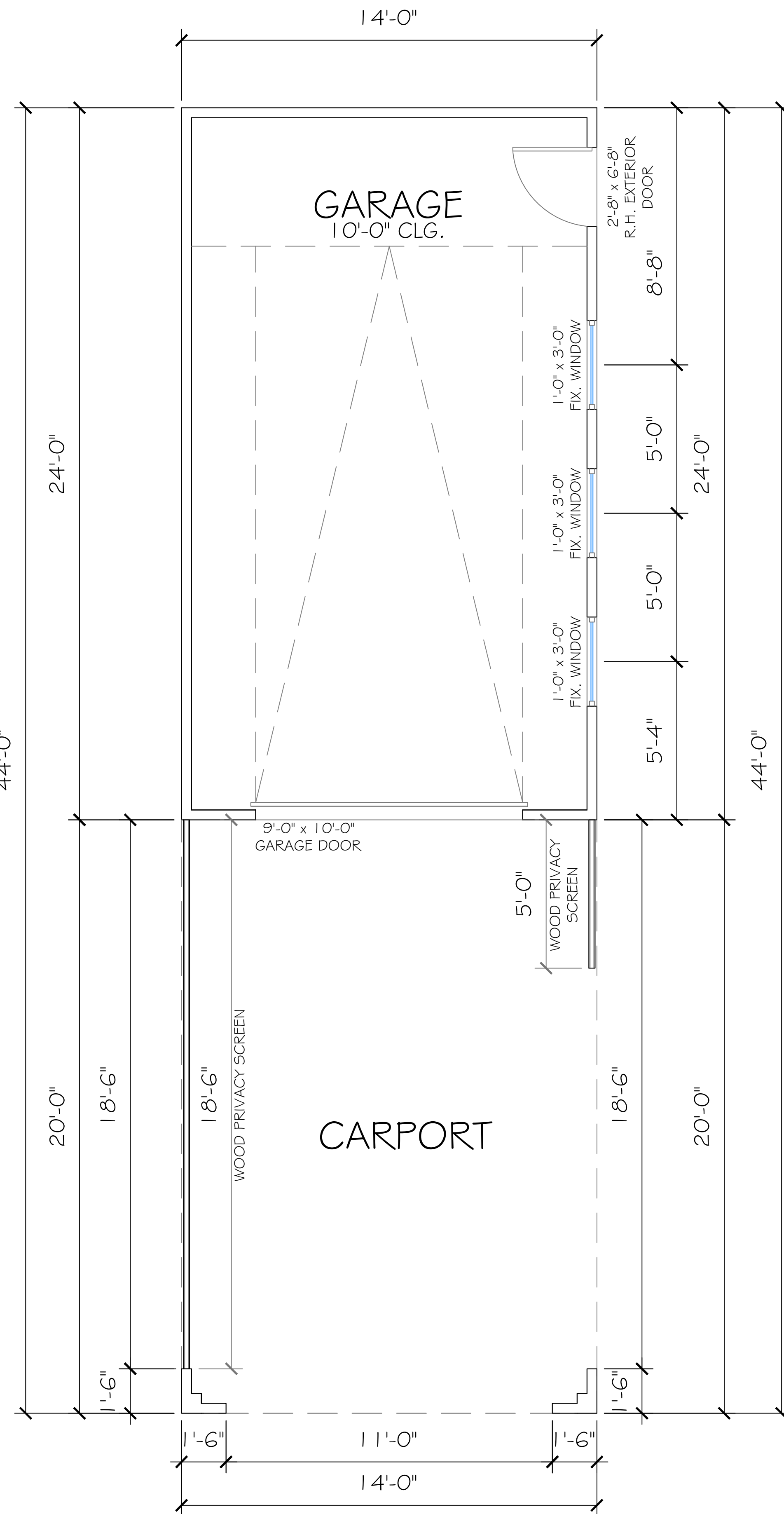


N 83° 35' 13" E 50.30'  
 362 E. HUISACHE AVE.  
 SAN ANTONIO, TX 78212  
 (50' R.O.W.) (HILL CREST AVE. PER PLAT)

