

GENERAL NOTES

GENERAL DEMOLITION NOTES		
1.	THE MAXIMUM ALLOWABLE LOADING ON THE EXISTING FLOOR STRUCTURES SHALL BE CONFIRMED WITH STRUCTURAL ENGINEER. AREAS OF THE BUILDING WHICH MAY HAVE GREATER LOADING IMPOSED ON IT BY THE CONTRACTOR'S DEMOLITION PROCEDURE SHALL BE SHORED. COORDINATE WITH STRUCTURAL.	14. REINSTALL EACH ELEMENT IN IT'S ORIGINAL LOCATION UNLESS NOTED OTHERWISE.
2.	EXISTING STRUCTURE SHALL BE SHORED PRIOR TO COMMENCEMENT OF DEMOLITION. SECTIONS OF STRUCTURE BEING DEMOLISHED SHALL NOT BE ALLOWED TO DROP ONTO FLOOR STRUCTURE BELOW.	15. SIZE NOTED IN CONSTRUCTION DOCUMENTS FOR ORIGINAL MATERIALS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO SUBMITTAL OF SHOP DRAWINGS. MATCH EXACT SIZES AND PROFILES OF ORIGINAL ELEMENTS.
3.	SHORING SHALL TRANSFER LOADING DIRECTLY TO EXISTING LOAD BEARING MASONRY WALLS. SHORING SHALL BE DESIGNED TO SUPPORT THE FULL ANTICIPATED LOADING WITH NO BENEFIT FROM THE EXISTING STRUCTURAL FRAMING.	16. FIELD VERIFICATIONS OF EXISTING CONDITIONS RELATED TO SPECIFIC PORTIONS OF THE WORK SHALL BE UNDERTAKEN IN ADVANCE TO ALLOW FOR THE TIMELY IDENTIFICATION OF EXISTING CONDITIONS THAT MAY AFFECT THE SCHEDULED INSTALLATION OF NEW WORK AS DESIGNED AND DETAILED, AND TO AVOID UNDUE AND UNREASONABLE DELAYS TO THE PROJECT SHOULD SUCH CONDITIONS BE DISCOVERED. TIMELY IDENTIFICATION OF SUCH CONDITIONS SHALL PROVIDE FOR A MINIMUM PERIOD OF 10 (TEN) WORKING DAYS DURING WHICH TIME THE ARCHITECT WILL EVALUATE THE CONDITION AND MAKE RECOMMENDATIONS FOR ACCOMMODATING NEW WORK.
4.	EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL NOT BE DAMAGED DURING THE DEMOLITION PROCESS. PROVIDE ALL NECESSARY TEMPORARY PROTECTION.	17. CONTRACTOR IS TO PROVIDE AND INSTALL ALL ACCESS PANELS, RATED OR OTHERWISE, SIZE AS REQUIRED, AT ALL CONCEALED MECHANICAL AND PLUMBING ITEMS WHICH REQUIRE SERVICE OR ACCESS (VALVES, FIE DAMPERS, DUCT HEATERS, ETC.). ACCESS PANELS IN RATED CEILINGS AND PARTITIONS SHALL HAVE THE APPROPRIATE UL LABELS.
GENERAL CONSTRUCTION NOTES		
1.	THE WORK SHALL CONFORM WITH THE CURRENT EDITION OF THE FOLLOWING REGULATIONS AS ADOPTED BY THE CITY OF SAN ANTONIO: -2021 INTERNATIONAL BUILDING CODE W/ SAN ANTONIO AMENDMENTS -2021 INTERNATIONAL EXISTING BUILDING CODE W/ SAN ANTONIO AMENDMENTS -2021 INTERNATIONAL FIRE CODE W/ SAN ANTONIO AMENDMENTS -2021 INTERNATIONAL MECHANICAL CODE W/ SAN ANTONIO AMENDMENTS -2021 INTERNATIONAL PLUMBING CODE W/ SAN ANTONIO AMENDMENTS -2021 INTERNATIONAL MECHANICAL CODE W/ SAN ANTONIO AMENDMENTS -2021 INTERNAL ENERGY CONSERVATION CODE W/ SAN ANTONIO AMENDMENTS -2017 NATIONAL ELECTRICAL CODE W/ SAN ANTONIO AMENDMENTS -2021 SAN ANTONIO PROPERTY MAINTENANCE CODE -U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION	18. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL EQUIPMENT MANUFACTURER'S ROUGH-IN REQUIREMENTS.
