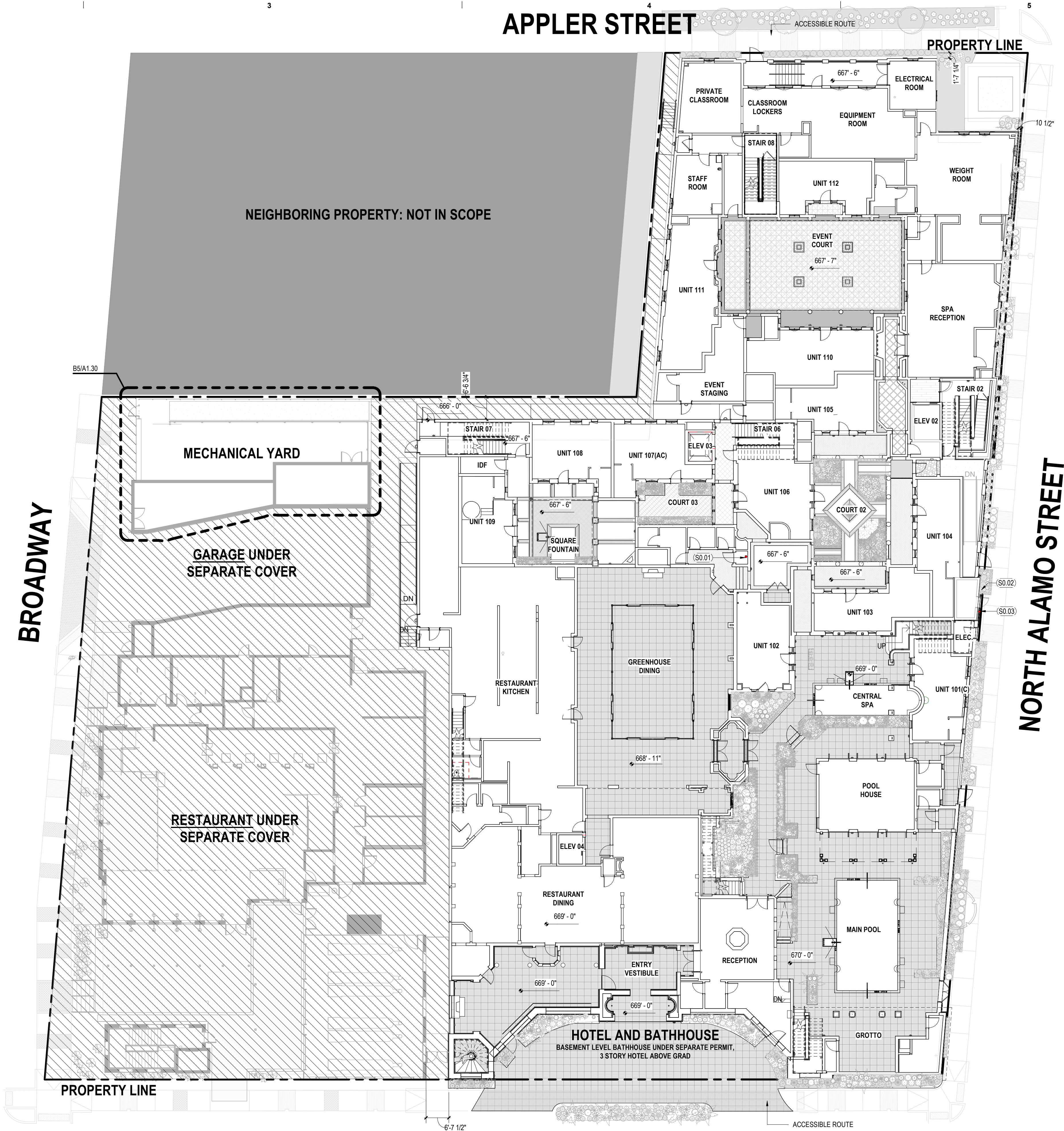


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PARKING COUNT SCHEDULE

	# of Spaces
Garage FFE	105
TOTAL PARKING SPACES	105

105 UNDERGROUND PARKING SPACES UNDER SEPARATE COVER

KEYNOTES

S0.01	WALL HYDRANT
S0.02	FIRE DEPARTMENT CONNECTION
S0.03	KNOX BOX

SHEET NOTES

- SITE PLAN TO FOLLOW TRUE NORTH. ALL OTHER PLANS WILL BE AT CONSTRUCTION NORTH.
- ANY DISCREPANCY IN GRADING SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS AND SHALL PERFORM FIELD MEASUREMENTS PRIOR TO PURCHASE OF ANY MATERIAL AND SHALL CONTACT THE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS.
- CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES PIPES AND STRUCTURES.
- ANY CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION OR THE ARCHITECT AND OWNER SHALL ASSUME THE CONTRACTOR HAS INCORPORATED THE COSTLY ITEM.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN UNKNOWN OBSTRUCTIONS AND / OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL SET SITE AT APPROXIMATELY FINAL GRADE FOR POSITIVE DRAINAGE AND TO PREVENT WATER FROM STANDING CUT SWALES TO DIRECT WATER AWAY FROM ALL STRUCTURES AND PROPERTY LINES AND TOWARD STORM SEWER INLETS.
- COORDINATE WITH CIVIL OVERALL BUILDING LAYOUT & DIMENSIONS AND RE: CIVIL & LANDSCAPE FOR OVERALL PARKING, SIDEWALKS AND DRIVE WIDTH & DIMENSIONS.
- PROVIDE TEMPORARY CONSTRUCTION FENCING AT CONSTRUCTION AREAS.
- COORDINATE WITH LANDSCAPE: TREE PROTECTION, PLANTING, SIDEWALK FINISHES AND DETAILS.
- AT ACCESSIBLE ROUTE: GROUND SURFACE TO BE MAINTAINED SUCH AS TO BE FIRM, STABLE AND SLIP RESISTANT. OWNER SHALL MAINTAIN GRASS IN GOOD CONDITION AND LOW LEVEL.
- ALL ACCESSIBLE ROUTES MAXIMUM SLOPE 1:20 IN DIRECTION OF TRAVEL & MAXIMUM CROSS SLOPE OF 1:50 @ SIDEWALKS, PAVING & GRASS AREAS.
- LOCATION OF KNOX BOX TO BE COORDINATED WITH FIRE DEPT AND ARCHITECT.
- REFER TO CIVIL FOR GRADING ELEVATIONS, SITE DIMENSIONS, DRAINAGE, EASEMENTS, PROPERTY LINES, AND SETBACKS.
- REFER TO LANDSCAPE FOR FINISH AND MATERIAL INFORMATION.