### SITE PLAN

SCALE: 3/32" = 1'



### FLOOR PLAN

SCALE: 3/8" = 1'

#### GENERAL CONSTRUCTION NOTES:

1. ALL CONTRACTORS AND TRADES SHALL VERIFY CONDITIONS AFFECTING THEIR WORK, DIMENSIONS, HEIGHTS, QUANTITIES, MATERIALS, ETC. AND SHALL COORDINATE ALL ITEMS INVOLVED INCLUDING BUT NOT LIMITED TO FINISHES, MATERIALS, PATTERNS, EQUIPMENT, PLUMBING, ELECTRICAL, MECHANICAL AND THE INTENDED QUALITY.
2. CONTRACTORS SHALL SUPPLY ALL LABOR MATERIALS SCAFFOLDING APPARATUS, EQUIPMENT, TOOLS, SECURITY, TEMPORARY POWER AND LIGHTING, AS WELL AS ALL NECESSARY PERMITS, LICENSES, INSURANCE, TAXES, FEES AND BONDS FOR THE ENTIRE AND PROPER EXECUTION AND COMPLETION OF THE WORK. CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE SAFE AND PROPER AND LAWFUL USE AND MAINTENANCE OF SAME. CONTRACTORS SHALL FURTHER PERFORM IN THE MOST COMPLETE AND BEST WORKMANLIKE MANNER ALL WORK COVERED WITH THESE DOCUMENTS, PROPERLY INCIDENTAL THERETO OF REASONABLY IMPLIED INCLUDING ALL MECHANICAL AND ELECTRICAL WORK.
3. ALL BIDS SHALL QUALIFIED IF NECESSARY TO REFLECT THE INTEND AND REQUIREMENTS OF THESE PLANS AND ALL CLARIFICATION ITEMS DISCUSSED WITH OWNER AND AGREED TO BE FURNISHED. SUBMIT ADEQUATE SUPPLEMENTAL BID DATA AND SCHEDULE OF VALUE TO OWNER TO SUBSTANTIATE BIDS AND ALL PRICES. THE PARTIES MAY ELECT TO REVIEW AND CLARIFY SPECIFIC ITEMS PRIOR TO ENTERING AN AGREEMENT.
4. ALL SUPPLEMENTARY ITEMS, TRIMS, MOLDINGS, FITTING GROUNDS, ANCHORS, CAULKING, SEALANTS, WATERPROOFING, FRAMING, CONNECTIONS, BLOCKING, FORMING, ETC., NECESSARY TO PROPERLY EXECUTE EACH ITEM OF WORK SHALL BE PROVIDED IN A COMPLETE MANNER BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, IF REASONABLY IMPLIED AND IS A COMMON TRADE PRACTICE FOR SUPERIOR WORK IN THIS AREA.
5. COORDINATE AND CLARIFY WITH OWNER ALL ALLOWANCE, CONTINGENCIES, POTENTIAL EXTRAS AND OPTIONAL ITEMS WITH BID SUBMITTAL. SUBMIT A LIST OF EQUIPMENT, FIXTURES, MATERIALS, TRIM, ETC., PROPOSED THAT NOT IS CLEARLY SPELLED OUT IN PLAN AND SPECS TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY BUILDING CODE REQUIREMENTS, NATIONAL ELECTRIC CODE AND BEST TRADE PRACTICES.
7. SUBMIT PLAN TO ARCHITECTURAL CONTROL COMMITTEE FOR APPROVAL (OR VERIFY APPROVAL HAS BEEN OBTAINED) IF APPLICABLE. NOTIFY OWNER OF BUILDING PERMIT "NOTATIONS" AND RELATED INSPECTOR PROBLEMS DURING CONSTRUCTION. VERIFY THAT ALL PERMITS HAVE BEEN PROPERLY OBTAINED.
8. FOUNDATION CONTRACTOR MUST COORDINATE FOUNDATION DRAWINGS WITH ARCHITECTURAL PLANS OF THE JOB. GENERAL CONTRACTOR SHALL MAKE SURE THIS IS DONE SPECIALLY DROPS, LUGS, DIMENSIONS, CURBS, WATERPROOFING, GRADES, ETC. MASONRY LUGS WILL BE LOWERED TO A DESIGNATED MAXIMUM DISTANCE ABOVE FINISH GRADES AND MUST BE "DROPPED" AS REQUIRED.

