

GENERAL NOTES

1. VERIFY DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
2. REFLECTED CEILING PLAN DIMENSIONS ARE REFERENCED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE. CEILING HEIGHTS ARE DIMENSIONED FROM FLOOR TO FINISHED CEILING HEIGHT.
3. DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
4. DO NOT SCALE DRAWING. WRITTEN DIMENSIONS TAKE PRECEDENCE. IF CLARIFICATION IS REQUIRED IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS, CONTACT THE ARCHITECT.
5. NOTES OR DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO SITUATIONS THAT ARE THE SAME OR SIMILAR.
6. ALL INTERIOR PARTITIONS SHALL BE KEYED AS ◇ REFERENCE SHEET A501 FOR PARTITION TYPES.
7. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL. UNLESS NOTED OTHERWISE.
8. ALL INDUSTRIAL METAL SHELVING INDICATED BY □ SHALL BE 24X36 UNLESS NOTED OTHERWISE. BRACE TO WALL OR CEILING TYP.
9. ALL SPACES WITH FLOOR DRAINS TO HAVE FINISHED FLOORS SLOPED TO DRAIN NOT TO EXCEED ONE IN FIFTY.
10. ALL FLOORS FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE. ALL FLOOR FINISH CHANGES SHALL HAVE THRESHOLDS OR REDUCER STRIPS.
11. ALL DOORS IN INTERIOR GYP. BD STUD WALLS SHALL BE SET 4" OFF THE PERP. ADJ. WALL ON THE HINGE SIDE OF THE DOOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL CONTACT THE ARCHITECT IF ANY CONFLICTS OCCUR.
12. ALUM. THRESHOLDS TO BE SET IN FULL BED OF SEALANT AT ALL EXT. DOORS.
13. PROVIDE VINYL REDUCER AT ALL DISSIMILAR FLOOR MATERIALS UNLESS OTHERWISE NOTED.
14. UNLESS OTHERWISE NOTED, ALL ELECTRICAL AND MECHANICAL OPERABLE DEVICES SHALL BE MOUNTED WITH THE HIGHEST OPERABLE CONTROL AT MAX. OF 42" AFF.
15. ALL REQUIRED CLEARANCES, AS DESCRIBED IN THE TEXAS ACCESSIBILITY STANDARDS (TAS) OF THE ARCHITECTURAL BARRIERS ACT, ARTICLE 9102, TEXAS CIVIL STATUTES (2012), FOR COUNTERTOPS, ALL PLUMBING FIXTURES INCLUDING DRINKING FOUNTAINS, LAVATORIES, URINALS, AND TOILETS WILL BE STRICTLY ENFORCED.
16. ALL FURNITURE AND EQUIPMENT O.F.C.I.
17. PROVIDE EXTRA FIRE RETARDANT TREATED WOOD BLOCKING FOR WALL HANGING ITEMS.
18. WET AREA WALLS TO RECEIVE CERAMIC TILE FINISHES SHALL HAVE CEMENTITIOUS BACKER BOARD.
19. REFERENCE MEP PLANS FOR MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN AND DOCUMENTATION.
20. PATCH AND REPAIR ALL EXISTING SURFACES AS NECESSARY PRIOR TO APPLYING NEW FINISHES.
21. VERIFY THAT FIRE SEPARATION WALLS EXTEND TO STRUCTURE ABOVE AND ALL PENETRATIONS ARE SEALED TIGHT AS REQUIRED BY LOCAL JURISDICTION.
22. ALL GYPSUM BOARD TO BE 5/8" TYPE "X" UNLESS NOTED OTHERWISE.
23. ALL FRAMING NOT BRACED TO DEMISING WALLS SHALL BE SECURED OR DIAGONALLY BRACED AT 4'-0" O.C.
24. PROVIDE DRYWALL TRIM AT ALL EXPOSED EDGES AND CORNERS.
25. PROVIDE CAULK JOINTS WHERE GYPSUM BOARD MEETS THE FLOOR OR ROOF DECK, PACK FLUTES AT DECK AS REQUIRED.
26. CEILING AND FLOOR METAL FRAMING TRACKS TO BE ATTACHED TO STRUCTURE USING RAMSET METAL FASTENERS @ 24" O.C.
27. METAL STUDS TO BE @ 16" O.C.
28. ALL MATERIALS TO MEET FLAME SPREAD RATING AND SMOKE DEVELOPMENT REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.

