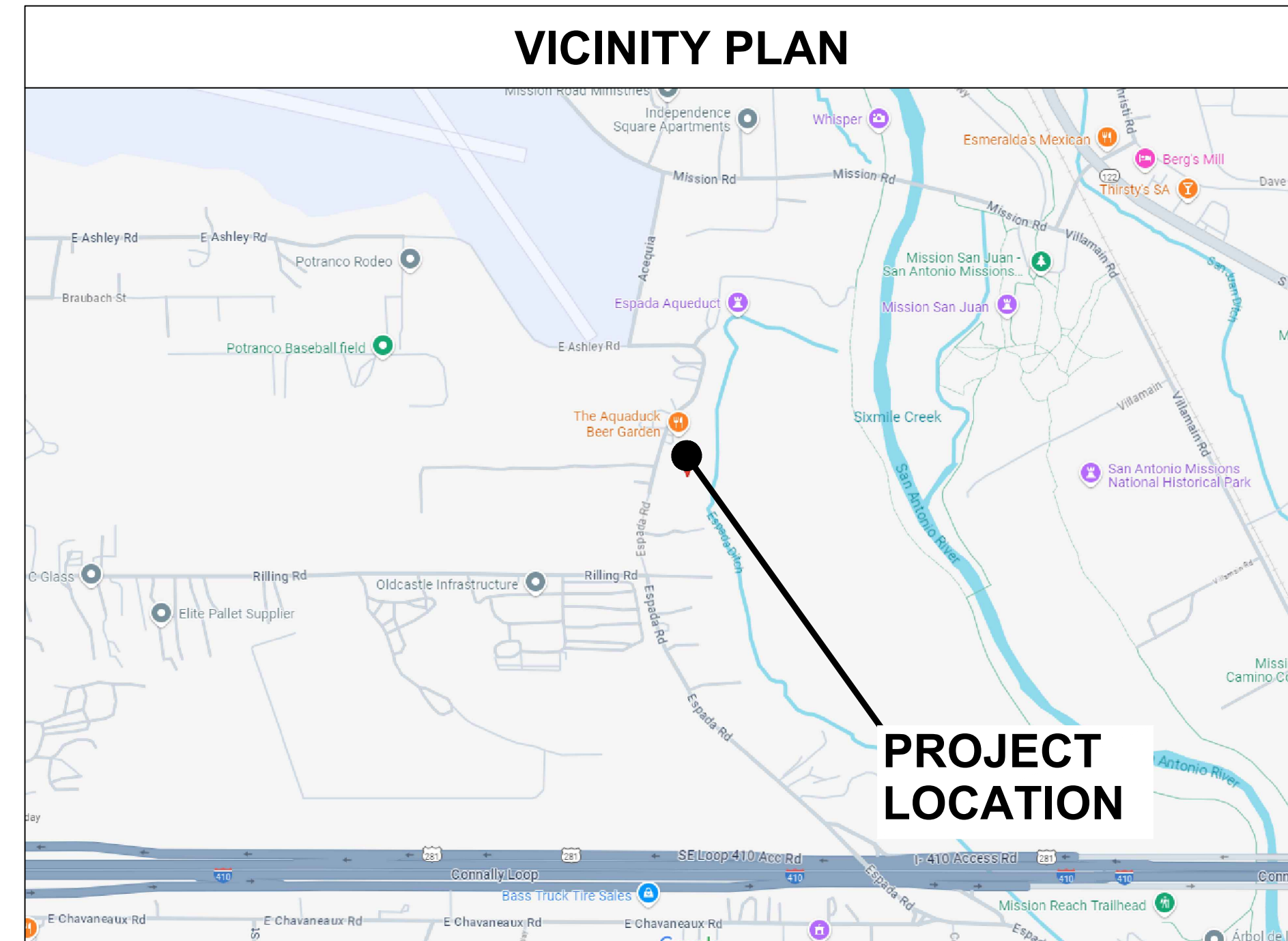
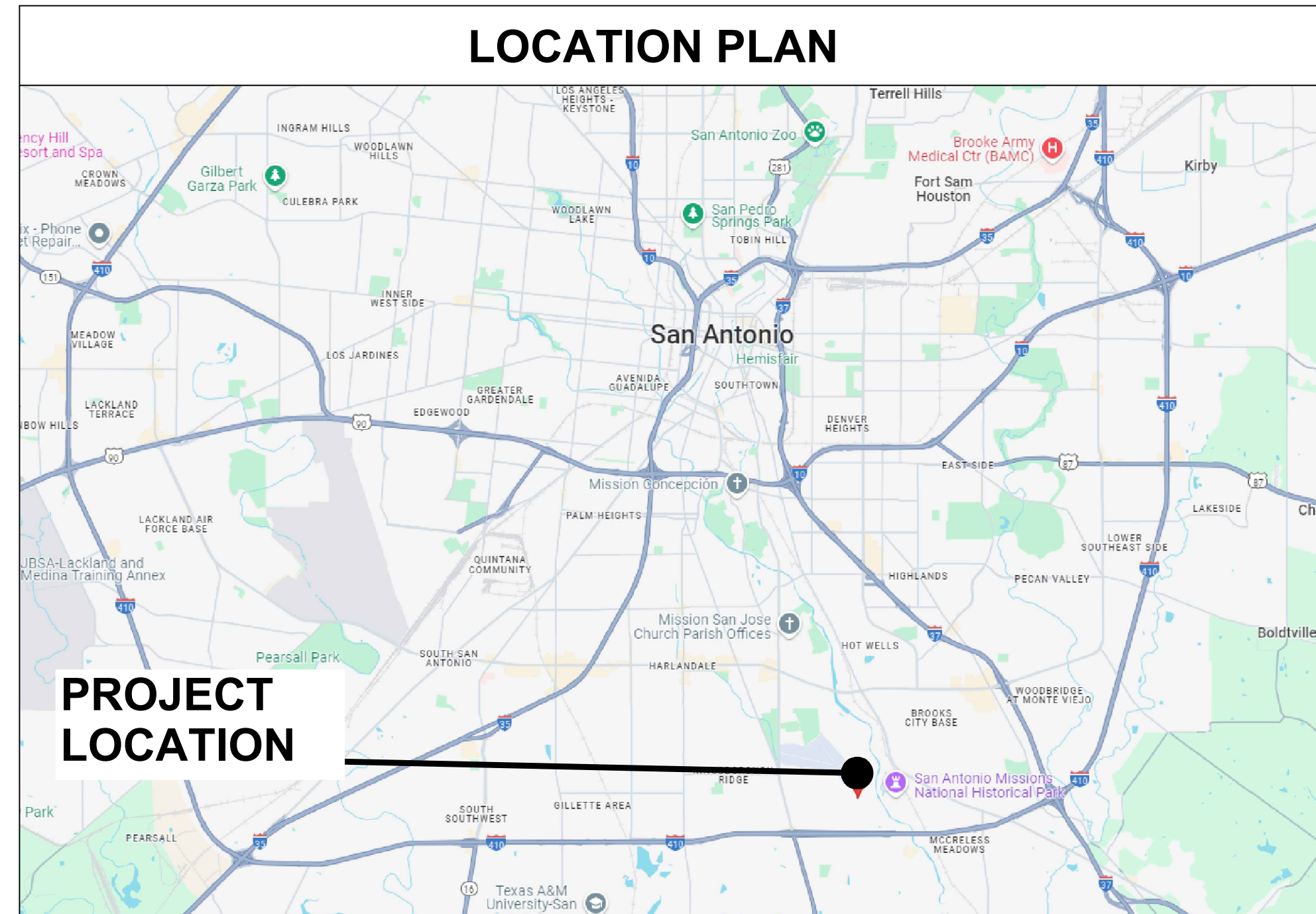
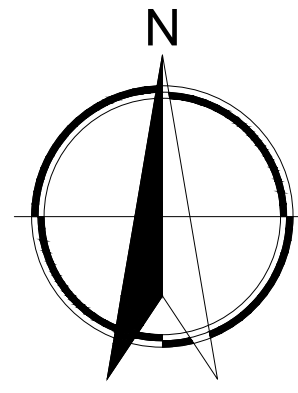