#### GENERAL PLANS NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND GRADE PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT/DESIGNER OF ANY DISCREPANCIES. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS STATED OTHERWISE.
2. ALL EXTERIOR WALLS TO BE 2X4 CONSTRUCTION AT 16" O.C. ALL INTERIOR WALLS TO BE 2X4 AT 16 O.C. UNLESS OTHERWISE NOTED, (ALL SOUTHERN YELLOW PINE #2 MIN.)
3. ALL INTERIOR GYP BD. CEILING TO BE 5/8" AS SPEC. ALL GYP BD. WALLS TO BE 1/2" GYM BD., TAPE, FLOAT, TEXTURE AND PAINT UNLESS NOTED OTHERWISE, BASE BID ICI PAINT. BASE BID I COAT OF PRIMER AND TWO FINISH COATS.
4. CONTRACTOR TO PROVIDED WATERPROOF CEMENT BACKER BOARD AT ALL WET AREAS.
5. ALL CONSTRUCTION SHALL CONFORM TO ALL BUILDING CODES AND REGULATIONS, CITY ORDINANCES AND OSHA SAFETY STANDARDS.

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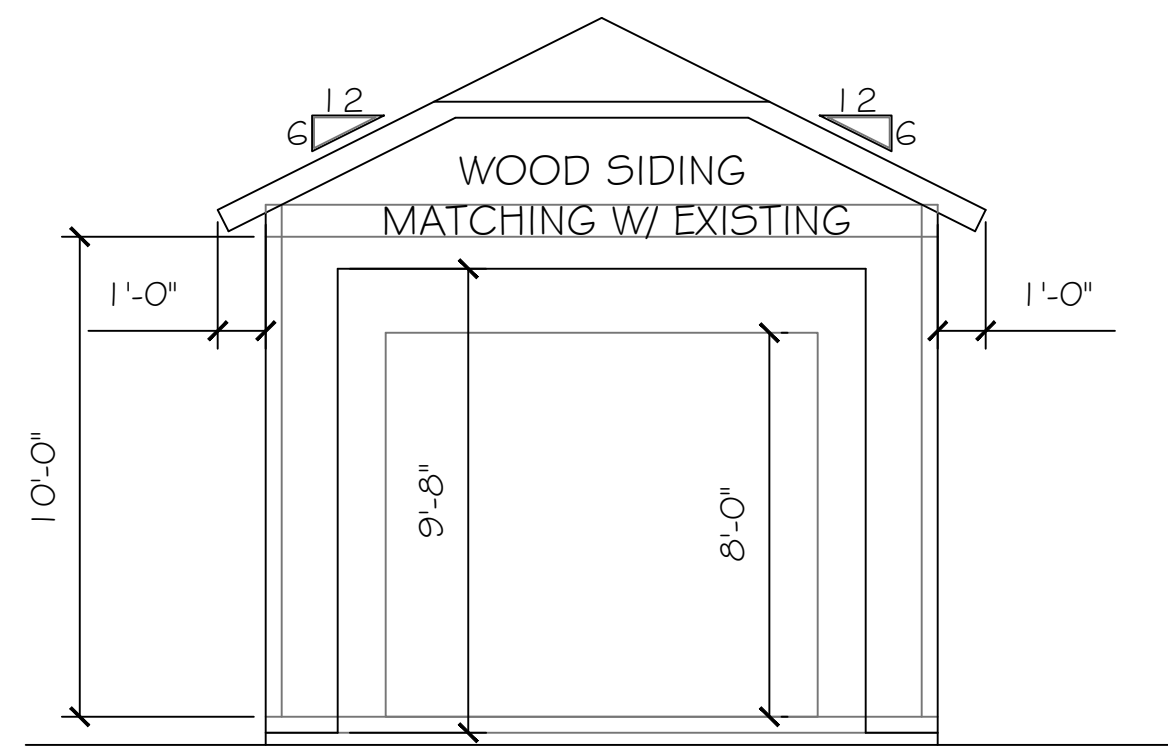
**NEW GARAGE**  
 362 E HUISACHE AVE  
 SAN ANTONIO, TX 78212

