

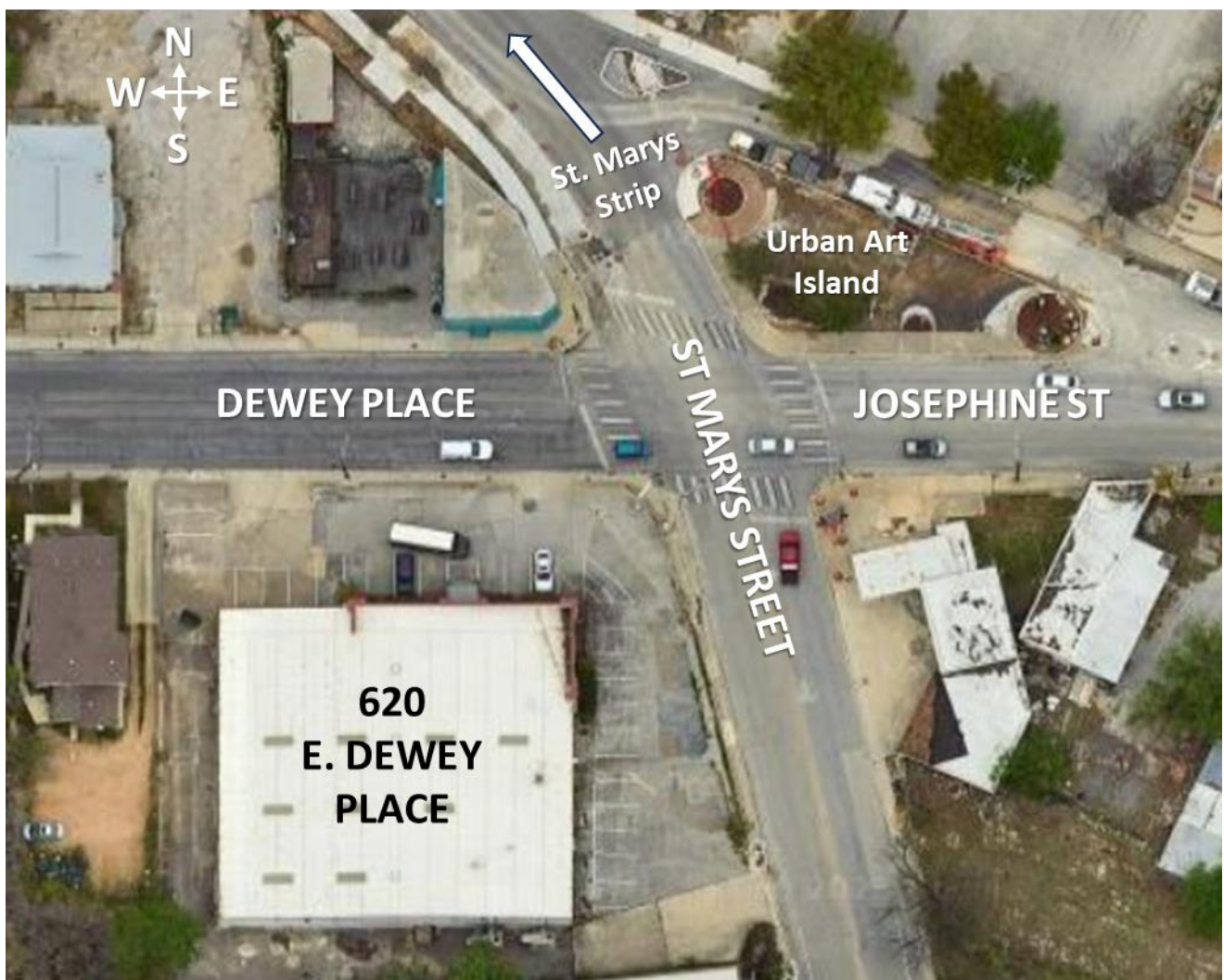
## City of San Antonio - Façade Improvement Application

Epikēia Incorporated  
620 East Dewey Place  
San Antonio, TX 78212

### LOCATION OVERVIEW:

The building is located at 620 E. Dewey Place, which is the intersection of St. Mary's Street and Dewey Place. This is a very high visibility and highly trafficked area where Josephine Street intersects North St. Mary's Street. The building is situated on the southwest corner of the intersection.

The high visibility of the location is underscored by the city's Urban Art Island, which is located catty corner and directly across from our building. The intersection where the proposed project will be completed is located at the entrance to the St. Mary's strip, as you enter the area from the south.



