

HISTORIC AND DESIGN REVIEW COMMISSION

August 2, 2023

HDRC CASE NO: 2023-286
ADDRESS: 2030 W MULBERRY AVE
LEGAL DESCRIPTION: NCB 1952 BLK 20 LOT 21
ZONING: R-6, H
CITY COUNCIL DIST.: 7
DISTRICT: Monticello Park Historic District
APPLICANT: Jerry Woolf | J.B. Woolf Sheds
OWNER: Robert Chalk
TYPE OF WORK: Construction of a garage structure
APPLICATION RECEIVED: July 7, 2023
60-DAY REVIEW: September 5, 2023
CASE MANAGER: Bryan Morales

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a detached, split-bay garage on a slab foundation at the rear of the property.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, New Construction

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

- i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements, and a variance may be required.

FINDINGS:

- a. The structure located at 2030 W Mulberry Ave is a one-story, single-family Tudor home constructed c. 1926. The structure features a cross gable composition shingle roof with a steep front facing gable, a pair of ganged wood windows to the right and three ganged wood windows to the left, and is clad in brick. The property is contributing to the Monticello Park Historic District.
- b. **NEW CONSTRUCTION (ACCESORY STRUCTURE)** – The applicant is requesting to construct a one-story, split-bay detached garage at the rear of the property. The Guidelines for New Construction 5.A. notes that new garages and outbuildings should be visually subordinate to the primary historic structure in terms of their height, massing, and form, and should be no larger in plan than forty percent of the primary historic structure’s footprint. The existing primary structure on the lot features a footprint of 1,672 square feet and one story in height. The proposed one-story accessory structures feature a total footprint of approximately 576 square feet, or approximately 34% of the primary structure’s footprint. Accessory structures on the block are predominately single story in the neighborhood. Staff finds the proposed height and general massing conforms to guidelines.

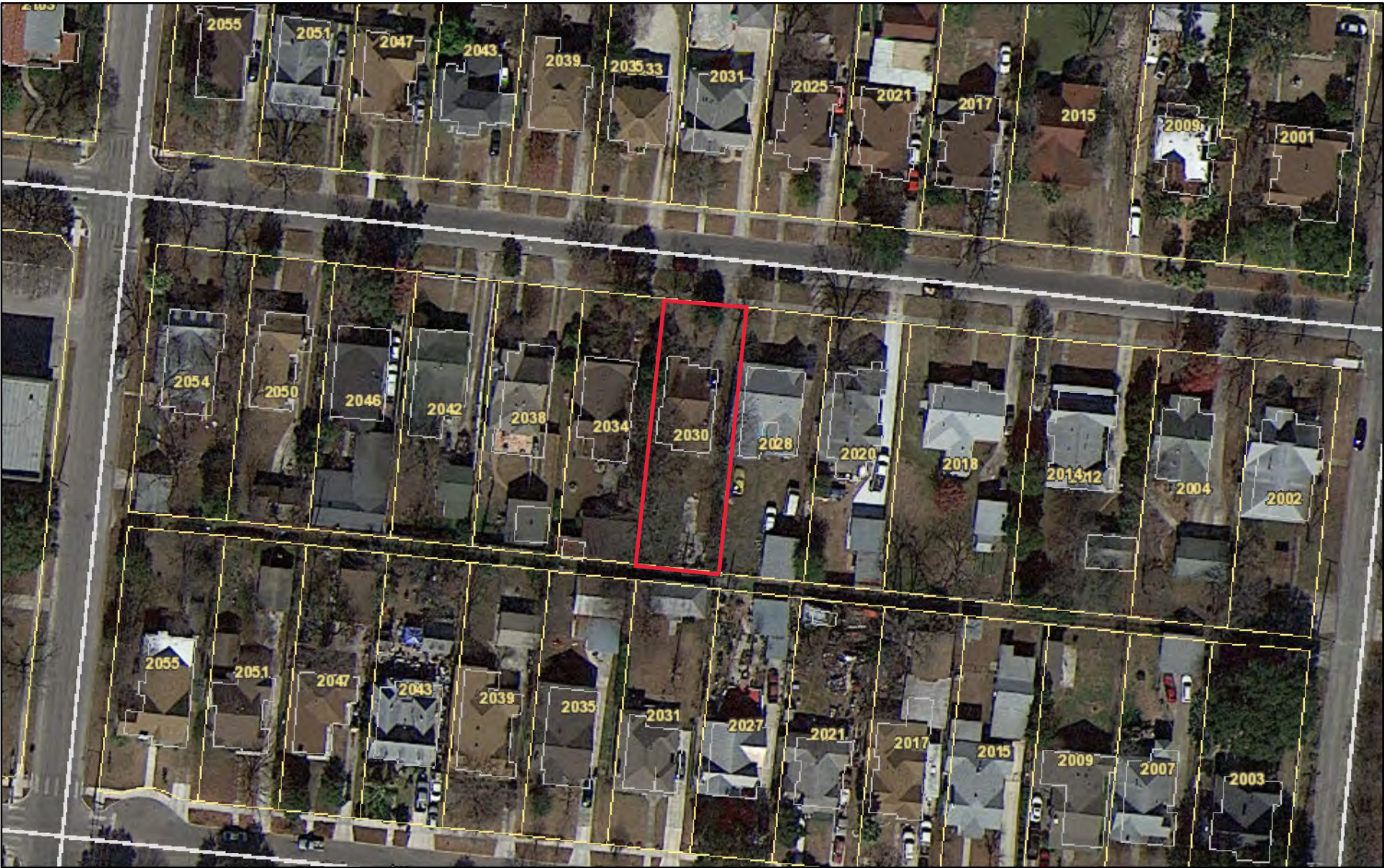
- c. **ORIENTATION & SETBACKS** – The applicant has proposed both an orientation and setback for the new accessory structure that are consistent with the Guidelines for New Construction 5.B.
- d. **ARCHITECTURAL DETAILS (MATERIALS)** – The Guidelines for New Construction 5.A.iii. and iv. note that new accessory structures should relate to the period of construction of the primary historic structure on the lot by using complementary materials and simplified architectural details. Staff finds the proposed composition shingle roof conforms to the guidelines. Staff finds the installation of the Smartside wood siding does not conform to guidelines. Guideline 2.B.i states that roof forms—pitch, overhangs, and orientation—consistent with those predominately found on the block should be incorporated. Staff finds the proposed gable roof on the accessory structure conform to guidelines.
- e. **ARCHITECTURAL DETAILS (FENESTRATION PATTERN)** – The applicant is proposing to install a split-bay garage door on the front-facing elevation and a door on the side elevation. The Guidelines for New Construction 2.C.i. related to window and door openings stipulates to incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Staff finds the proposed fenestration pattern generally conforms to guidelines.