WALL LEGEND

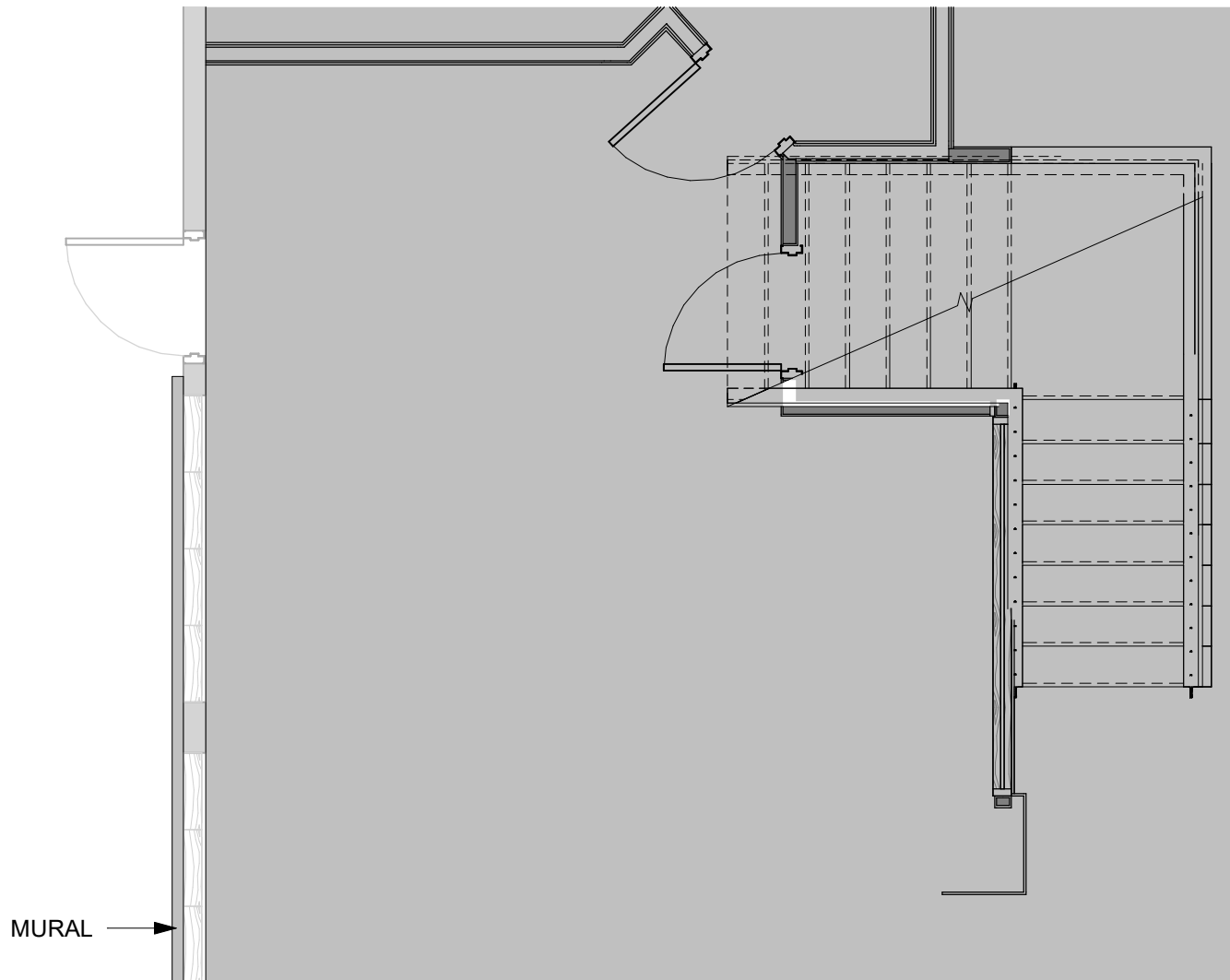
- EXISTING WALL
- NEW FULL HEIGHT WALL
- NEW INTERIOR LOW WALL

Keynote Legend - By Sheet

Key Value	Keynote Text
EQ1	HAND SINK. RE: PLUMBING DRAWINGS
EQ12	THREE COMPARTMENTS SINK O.F.C.I.
EQ100	2X NARG. MACHINE, SELECTED BY OWNER O.F.C.I.
EQ102	TUC-27-HC COUNTER REF., O.F.C.I.
EQ103	24X24 ICE WELL W/SODA GUN. O.F.C.I.
EQ104	TBC-50SB-GF-N COUNTER CHILLER, O.F.C.I.