ESPADA RESIDENCE

9302 ESPADA RD SAN ANTONIO, TX 78214



INDEX OF DRAWINGS	
A-100	COVERSHEET
C-1	SITE PLAN
STRUCTURAL DRAWINGS	
ARCHITECTURAL DRAWINGS	
A-101	FLOOR PLAN
A-103	ELEVATIONS

PROJECT INFORMATION	
SCOPE OF WORK	
LIVING AREA	1,728.50 SQ.FT.
STOOP	25 SQ.FT.
COVERED PATIO	400 SQ.FT.
FIRE ALARM SYSTEM	N/A
FIRE SPRINKLERS	N/A
BUILDING CODE CRITERIA	
BUILDING CODE	INTERNATIONAL RESIDENTIAL CODE IRC 2021
FIRE CODE	INTERNATIONAL FIRE CODE 2021
ENERGY CODE	INTERNATIONAL ENERGY & CONSERVATION CODE 2021
MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE 2021
FUEL GAS CODE	INTERNATIONAL FUEL GAS CODE 2021
PLUMBING CODE	INTERNATIONAL PLUMBING CODE 2021
ELECTRICAL CODE	NATIONAL ELECTRICAL CODE 2020

GENERAL CONSTRUCTION NOTES:

JOB SITE. PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VISIT JOB SITE AND NOTIFY OWNER OF ANY CONDITIONS NOT INCLUDED IN THESE DOCUMENTS WHICH REQUIRE CORRECTIVE OR ADDITIONAL ACTIONS. NO CHANGES TO PLANS TO BE MADE WITHOUT WRITTEN APPROVAL BY THE ARCHITECT/DESIGNER/ENGINEER. REPORT ANY DISCREPANCIES TO THE ARCHITECT/DESIGNER/ENGINEER.