DATE: DECEMBER / 2024

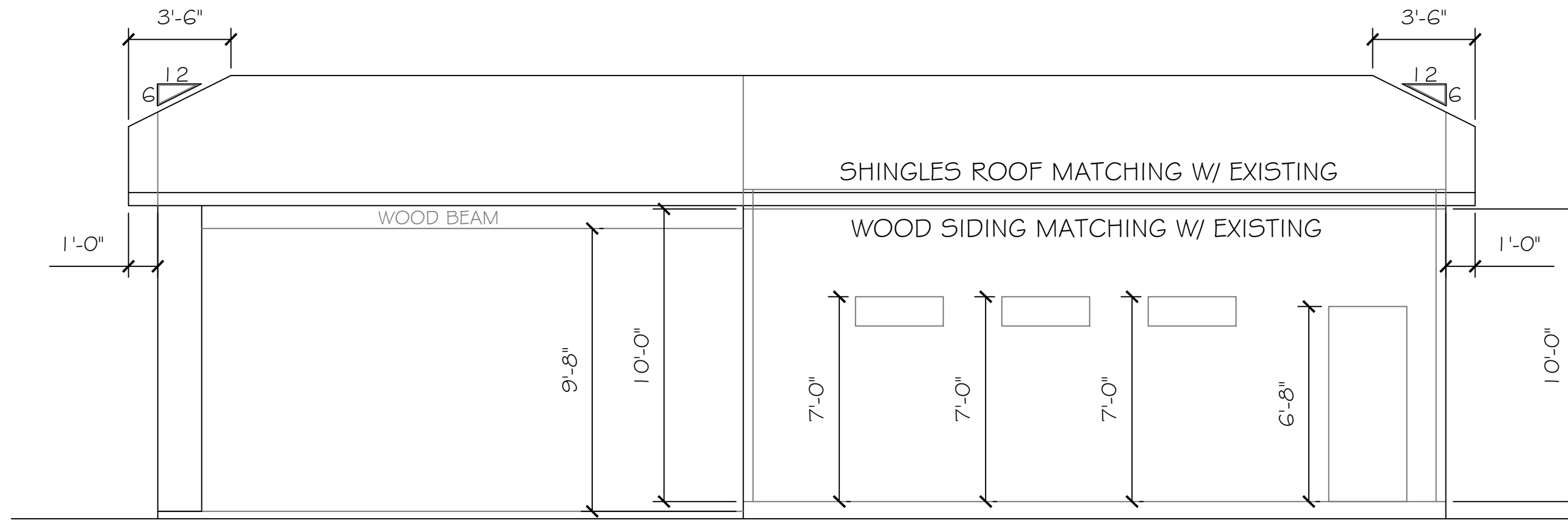
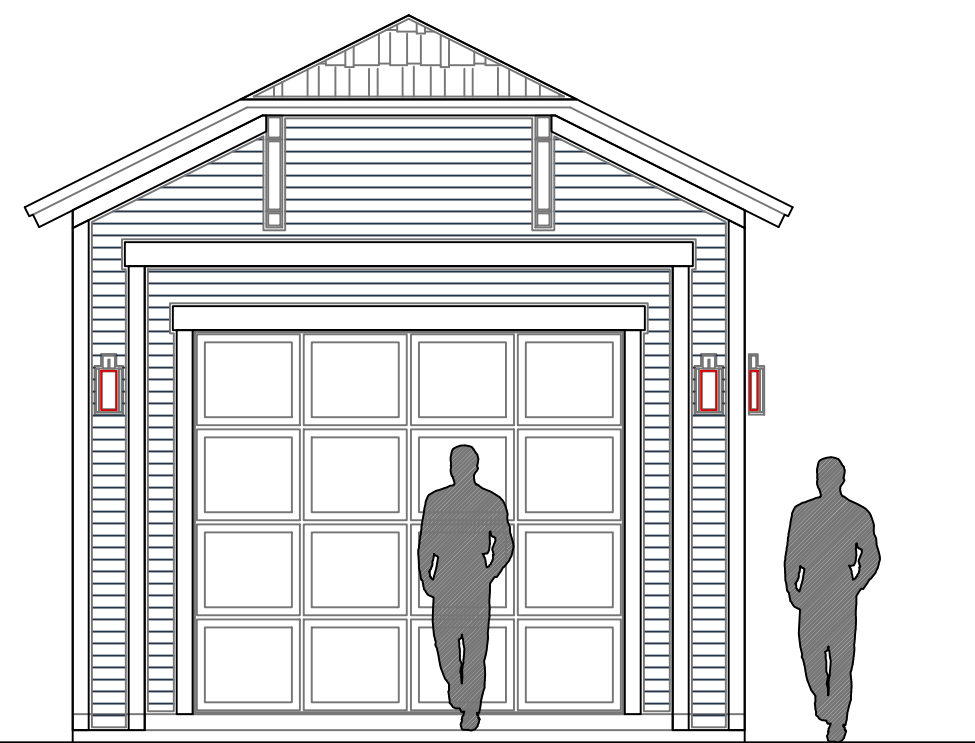
REVISIONS:

**HD** design & construction LLC  
 210. 872 . 7072  
 hector@hd-design.us

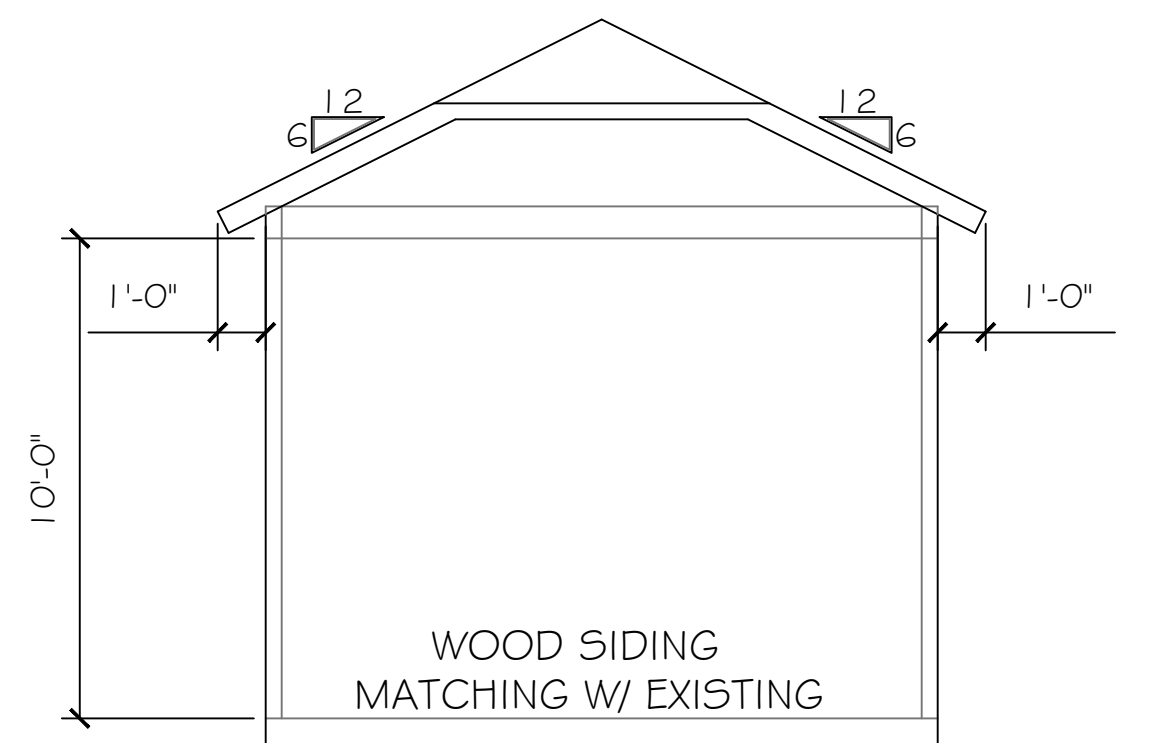