2.	THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW AND SURVEY EXISTING CONDITIONS TO FULLY UNDERSTAND SCOPE OF WORK.	19. EXISTING UTILITY SERVICES ARE TO REMAIN, BE PROTECTED, AND/OR TO BE OPERATIONAL DURING DEMOLITION AND CONSTRUCTION. REFERENCE RELEVANT MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. CONTRACTOR TO BE RESPONSIBLE FOR PROTECTION OF AND RESTORATION OF SERVICES, AS WELL AS PROVISION OF TEMPORARY UTILITY SERVICES.
3.	THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AND PAY ALL APPLICATION FEES.	20. NOTIFY CITY OF SAN ANTONIO WHEN IT IS NECESSARY TO AFFECT UTILITIES BEFORE PROCEEDING WITH THE WORK. ALL EXISTING UTILITIES MUST BE CHECKED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK. ANY DAMAGES RESULTING FROM LACK OF COMPLIANCE WITH THE PROVISIONS SHOULD BE CORRECTED BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE.
4.	IF THE CONTRACTOR PERFORMS OR PROCEEDS WITH ANY WORK, CONTRARY TO APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS WITHOUT GIVING PRIOR WRITTEN NOTICE TO THE ARCHITECT, HE/SHE SHALL ASSUME FULL RESPONSIBILITY THEREFORE AND SHALL BEAR ALL COST ATTRIBUTABLE.	NEW FASTENERS
5.	THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION AND SHALL REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION DISCOVERED AND SHALL NOT PROCEED WITH THE WORK UNTIL THE INTENT OF THE DOCUMENTS IS VERIFIED BY THE ARCHITECT.	1. ATTACHMENTS TO MASONRY I.E.: CONDUIT, WOOD FRAMING, ETC. MUST BE ATTACHED INTO MASONRY JOINTS UNLESS NOTED OTHERWISE. DO NOT DRILL THROUGH, PENETRATE OR ALTER I IN ANY WAY THE ORIGINAL MATERIALS OR STRUCTURES UNLESS NOTED OTHERWISE.
6.	ALL DRAWINGS AND SPECIFICATIONS FORMING PART OF THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL; ANY WORK SHOWN OR REFERRED TO ON ANY ONE DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DOCUMENTS.	CONCEALMENT OF CONDUIT, PIPING, AND DEVICES AT WALLS AND CEILINGS:
7.	THE CONTRACT DOCUMENTS SHALL BE INTERPRETED WITH THE FOLLOWING ORDER OF PRECEDENCE: SPECIFICATIONS, DETAILS, ENLARGEMENTS, OVERALL DRAWINGS, AND SUBSEQUENT CLARIFICATIONS. ADDENDA SHALL OVERRIDE THE AFFECTED COMPONENTS IN ALL OF THE ABOVE. ALL VERBAL CLARIFICATIONS ARE TO BE RECORDED BY THE CONTRACTOR AND SENT TO THE ARCHITECT WITHIN SEVEN DAYS OF THE OCCURRENCE.	1. CONDUIT, WIRING, AND PIPING, IS TO BE CONCEALED BEHIND FINISH FACE OF GYPSUM BOARD AND PLASTER WALLS ON THE GROUND LEVEL AND BALCONY LEVEL UNLESS NOTED OTHERWISE.
