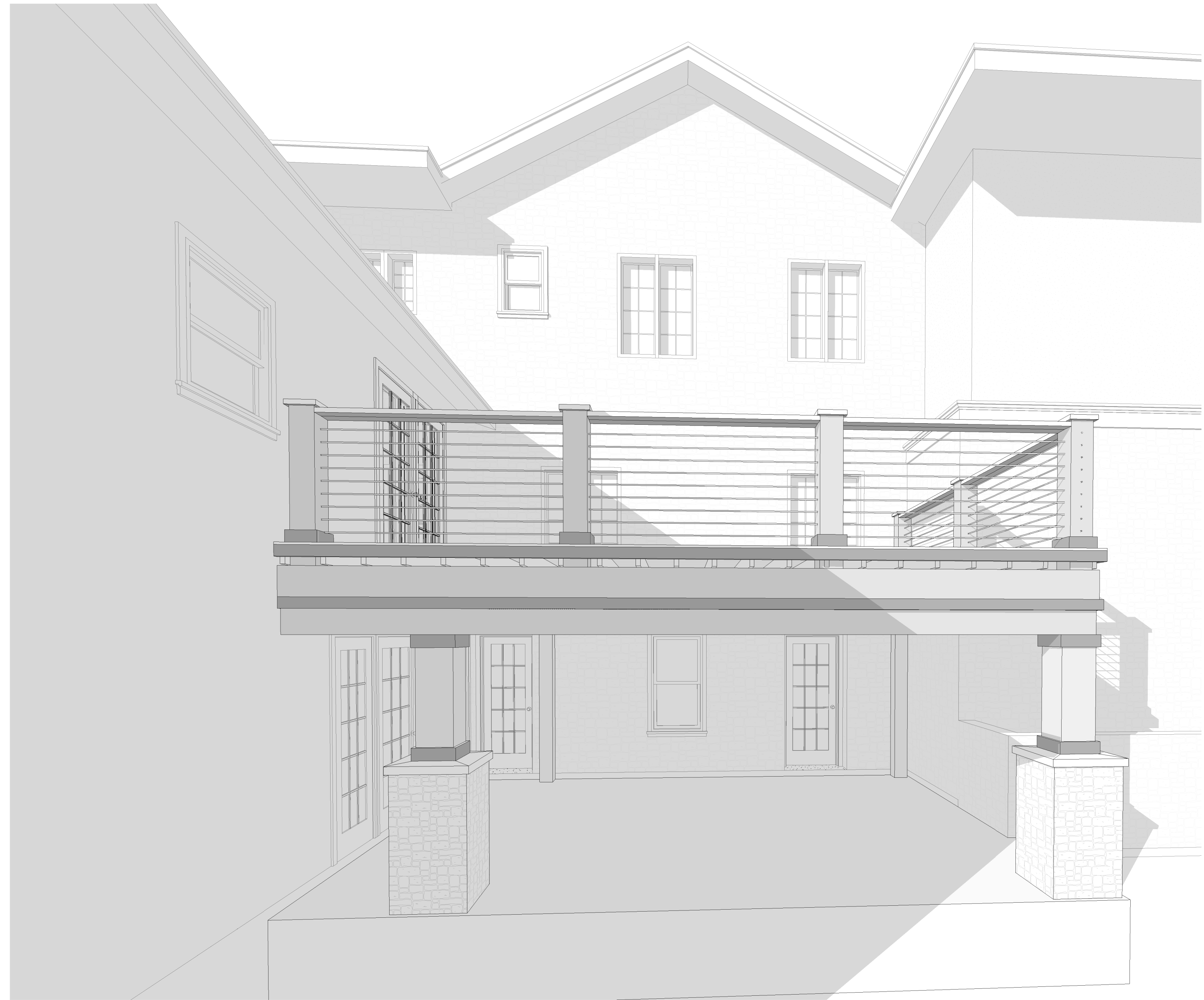
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