The city of San Antonio has already made a considerable investment in this area, with the \$12 million North St. Mary's Street construction project. This construction project disabled traffic on N. St. Mary's street from near US 281 to Dewey Place/Josephine Street for around two-and-a-half years, with considerable impact on local businesses. Beautifying and improving the look of the outdoor space at 620

E. Dewey to match the upgrades that have already been completed in this area is consistent with the vision of the city, the neighborhood and the St. Mary's strip. Improvements to attractiveness of the overall area should make the area more inviting to all of the local businesses.

**PROPERTY DESCRIPTION:**

The property is positioned on the southwest corner and faces both St. Mary's Street and Dewey Place. The 12,500 square foot building houses administrative offices, medical device/cosmetics manufacturing rooms, laboratory space and warehouse.



**BUSINESSES:**

There are currently two businesses officing at 620 E. Dewey Place. The company applying for the façade grant is Epikēia Incorporated. Epikēia manufactures skincare products and an oral rinse that are sold domestically and internationally. In addition, Biomedical Development Corporation (BDC) occupies office space in the building. BDC is a research and development company that develops innovative medical technologies. Epikēia is BDC's manufacturing affiliate, serving as the manufacturer of the technologies that BDC researches and develops. BDC is currently developing a digital therapeutic – which will be an FDA-approved medical device to help individuals in recovery from opioid use disorder. This project is



being developing in a partnership with UT Health San Antonio with funding from the National Institute on Drug Abuse (National Institutes of Health).

**COMMUNITY INVOLVEMENT:**

We have sought to make the most of the high visibility location to make a positive contribution to the community. To that end, we donated space on the building to the San Antonio Street Art Initiative for their Texas Independence Day Mural project, March 2, 2022. The mural continues to draw foot traffic as people take photographs of themselves in front of the mural and post them on social media.



**Mural on Building Facing N. St. Marys Street**

We have additional wall space on the building adjacent to the mural that faces St. Mary's Street. Outside of the scope of this proposal, we intend to donate additional space to murals in the future to promote local artists, community art and to improve and beautify the area consistent with the neighborhood look, feel and vibe.

On August 31 of this year, in conjunction with the Be Well Texas Clinic / UT Health San Antonio and the San Antonio Council on Alcohol and Drug Awareness, we hosted in our parking lot an event for International Overdose Awareness Day. This gathering included a candlelight vigil for victims of overdose and a community outreach event to provide