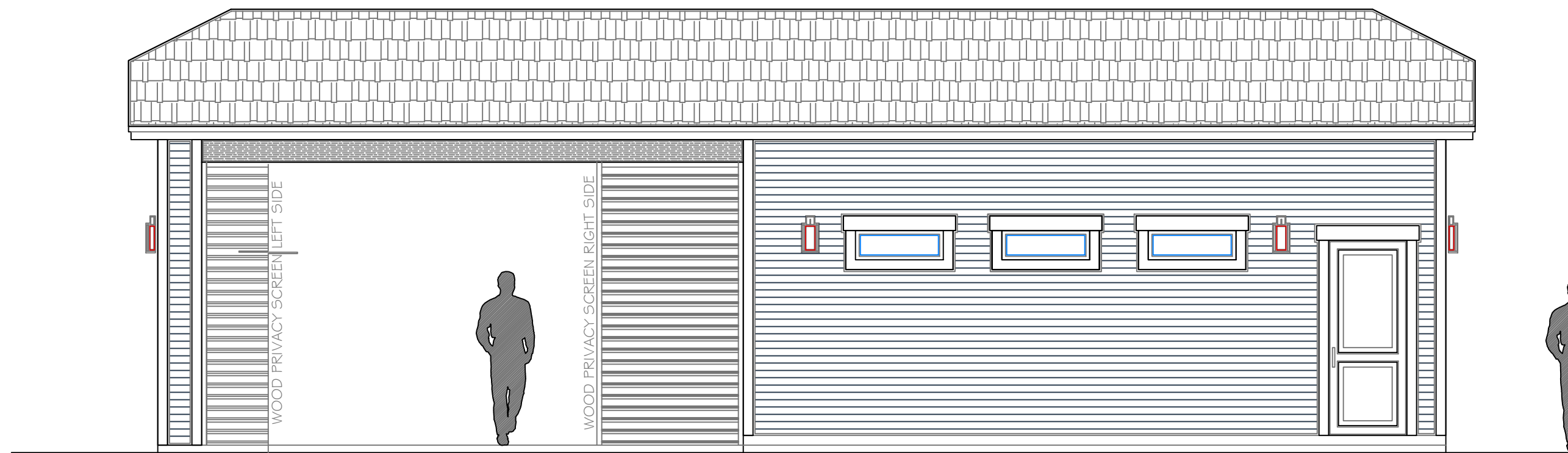
**A-1**  
 SITE PLAN & FLOOR PLAN