DIMENSIONS. ALL DIMENSIONS NEED TO BE VERIFY BY THE CONTRACTOR PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT/DESIGNER/ENGINEER.

CHANGES OR MODIFICATIONS TO PLANS. ANY MINOR OR REQUIRED CHANGES OR MODIFICATIONS TO THIS PLAN DO NOT REDUCE OR VOID THE COPYRIGHTS COVERING THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AN ARCHITECT/ENGINEER/ DESIGNER ONLY. ARCHITECT/DESIGNER/ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE QUALITY AND COMPLETENESS OF ANY CHANGES ATTEMPTED. PLEASE REMEMBER THAT EVEN A SIMPLE CHANGE TO ONE AREA OF A HOME CAN GREATLY AFFECT MANY OTHER AREAS IN THE HOME AND ONLY A QUALIFIED PROFESSIONAL IS EQUIPPED TO FULLY UNDERSTAND THE RAMIFICATIONS OF ANY CHANGE OR MODIFICATION.

DESIGN TEAM

DESIGNER

ONE STOP CODE CONSULTING, LLC.
1650 W. Huisache Ave.
San Antonio, TX 78201
e-mail: fernando.deleon@onestopcode.net

OWNER

OLIVIA GARZA LUTZENBERGER
347 LEFF PL
SAN ANTONIO, TEXAS 78221

LEGAL DESCRIPTION

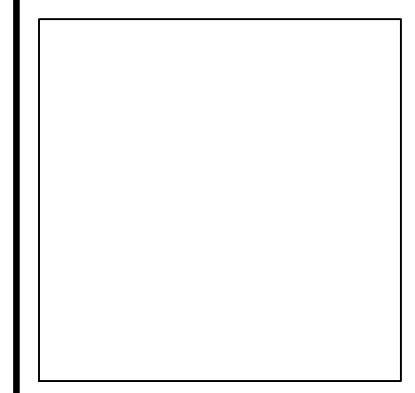
NCB 11173 BLK LOT ARB C1

DESCRIPTION OF WORK:

NEW ONE STORY RESIDENTIAL
STRUCTURE

DESIGNER :

Zone 1 Design Permitting Inspection Certificate of Occupancy
ONE STOP CODE CONSULTING, LLC
1650 W. HUISACHE AVE. SAN ANTONIO, TEXAS 78201
e-mail: fernando.deleon@onestopcode.net



ESPADA RESIDENCE
9302 ESPADA RD
SAN ANTONIO, TX 78214

DRAWN BY: **OSCC**
CHECKED BY: **F.D.L.**
DATE: 9/27/24

COMMENTS:

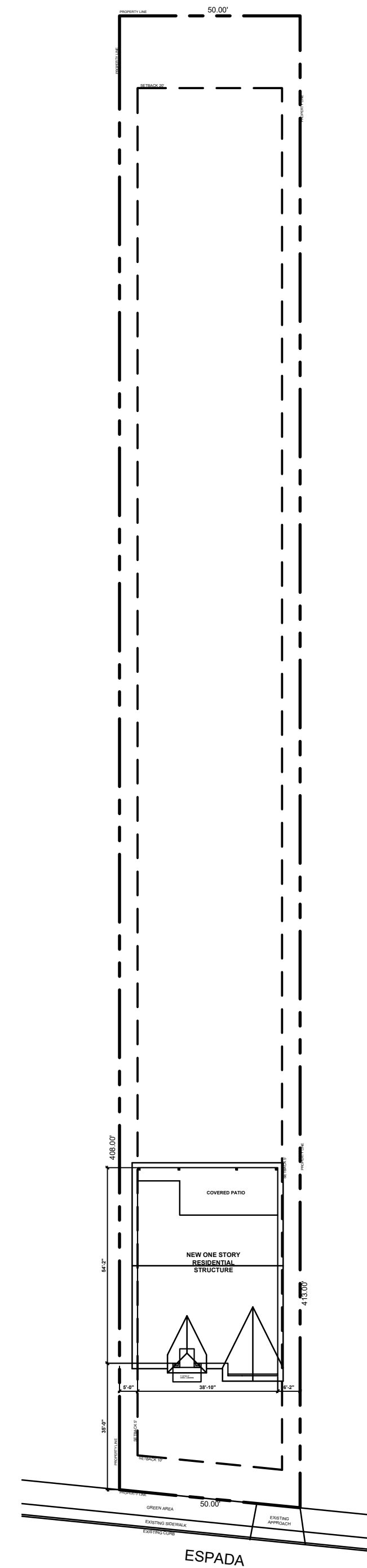
REVISIONS:

SHEET:

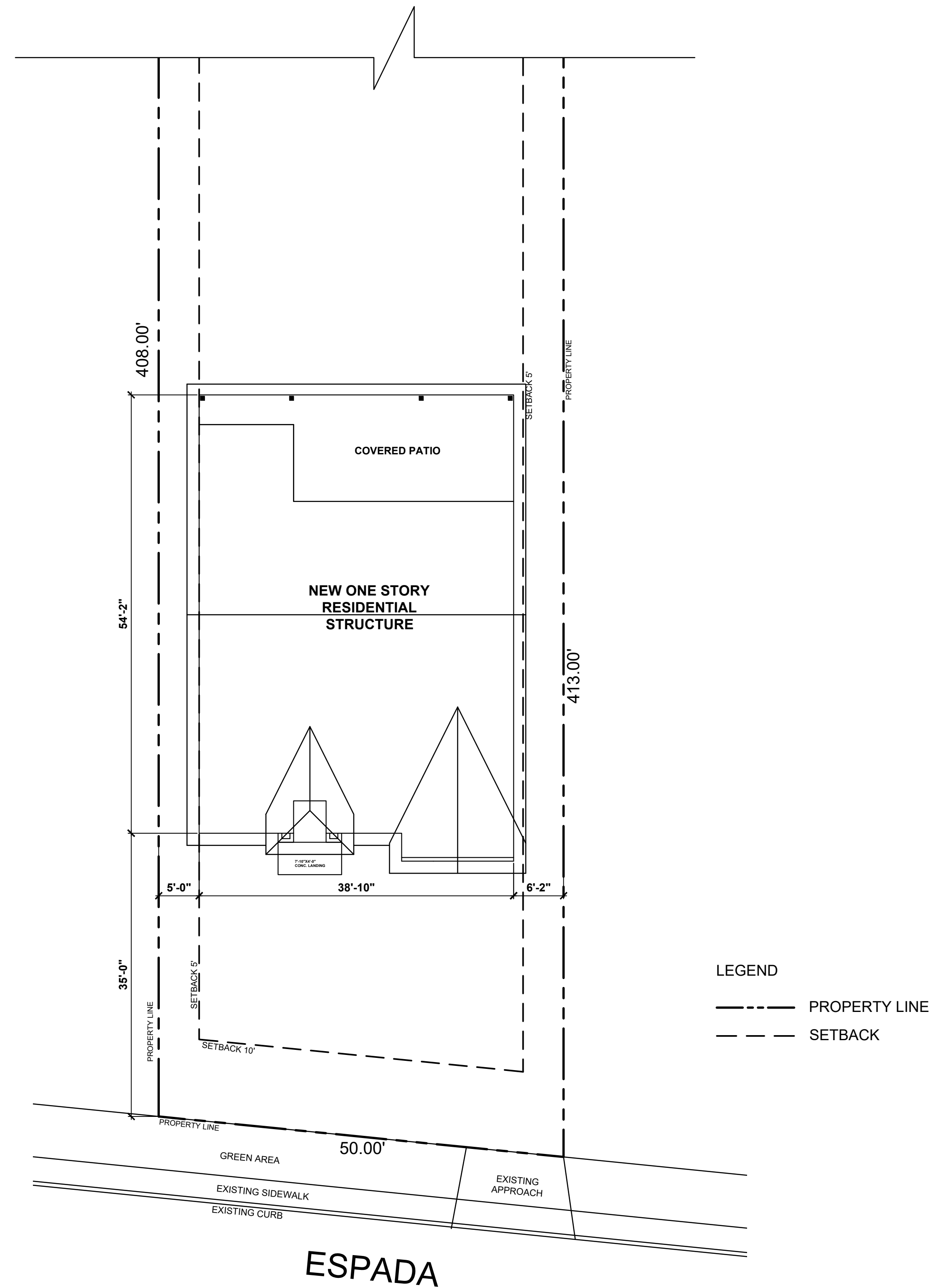
A-100

GENERAL NOTES:

1. Plans indicate general scope of work, contractor shall field verify existing conditions and shall provide all required demolition work and new construction shown plans, or not shown to meet the design intent.
2. Contractor shall field verify dimensions and all existing conditions prior to the start of any work. Contractor shall notify the architect in writing of any existing conditions which do not conform to those indicated on the drawings prior to proceeding with the work.
3. The contractor shall be responsible for periodic cleaning and final cleaning of the work areas daily of all trash and debris. Remove trash daily.
4. Contractor shall accept building and site in its original condition. Any damage occurred to site or building during time of construction period shall be repaired to match original condition at the contractor's expense.
5. The general contractor shall construct and maintain any and all construction barricades, and other protection devices as required by and in compliance with any and all building codes, agencies and regulations applicable to the project.
6. The drawings shall be read in conjunction with other consultant's drawings and with such other written instructions or sketches as may be issued during the course of the contract. Any discrepancy shall be referred to the project coordinator and the architect, before proceeding with any work.
7. Protection of existing work: Before beginning any cutting or demolition work, The Contractor shall carefully survey the existing work and examine the drawings and specifications to determine the extent of the work. The contractor shall take all necessary precautions to remain the property of the owner, and any damage to such work shall be repaired or replaced as approved by contracting officer.
8. Walls / surfaces which are altered by new work shall be patched and repaired to match with adjacent wall surfaces. The level of patch work shall be of the highest quality and the owner shall have final approval of such work.
9. All Excavations by the removal of site utilities and foundations shall be backfilled as specified.
10. All bidders will be required to visit the job site prior to bidding to familiarize themselves with the building and its contents.
11. Notes listed in these contract documents are for informal purposes only. It is the contractor's responsibility to remove and dispose of additional incidental items contained in the building whether noted or not.
12. The general contractor shall furnish all materials, labor and equipment as required to complete all work and furnish a complete job, in accordance with local, state and federal governing authorities having lawful jurisdiction over the work.
13. The general contractor shall secure and pay for all permits and inspections required; The general contractor shall also pay all tap and meter fees required for the plumbing, electrical and HVAC. Fire sprinkler subcontractor shall pay for their permits and taps.
14. Equipment may be located on these drawings diagrammatically. Subcontractors shall coordinate with the general contractor when location of such items are in conflict with structural conditions or work from other trades. Questions shall be directed to Architect and his decisions shall be final. No additional cost will be incurred due to conflicts.
15. Contractor shall comply with all ordinances, laws, codes and regulations enforced by the local regulatory authority.
16. Provide edge strips at all applied floor finish material transitions.
17. General contractor to provide continuous blocking for all cabinets, curtain rods, toilet accessories, handrails, door jambs, countertops, drywall catches and similar items.
18. Fire stop all openings around pipes, conduits, etc. Where they penetrate any floor or fire rated wall (if applicable).
19. Provide access panels at all valves and similar areas where access is required. Access panels are to be rated as required. Subcontractors to advise general contractor of necessary locations. All panels to be furnished and installed by drywall contractor. Locations Shall be Approved by Architect.



1 SITE PLAN
SCALE: 1" = 30'
PLAN NORTH



2 SITE PLAN
SCALE: 1" = 10'
PLAN NORTH

LEGEND
 - - - - - PROPERTY LINE
 - - - - - SETBACK

DESIGNER :

ONE STOP CODE CONSULTING, LLC
 1650 W. HUSKACHE AVE. SAN ANTONIO, TEXAS 78201
 e-mail: terranado.dobson@onestopcode.net

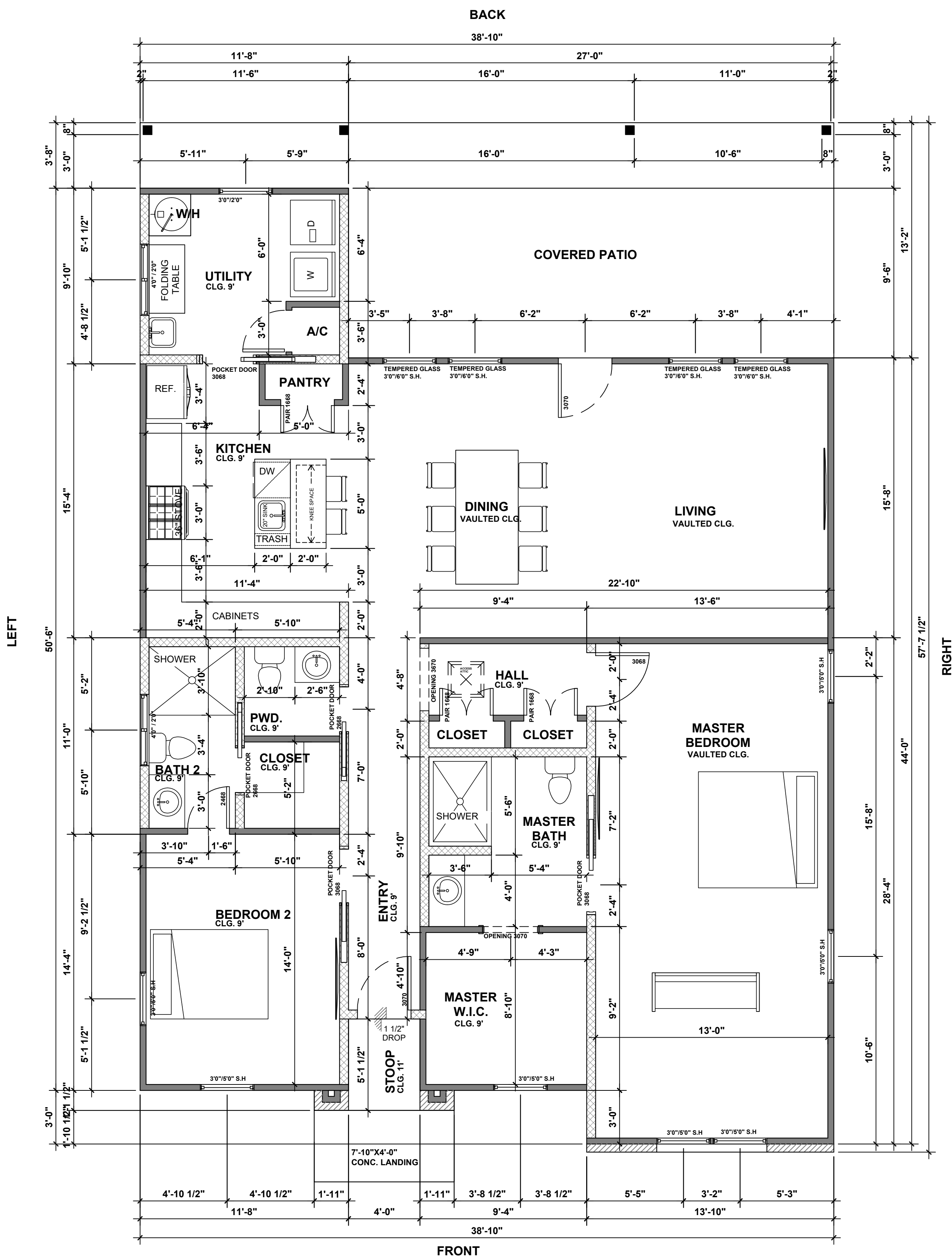
ESPADA RESIDENCE
 9302 ESPADA RD
 SAN ANTONIO, TX 78214