- ALL TREES TO REMAIN SHALL BE PROTECTED IN PLACE NEAR CONSTRUCTION SITE.
- PANEL BOXES, SWITCHGEAR, CONDUIT, ELECTRICAL, SHALL BE PAINTED TO MATCH ADJACENT SURFACES OF THE BUILDING.
- CONSTRUCTION TRAILER LOCATION TO BE COORDINATED W/ OWNER REPRESENTATIVE.
- REFER TO SITE GEOTECHNICAL REPORT AND PROJECT SPECIFICATIONS FOR REQUIREMENTS RELATING TO SITE PREPARATION, PLACEMENT OF FILL, AND TREATMENT OF SUBGRADE.
- SLOPE ALL GRADING, CONCRETE WALKS, AND ENTRANCES AWAY FROM EXTERIOR WALLS. CROSS SLOPES SHALL NOT EXCEED 2% SLOPE. RE: LANDSCAPE FOR FINAL GRADES.
- EXPANSION JOINT LAYOUT FOR REINFORCED CONCRETE TO BE FURNISHED BY CONTRACTOR FOR REVIEW BY ARCHITECT AND TO COMPLY WITH THE FOLLOWING: A) EXPANSION JOINTS TO TERMINATE PERPENDICULAR TO PAVEMENT EDGES. MAXIMUM SPACING OF EXPANSION JOINTS TO BE 50' IN ANY DIRECTION. RE: D4/A1.30 FOR DETAILS B) MAXIMUM SURFACE AREA SURROUNDED BY EXPANSION JOINT OR PAVEMENT EDGES TO BE 1,500 SQ. FT. C) SAWED JOINTS (OR APPROVED EQUAL) TO BE USED FOR CONTROL JOINTS. SURFACE AREA BORDERED BY CONTROL JOINTS, AND/OR PAVEMENT EDGES NOT TO EXCEED 500 SQ. FT. RE: D5/A1.30 FOR DETAILS D) NO JOINTS OF ANY TYPE WITHIN 5' OF AN INLET.

These drawings have been prepared as one coordinated set of drawings and are complimentary. What is required by one drawing is required by all of the drawings, even if a detail or component part is not identified on every sheet. Any user's reliance on a single or select few sheet(s) of the drawings without consideration for the information included in the entire set of drawings will be at the user's sole risk and shall not form the basis for a request for additional compensation or time.



19 JUNE 2026

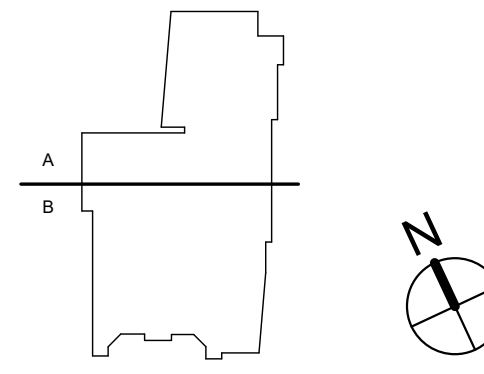
DATE	ISSUE
D 06-19-2026	ISSUE FOR PERMIT

PROJECT NAME
TERRY BLACK'S BROADWAY HOTEL

PROJECT ADDRESS
**1411 ALLING STREET
SAN ANTONIO, TX 78215**

KIRKSEY PROJECT NO. **2025193**

KEY PLAN



SHEET TITLE
SITE PLAN

SHEET NUMBER

A1.20

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