8.	THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND AUDIO/VISUAL DOCUMENTS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DOCUMENTS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DOCUMENTS AND THE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND AUDIO/VISUAL DOCUMENTS, SUCH DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE CONTRACTOR SHALL RECEIVE INSTRUCTIONS PRIOR TO INSTALLATION OR PERFORMANCE OF SAID WORK. ANY WORK PERFORMED OR INSTALLED IN CONFLICT WITH THE DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE.	2. ROUTE CONDUIT INTO THE PLASTER AND MASONRY SO THAT A FULL APPLICATION OF LATH AND PLASTER SYSTEM IS INSTALLED OVER THE MATERIAL AND CONDUIT AND PIPING IS CONCEALED IN WALLS BEHIND THE PLASTER.
9.	INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH EXISTING CONDITIONS. THIS INTERPRETATION HAS BEEN TAKEN BY FIELD MEASUREMENT AND OBSERVATION. THE ARCHITECT HAS ENDEAVORED TO IDENTIFY AS COMPLETELY AS POSSIBLE IN THE CONSTRUCTION DOCUMENTS, EXISTING ITEMS OF EQUIPMENT AND CONSTRUCTION THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS IN NO WAY INTENDED TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXECUTE DEMOLITION WORK AS REQUIRED TO REMOVE ELEMENTS AND SYSTEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS, ALONG WITH THEIR ASSOCIATED PARTS.	3. ELECTRICAL BOXES AND ASSOCIATED ELEMENTS MUST BE RECESSED INTO WALLS SO THAT COVER PLATES ARE FLUSH WITH THE FINISH SURFACE OF THE WALL.
10.	ALL AREAS AND ITEMS INDICATING CONTRACT LIMITS AND LINES OF DEMARCATION ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT TO BE TAKEN LITERALLY. ACTUAL CONTRACT LIMITS ARE TO BE DETERMINED PRIOR TO CONSTRUCTION BY FIELD VERIFICATION.	PENETRATIONS AT MASONRY WALLS:
11.	EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL NOT BE DAMAGED DURING THE DEMOLITION PROCESS. PROVIDE ALL NECESSARY TEMPORARY PROTECTION.	1. CUT/CORE PLASTER AND MASONRY WALLS AS NECESSARY TO ACCOMMODATE NEW MATERIALS, COMPONENT, AND SYSTEMS INCLUDING CONDUIT, WIRING, PIPING, DUCTS AND ALL OTHER ITEMS REQUIRED FOR INSTALLATION OF OPERATION OF ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS. RE: STRUCTURAL FOR PENETRATION DETAILS AT MASONRY LOAD BEARING WALLS.
12.	CONTRACTOR TO ASSIST THE ARCHITECT IN MAKING THEIR EVALUATIONS AND RECOMMENDATIONS BY PROVIDING IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS, SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS, AND CONCEALED OR OTHERWISE UNANTICIPATED CONDITIONS AFFECTING NEW CONSTRUCTION.	
13.	SCAFFOLDING AND SHORING CANNOT BE SECURED TO EXISTING HISTORIC MATERIALS, OR CAUSE DAMAGE TO EXISTING MATERIALS.	