DRAWN BY: **OSCC**
 CHECKED BY: **F.D.L.**
 DATE: 9/27/24

COMMENTS:

REVISIONS:

SHEET:
C-1



- LEGEND:**
- 2"x4" WALL STUDS @16" O.C.
 - 2"x6" WALL STUDS @16" O.C.
 - 6"x6" TREATED WOOD POST
 - BRICK AS SELECTED BY OWNER

- FOOTAGES:**
- LIVING AREA: 1,728.50 SQ.FT.
 - COVERED PATIO: 400 SQ.FT.
 - STOOP: 25 SQ.FT.
 - CONCRETE LANDING: 32 SQ.FT.

- WINDOW NOTES :**
1. Glazing shall conform to the safety requirements of the local building code adopted by local authority. Glazing, operable or inoperable, adjacent to a door or within a 24 inch arc of either vertical edge of any door shall be tempered. The measurement is made with the door in the closed position or glazing.
 2. Verify rough opening sizes required for all glazed door and window assemblies as per manuf. specifications.
 3. Seal all window head, jamb, and sill with 'polycel' expandable foam.
- NOTES:**
- R302.5.1 Opening Protection-Openings from private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1-3/8 inch in thickness, solid or honeycomb-core steel doors not less than 1-3/8 inches thick or 20-minute fire rated doors, equipped with a self-closing or automatic-closing device.
 - R302.5 Dwelling-garage opening and penetration protection. Openings and penetrations through the walls or ceilings separating the dwelling from the garage shall be in accordance with Sections R302.5.1 through R302.5.3

1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



DESIGNER :

ONE STOP CODE CONSULTING, LLC
 1650 W. HUSKACHE AVE. SAN ANTONIO, TEXAS 78201
 e-mail: fernando.dobson@onestopcode.net

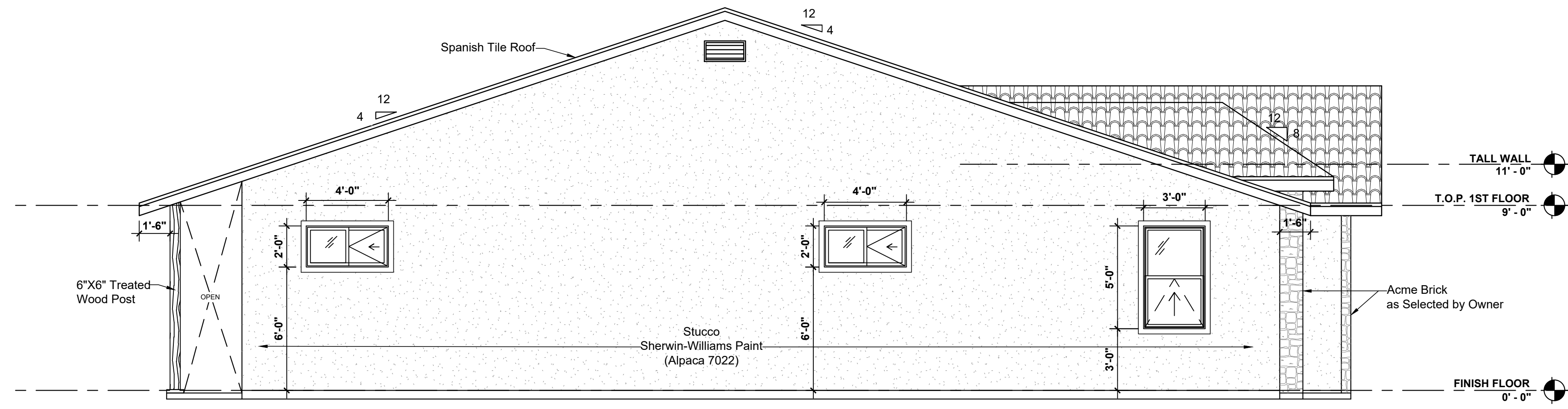
ESPADA RESIDENCE
 9302 ESPADA RD
 SAN ANTONIO, TX 78214