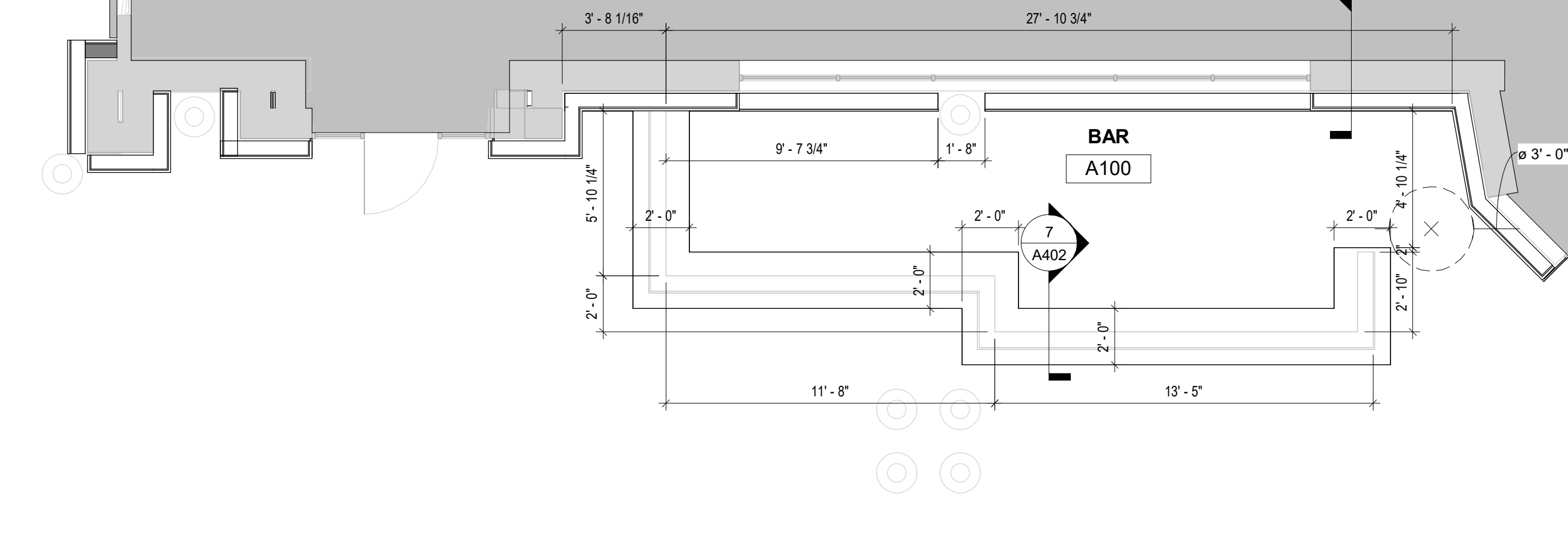
_PROJECT GENERAL INFORMATION

Name of Project	ALAMO BISCUIT @ RIVER CENTER
Location/ Address:	849 E COMMERCE ST., SUITE 197, SAN ANTONIO, TX., 78205
Description of Project:	RESTAURANT - BAR
Applicable Building Codes :	2024 INTERNATIONAL BUILDING CODE (IBC), 2024 INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2024 INTERNATIONAL RESIDENTIAL CODE (IRC), 2024 INTERNATIONAL FIRE CODE (IFC), 2024 INTERNATIONAL MECHANICAL CODE (IMC), 2024 INTERNATIONAL PLUMBING CODE (IPC), 2024 INTERNATIONAL FUEL GAS CODE (IFGC), 2024 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2024 NATIONAL ELECTRICAL CODE (NEC).