RECOMMENDATION:

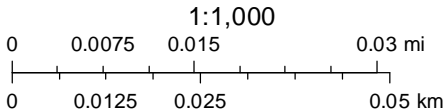
Staff recommends approval of items 1 through 3 based on findings a through g, with the following stipulations:

- i. That the applicant install a fiber cement board that features a reveal no more than 6 inches and a smooth finish.
- ii. That the applicant install a garage door that uses wood as the primary material or have the appearance of wood.
- iii. That the applicant abide by all setback requirements.

City of San Antonio One Stop



July 26, 2023



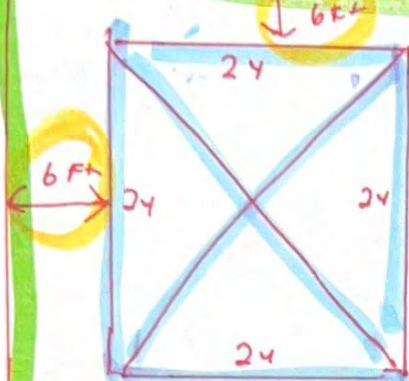






48'

Proposed 24x24 Garage on SLAB



18'

20'

House

Driveway

48'

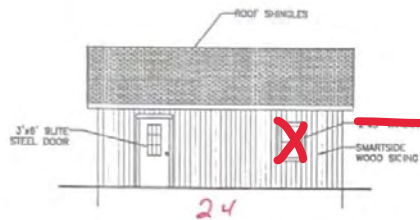
Front

15' 1/2

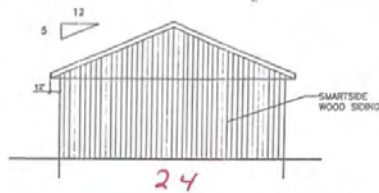
15' 1/2

EDENFIELD
2105 BAY AVE.
ROCKPORT, TX
78382
11/03/2017

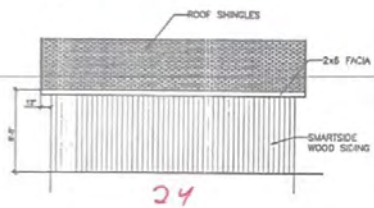
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SIDE WALL ELEVATION WITH OPENINGS



END ELEVATION



BLANK SIDE WALL ELEVATION



END WALL ELEVATION WITH OPENINGS

8'x4' plate

13' TAK



ELEVATIONS

E-1

CUSTOM BUILT GARAGES



GARAGE SHOWN WITH OPTIONS



PRICE INCLUDES: CONCRETE SLAB 3000 LB PSI

8' WALLS 16" OC (ON CENTER) WITH TRIPLE STUD CORNER

PRIMED, READY TO PAINT, 50 YEAR WARRANTY SIDING

TAR PAPER

12" BOXED OVERHANG ALL 4 SIDES

STANDARD GARAGE DOOR

STEEL PASSAGE DOOR

2X3 WINDOW

CAULKING-EXTERIOR

VENTS

25- YEAR SHINGLES

5- YEAR COMPLETE WARRANTY

12' X 20'-8' Sidewall \$12,000

16' X 20'-8' Sidewall \$16,000

20' X 20'-8' Sidewall \$20,000

22' X 24'-8' Sidewall \$26,400

24' X 24'-8' Sidewall \$28,000

24' X 30'-8' Sidewall \$36,000

OTHER SIZES AVAILABLE

**5 Year
Warranty**

General Garage Requirements

Normally, a building permit is required for one of our garages.

Please check with your local city government to see if a building permit will be required in your area.

J.B. Woolf Sheds & Garages is NOT responsible for building permits covenant searches and/or damage to underground obstacles or utilities.

The site location is very important. For this reason, all garage projects will require a site inspection.

Site preparation (i.e., leveling, tree removal, tree trimming, excavation, etc.) may be required resulting in an additional service charge.

Any slab work must be completed 72 hours before the installation date of your garage.

Allow for a clearance of at least 4 feet on all sides of the building.