SYMBOL LEGEND

	BROKEN SECTION		FLOOR LEVEL CHANGE
	WALL SECTION		CENTER LINE
	DETAIL SECTION		DOOR TYPE
	DETAIL KEY		WINDOW TYPE
	DETAIL KEY		WALL TYPE
	Room name		ROOM NAME, NUMBER, & SQUARE FOOTAGE
	BUILDING ELEVATION KEY		BREAK LINE
	COLUMN CENTER LINE		

MATERIAL LEGEND

	EARTH/COMPACT FILL		FRT ROUGH WOOD
	GRAVEL FILL		FRT BLOCKING
	SAND FILL		FINISH WOOD
	CAST-IN-PLACE CONC.		PLYWOOD
	LIGHTWEIGHT CONC.		RIGID INSULATION
	FACE BRICK		THERMAL/ ACOUSTIC BATT INSULATION
	COMMON BRICK		SPRAYED INSULATION
	CMU		SPRAYED FIRE INSULATION
	CAST STONE		CERAMIC TILE
	GLASS		TYPE 'X' GYP. BOARD
	STEEL		METAL LATH & PLASTER
	ALUMINUM		CARPET
	SHEET METAL		HOLLOW CLAY TILE

BID ALTERNATES

BASE BID	
•	REMOVAL OF TWO (2) EXISTING AIR HANDLING UNITS (AHU), SERVICING THE MAIN AUDITORIUM AND STAGE AREAS, ALONG WITH ASSOCIATED PIPING, DUCT WORK AND AIR REGISTERS AS INDICATED.
•	REMOVAL OF ALL MAIN ELECTRICAL SWITCH GEAR AS INDICATED.
•	REMOVAL OF ELECTRICAL SUB PANELS, FEEDERS AND CONDUIT ASSOCIATED WITH EXISTING AHUS TO BE REMOVED.
•	INSTALLATION OF TWO ROOFTOP AHUs, ALONG WITH ASSOCIATED PUMPS, PIPING, DUCTWORK, AIR REGISTERS, STRUCTURAL SUPPORTS, AND SCREENING.
•	INSTALLATION OF STRUCTURAL FRAMING FOR ROOF, WALL AND FLOOR PENETRATIONS ASSOCIATED WITH NEW HVAC SYSTEMS.
•	CONSTRUCTION OF RAISED ADA PLATFORM / RETURN AIR PLENUM IN THE MAIN AUDITORIUM.
•	INSTALLATION OF NEW MAIN ELECTRICAL PANEL AND ALL ELECTRICAL WORK ASSOCIATED WITH COMPLETE OPERATIONS OF THE NEW AHUs.
•	DEMOLITION OF EXISTING FLOOR FRAMING AND CONSTRUCTION OF THE NEW INTERIOR VESTIBULE AND ADA RAMP ON THE NORTH SIDE OF THE MAIN AUDITORIUM.
•	PATCH BACK OF EXTERIOR MASONRY AND ROOFING ASSOCIATED WITH REMOVAL OF HVAC SYSTEMS.
•	RE-ROOF OF AREAS UNDER NEW MECHANICAL EQUIPMENT PLATFORMS AND DUCTWORK.
•	INSTALLATION OF FIRE / SMOKE DETECTION AND ALARMS IN AREAS OF WORK, AS INDICATED.
BID ALTERNATES	
1.	INSTALLATION OF TWO (2) ADA LIFTS, INCLUDING AS-REQUIRED SELECTIVE DEMOLITION, STRUCTURAL FRAMING, PARTITIONS, AND ELECTRICAL.
2.	DEMOLITION OF SITE IMPROVEMENTS AND CONSTRUCTION OF NEW EXTERIOR ADA ENTRY PLAZA ON THE SOUTH SIDE OF THE BUILDING, INCLUDING PAVING, RAILINGS, CANOPY, SCREEN WALL, LIGHTING, PLANTING BEDS, IRRIGATION AND PLANTING.
3.	DEMOLITION OF EXISTING STEEL EGRESS STAIRS ON THE NORTH AND SOUTH SIDES OF THE BUILDING. CONSTRUCTION OF NEW STEEL EGRESS STAIRS AS INDICATED.