Accessibility	2012 TEXAS ACCESSIBILITY STANDARDS
Overall Type of Construction:	TYPE IIB
Occupancy Classification(s):	GROUP A-2
Overall Use of Building:	ASSEMBLY
Automatic Fire Sprinkler System :	YES
Type of Automatic Fire Sprinkler System:	EXISTING
Project Size	5,900 SQ. FT
Maximum Common Path (A-2 & A-3/ B w/ sprinkler) :	100'-0"
Maximum Exit Distance (A-2 & A-3/ B w/ sprinkler) :	100'-0"
Corridor Width	5'-0"



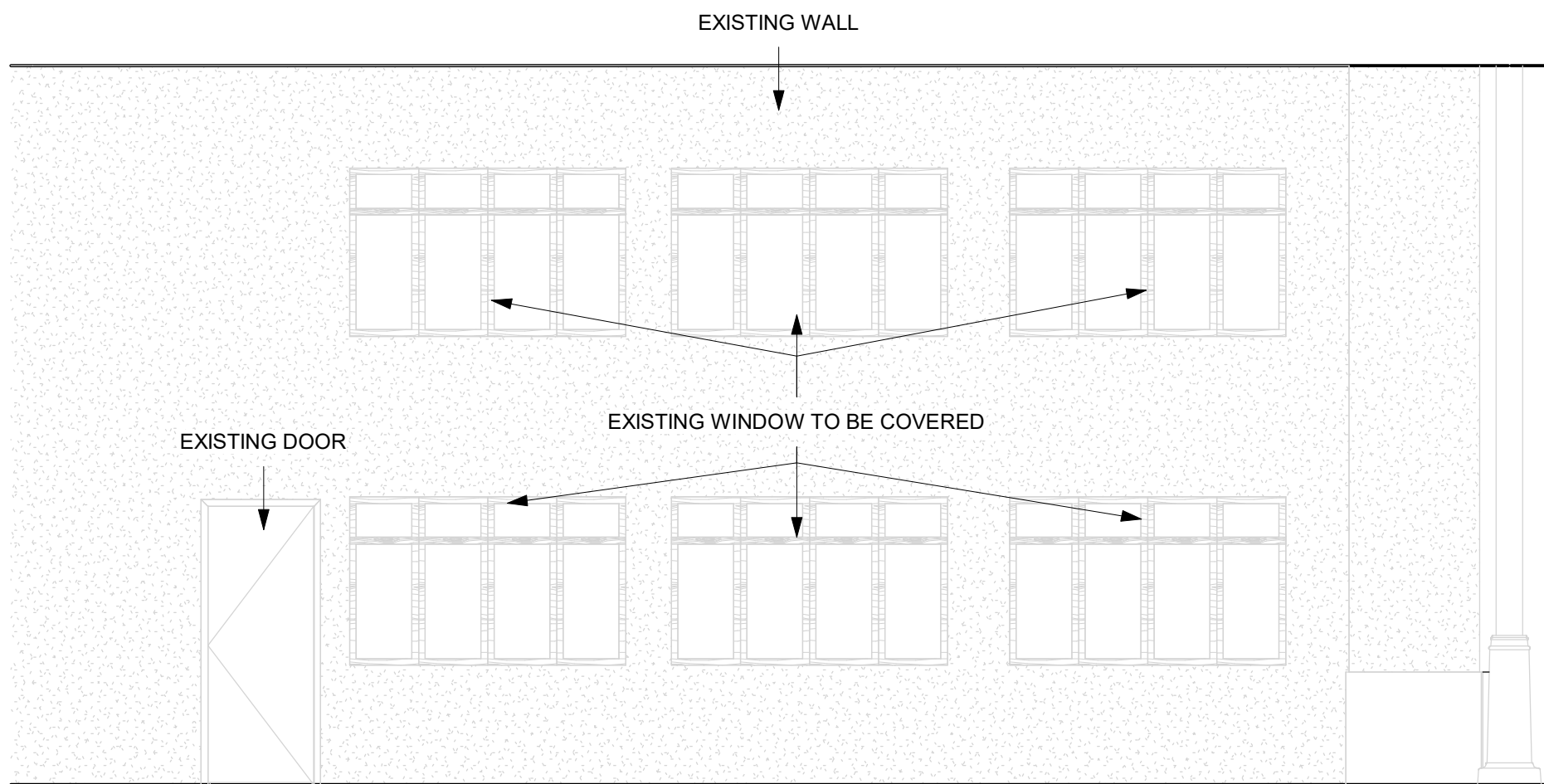
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NOT IN SCOPE OF WORK