DRAWN BY: **OSCC**
 CHECKED BY: **F.D.L.**
 DATE: 9/27/24

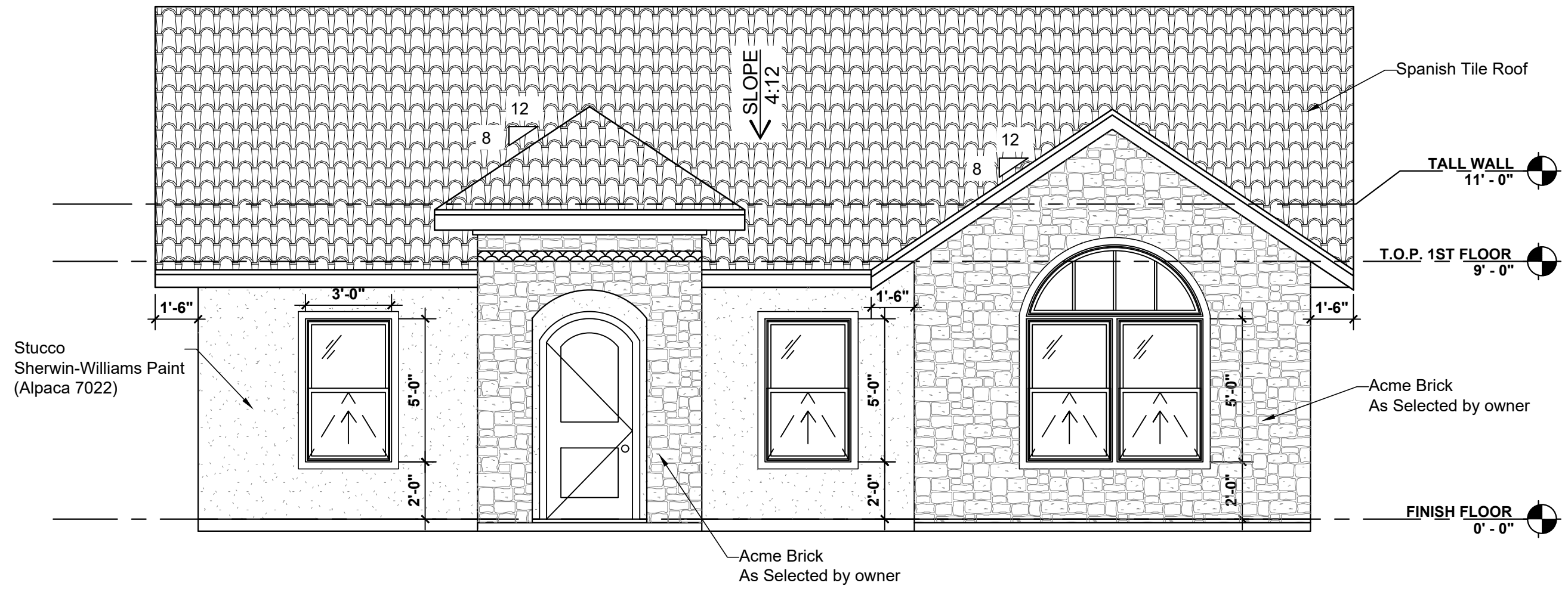
COMMENTS:

REVISIONS:

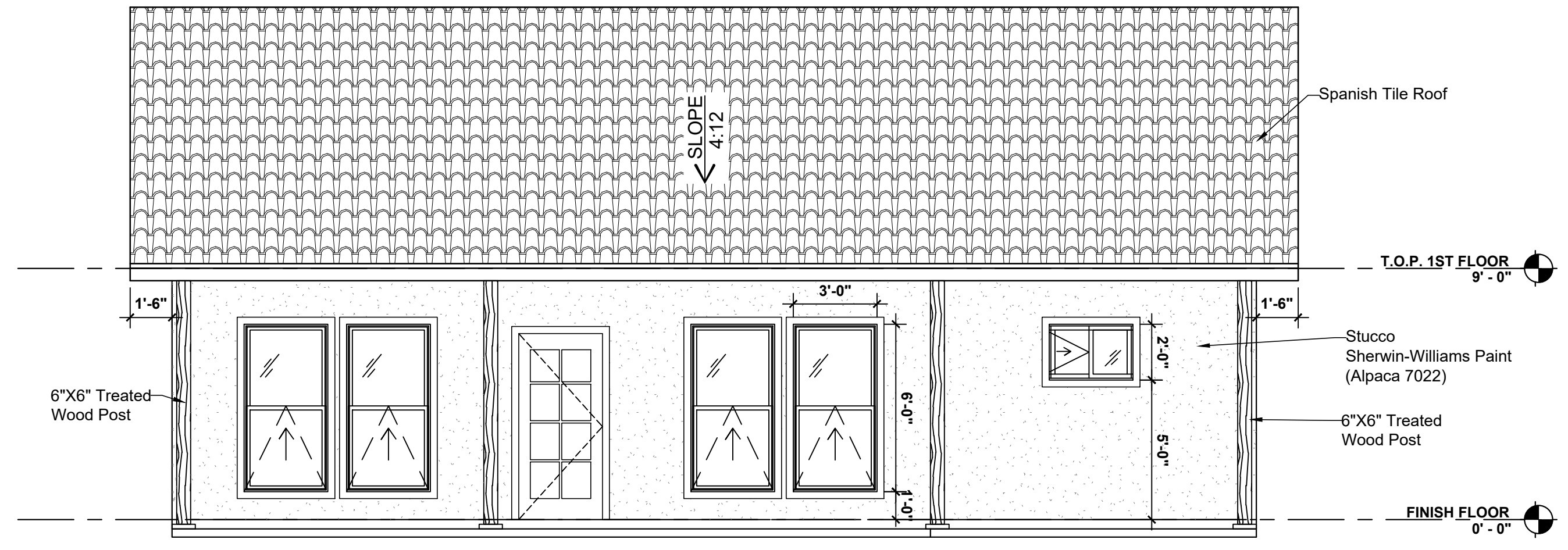
SHEET:
 A-101



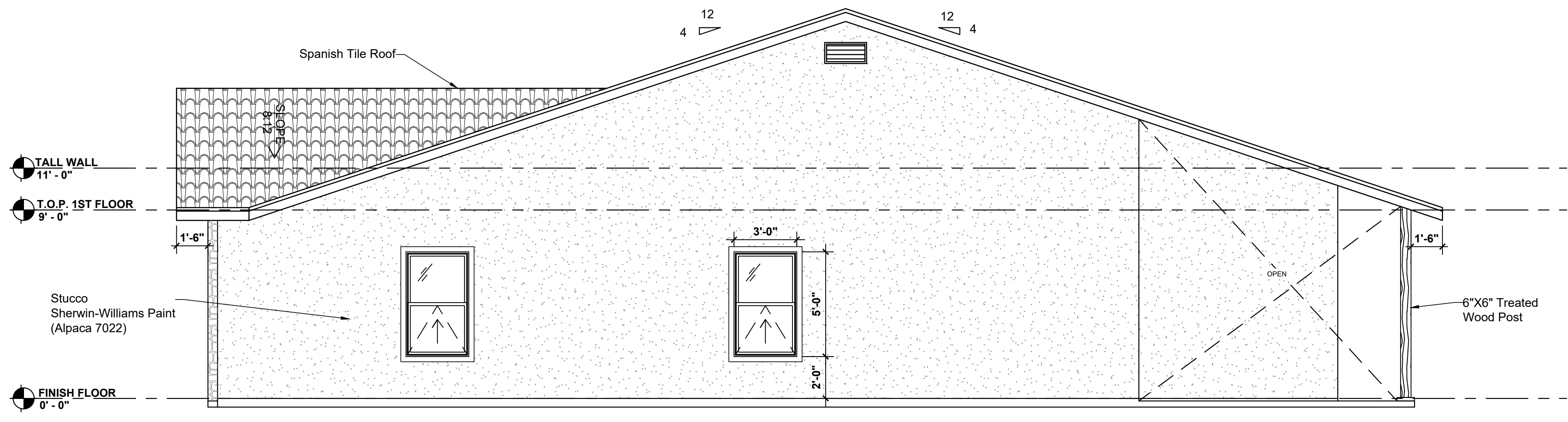
1 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



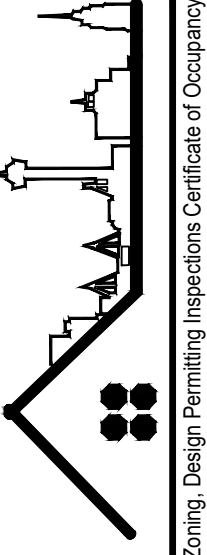
2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 BACK ELEVATION
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

DESIGNER :

 Zoning, Design, Permitting, Inspection, Certificate of Occupancy
ONE STOP CODE CONSULTING, LLC
 1650 W. HUISACHE AVE. SAN ANTONIO, TEXAS 78201
 e-mail: terranado.dobson@onestopcode.net

ESPADA RESIDENCE
 9302 ESPADA RD
 SAN ANTONIO, TX 78214

DRAWN BY: **OSCC**
 CHECKED BY: **F.D.L.**
 DATE: 9/27/24

COMMENTS:

REVISIONS:

SHEET:
A-103