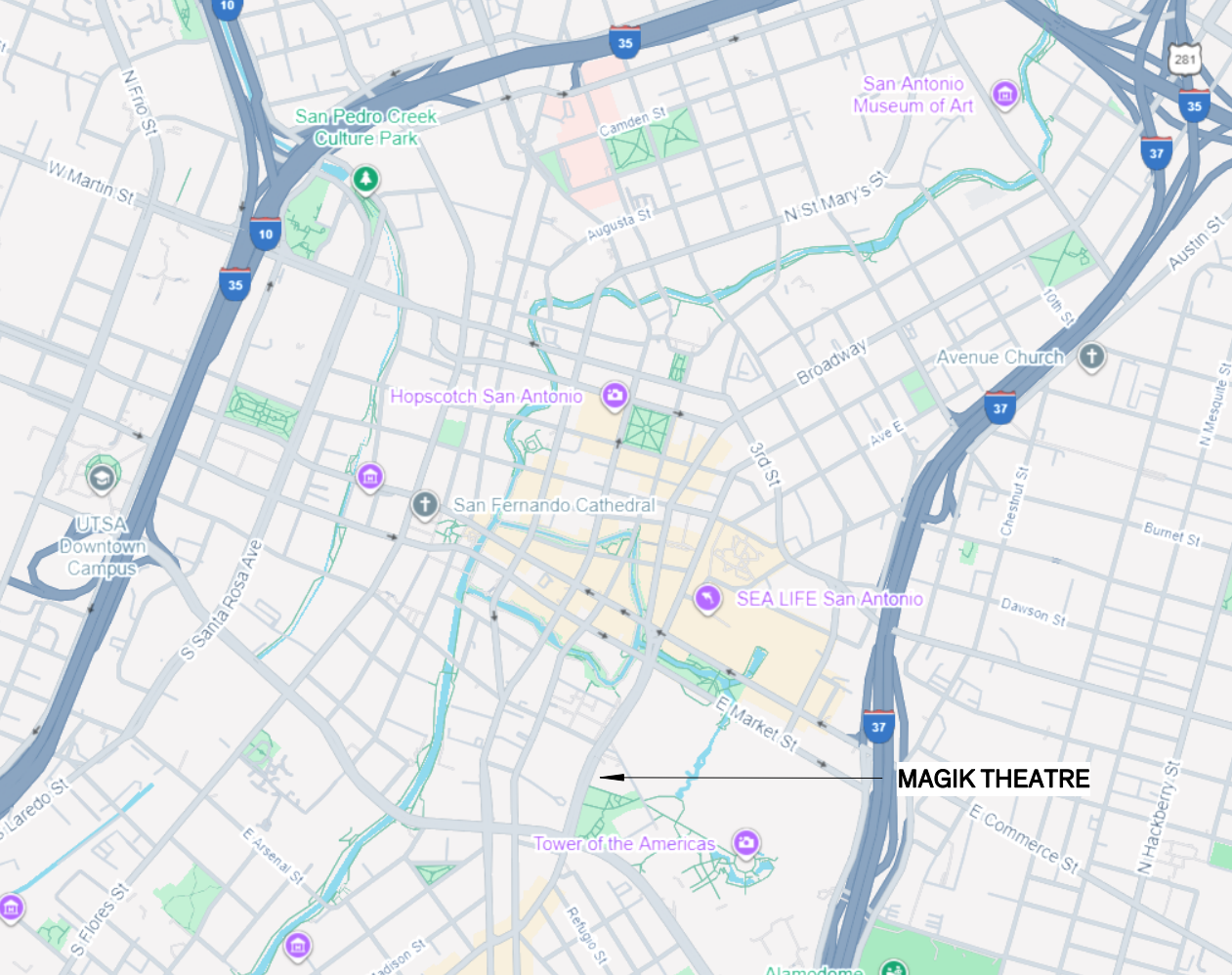
CODE REVIEW

- THE MAGIK THEATRE, AKA BEETHOVEN MANNERCHOR, IS DESIGNATED HISTORIC LANDMARK UNDER THE CITY OF SAN ANTONIO'S UNIFIED DEVELOPMENT CODE. THE BUILDING IS ALSO A STATE ANTIQUITIES LANDMARK DESIGNATED BY THE TEXAS HISTORICAL COMMISSION.
- INTERIOR RENOVATIONS AND SHALL CONFORM TO THE REQUIREMENTS OF THE 2021 INTERNATIONAL EXISTING BUILDING CODE WITH LOCAL AMENDMENTS, INCLUDING CHAPTER 8 ALTERATIONS - LEVEL 2 AND CHAPTER 12 HISTORIC BUILDINGS.
- EXTERIOR IMPROVEMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE 2021 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS.
- NO PROPOSED WORK INCREASES OCCUPANT LOADS OR DECREASES THE SAFETY FACTOR OF THE EXISTING BUILDING.

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VICINITY MAP



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REVISION HISTORY

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Sheet Name
PROJECT INFORMATION

Sheet
Number