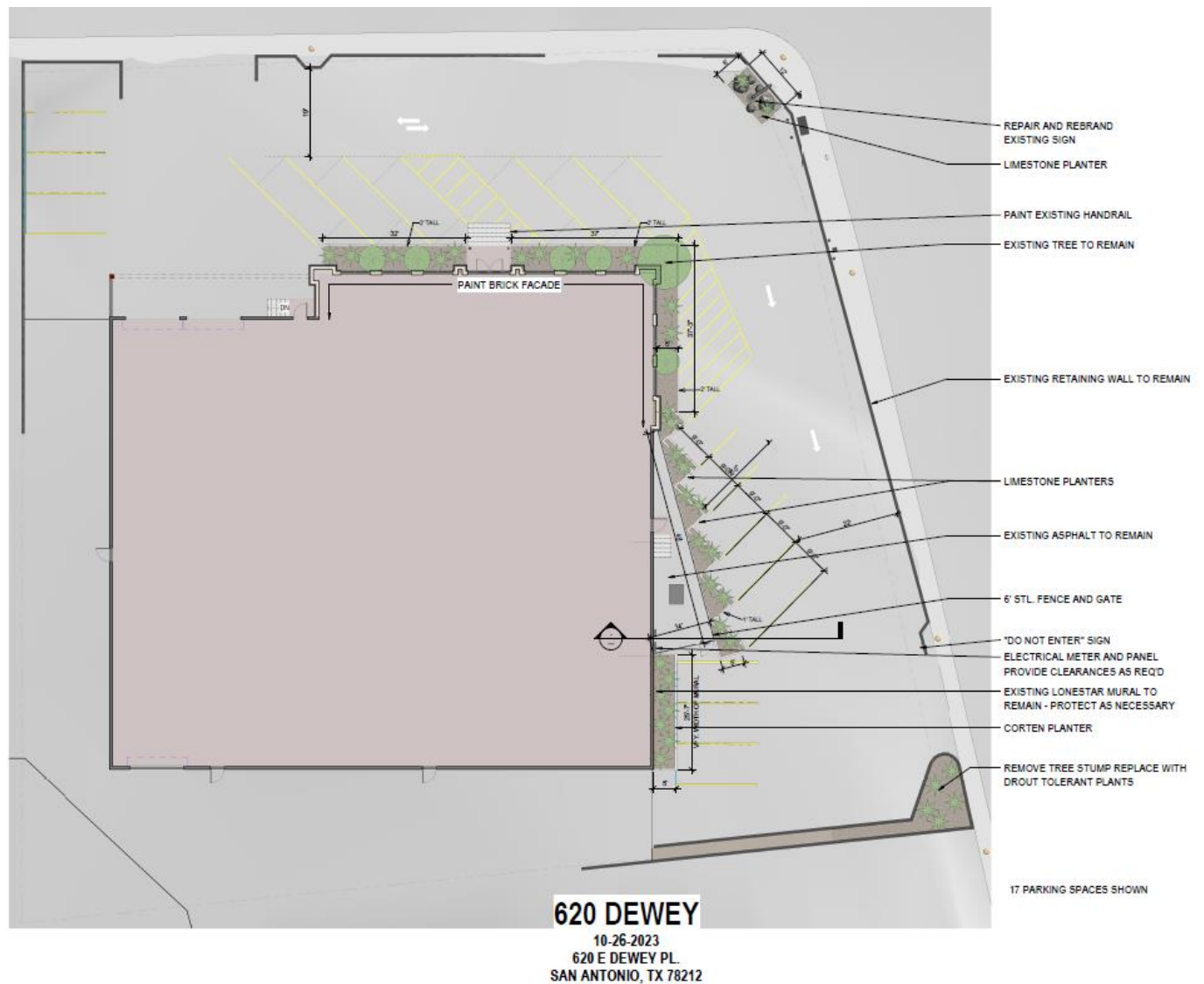


**International Overdose Awareness Day 2023**

This event is consistent with our overall mission and our work to develop products and technologies to address the opioid epidemic and help save lives. We intend to continue to host such events and improving the façade of our building should enhance visibility and community participation.

**PLANS FOR FAÇADE IMPROVEMENT:**

Overall plans for the façade improvement are shown below. There are three primary points of emphasis for this project:



1. Replace existing and outdated signage

The current sign displays the prior building owner, Blond Lighting. In addition to the sign showing the incorrect tenant of the building, it is dated, faded, cracked, rusted and its interior lamps/lights are nonfunctional.

We received two bids to update the sign. Industry Sign proposed \$3807.07 and Aetna proposed \$3613.00. We have chosen the slightly more expensive Industry Sign bid because it also includes retrofitting the lighting element inside the sign with energy efficient LEDs. Aetna estimated the LED cost to be an additional \$870.



**Outdated and  
Unsightly Current  
Signage**

2. Painting the building

The exterior brick is dull and dingy. In the past, we power-washed the brick but it remains unsightly. We propose to brighten the entire building by painting. We received two bids for painting from Hendrick Painting (\$24,356.25) and Chapa Painting (\$18,575). Although the Hendrick bid included some additional non-painting cosmetic work, we have chosen the lower cost Chapa bid of \$18,575. The painting bids include only the two sides of the building that face the street. The painting bids do not include any areas of the building that cannot be seen from the roadway.



**Dingy Brick on Building to be Painted and Brightened**



### 3. Landscaping

The current landscaping exists primarily on the Dewey-facing side of the building where the front door is located, and on a small section on the St. Mary's Street-facing side. We intend to replace the old, decaying, outdated railroad ties with limestone planters. The existing drought-resistant crepe myrtle trees will remain, but the other large bushes in the planters will be removed and replaced with drought-resistant plants.

In addition to updating the current landscaping, we reclaim a good portion of the parking lot for landscaping. Specifically, the area of the parking lot next to the building that is facing St. Mary's Street will be used for landscaping. The asphalt in this area will be removed and limestone planters will be installed and positioned in a such a way to create angled parking that will likewise cover the unsightly exterior air conditioning unit that has been a graffiti target in the past. Additional limestone planters will extend to the back end of the building, again removing some of the asphalt parking lot, so that the entire exterior of the building (other than areas needed for driving egress) will have adjacent landscaping. Likewise, we will remove additional asphalt and install planters to create a landscape accent and barrier around the renovated sign, in perhaps the most visible location of the building on the corner across from the Urban Art Island. All new plants will be drought-resistant requiring minimal upkeep. We received bids from Lawnworks Landscaping (\$34,348) and Texas Size Shade (\$35,275). We chose Texas Size Shade even though they were slightly more expensive due to their high quality work, reputation and customer service.



**Outdated and Decaying Railroad Ties to be Replaced**

The Façade Design and artist renderings were completed by Joseph Smith, Architects. In addition to his professional expertise, Mr. Smith is our next door neighbor. He designed and built his home adjacent to our building to the south on St. Mary's Street. We received competitive a bid from Horizon Architects (\$3750 + expenses) but chose Joseph Smith (\$2825), who's deep understanding of the neighborhood aesthetic was an obvious fit for the design.

**Artist Rendering: 620 E. Dewey Place view from E Dewey Place**





**Artist Rendering: 620 E. Dewey Place view from N St. Mary's Street**