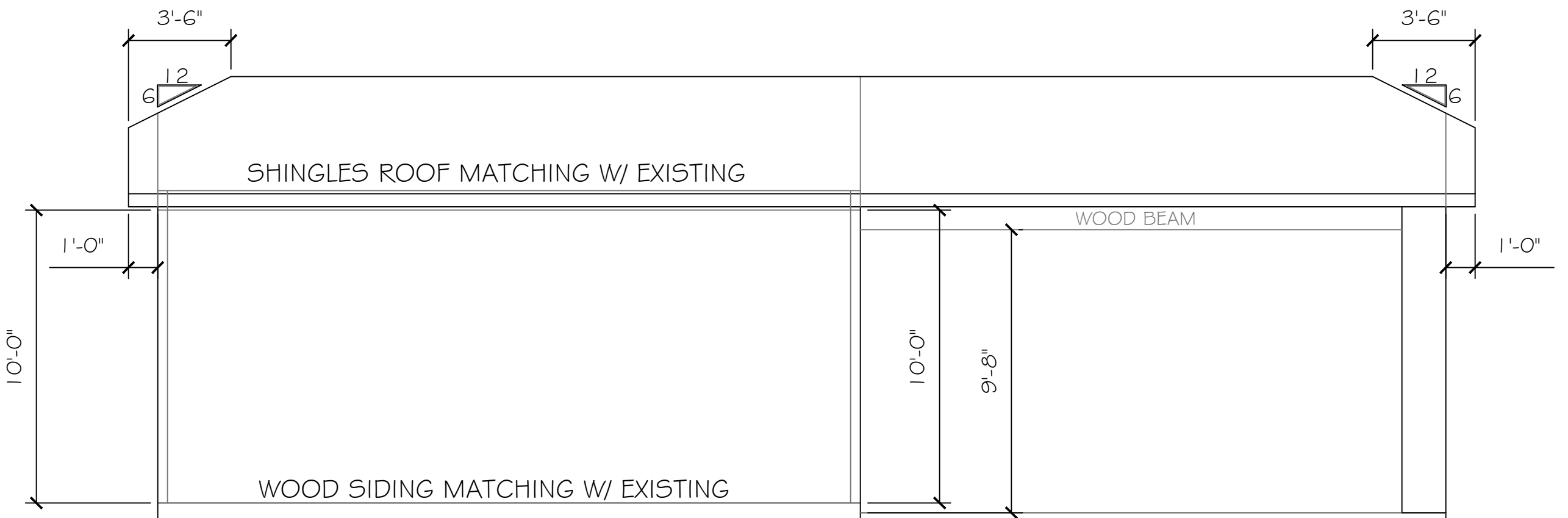
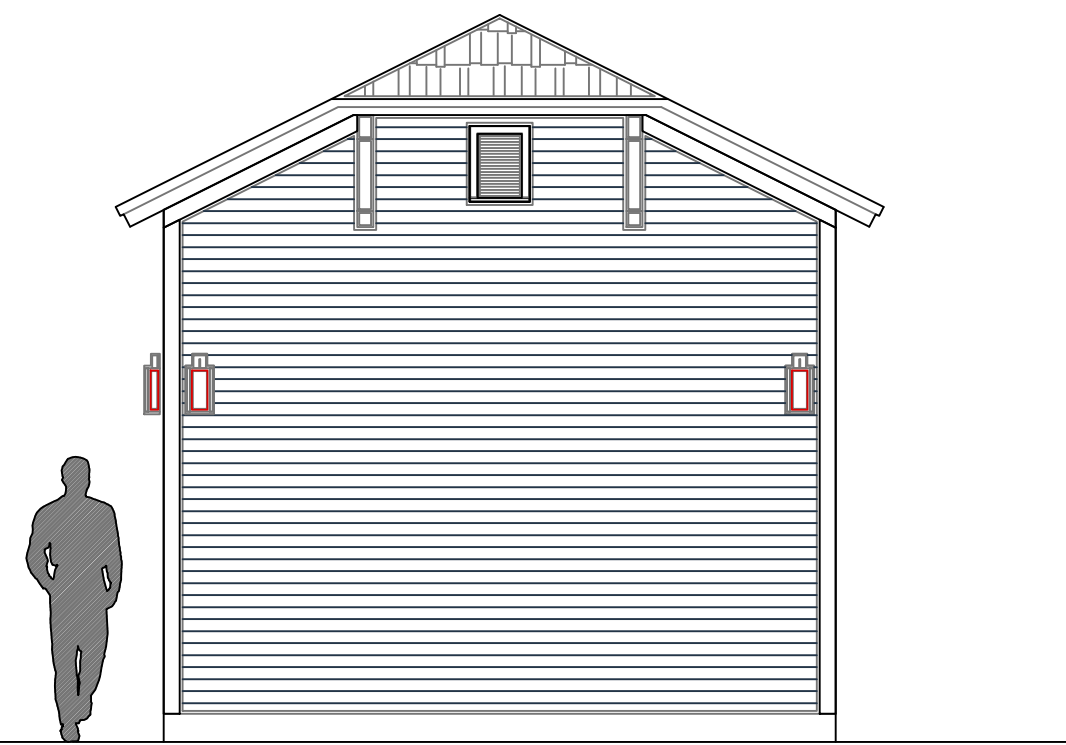
**FRONT ELEVATION**  
SCALE: 1/4" = 1'