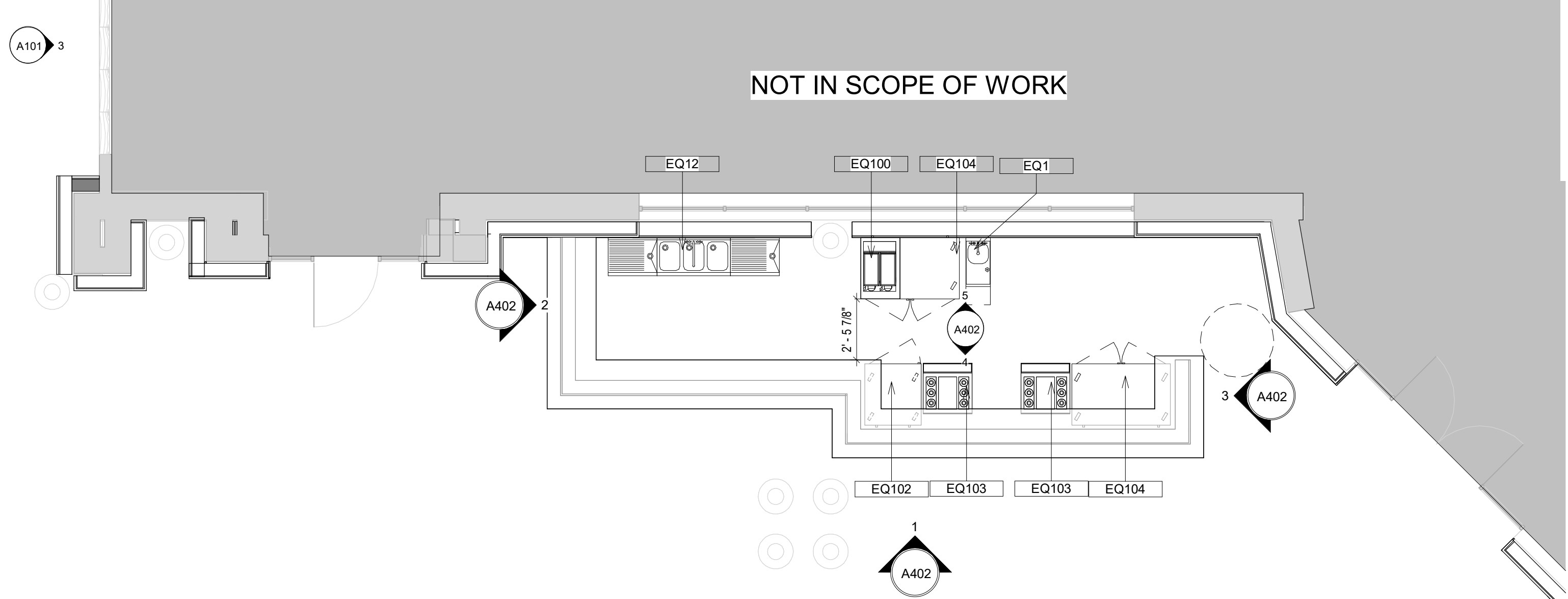
1 FLOOR PLAN

1/4" = 1'-0"