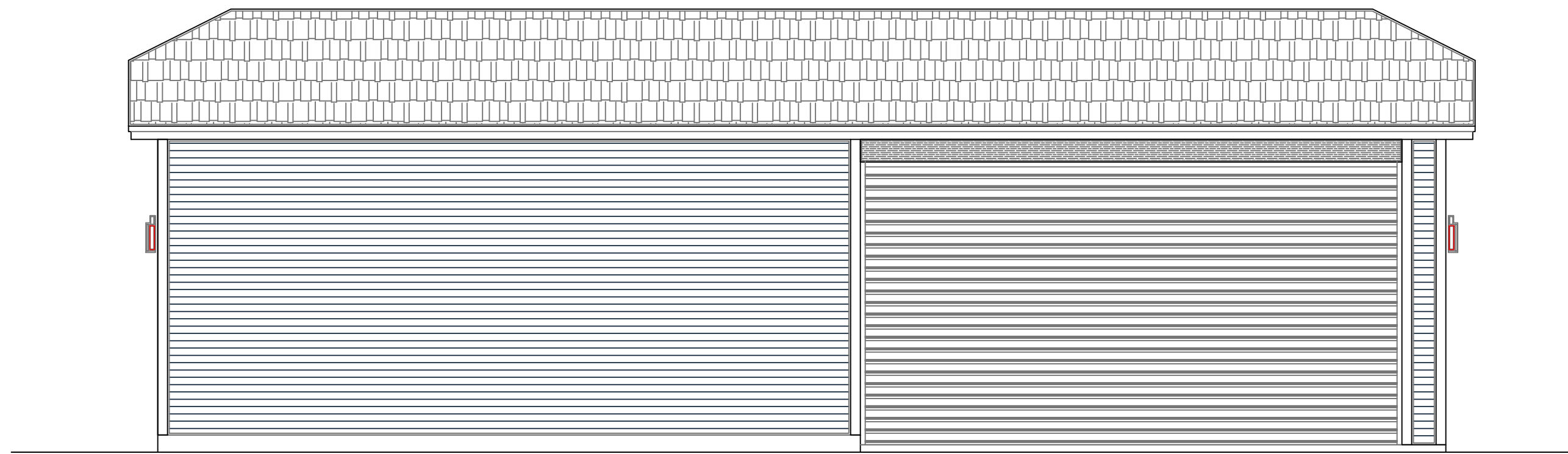
**RIGHT ELEVATION**  
SCALE: 1/4" = 1'



**REAR ELEVATION**  
SCALE: 1/4" = 1'



**LEFT ELEVATION**  
SCALE: 1/4" = 1'



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SAN ANTONIO, TX 78212

DATE: DECEMBER / 2024

REVISIONS:

**HD** design & construction LLC  
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hector@hd-design.us

**A-2**  
ELEVATION'S