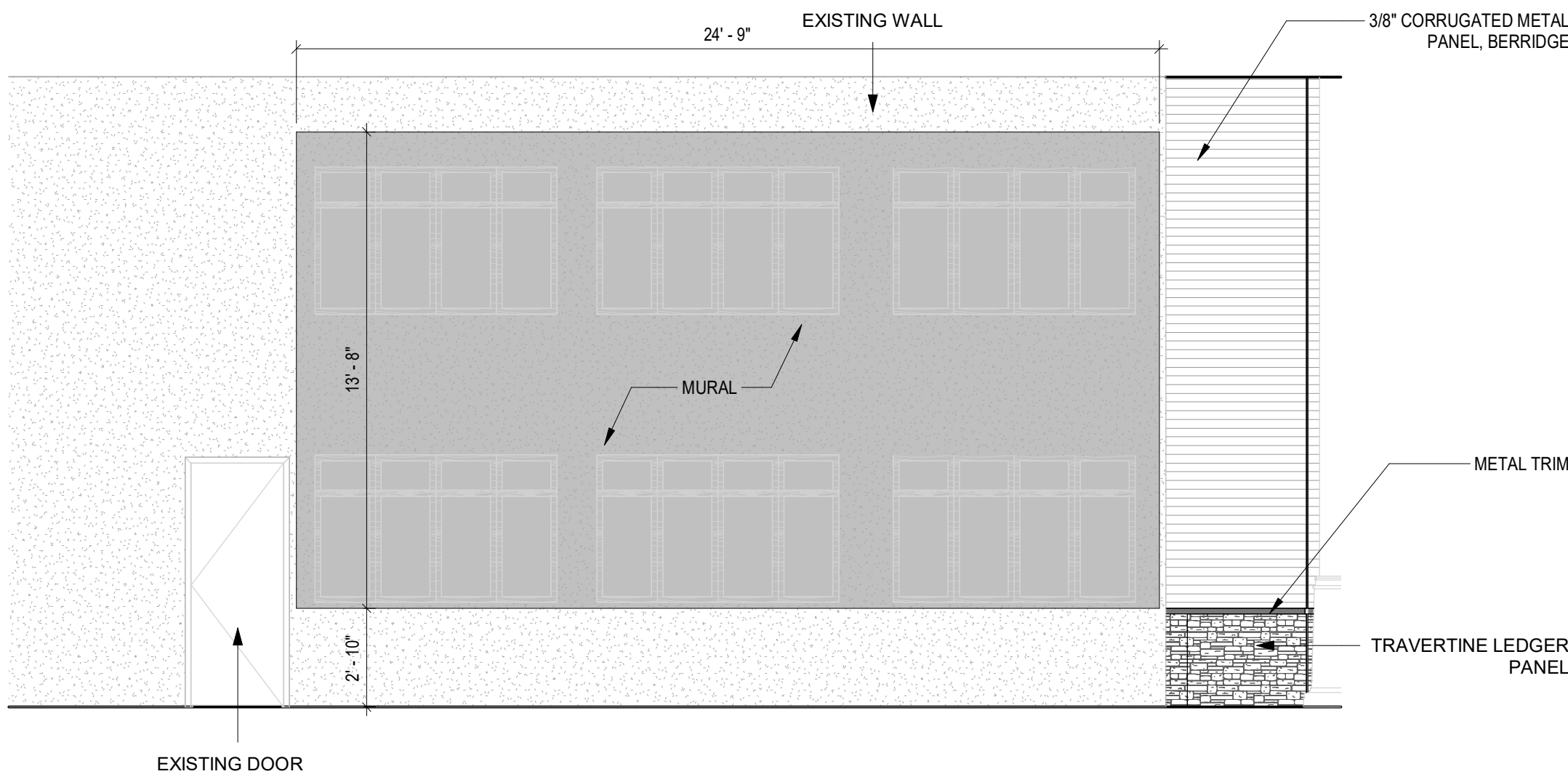
4 EXISTING WEST ELEVATION

1/4" = 1'-0"



2 EQUIPMENT/FURNITURE PLAN

1/4" = 1'-0"



3 NEW WEST PROPOSED ELEVATION

1/4" = 1'-0"

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PROJECT:

ABC BAR
ALAMO BISCUIT

849 E COMMERCE ST. 197,
SAN ANTONIO, TX 78205



CONTRACT DOCUMENTS

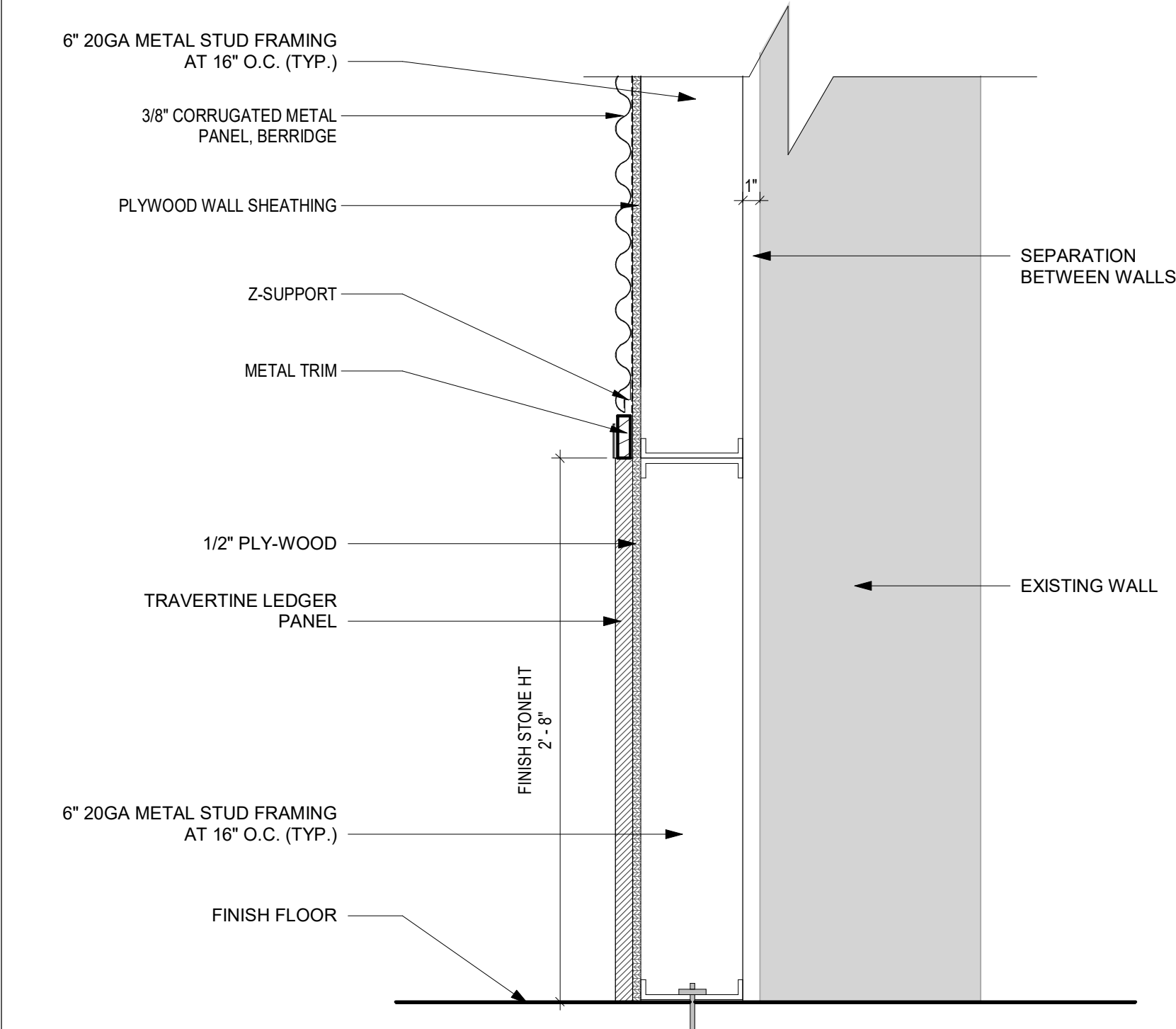
No.	Description	Date

FLOOR PLAN

A101

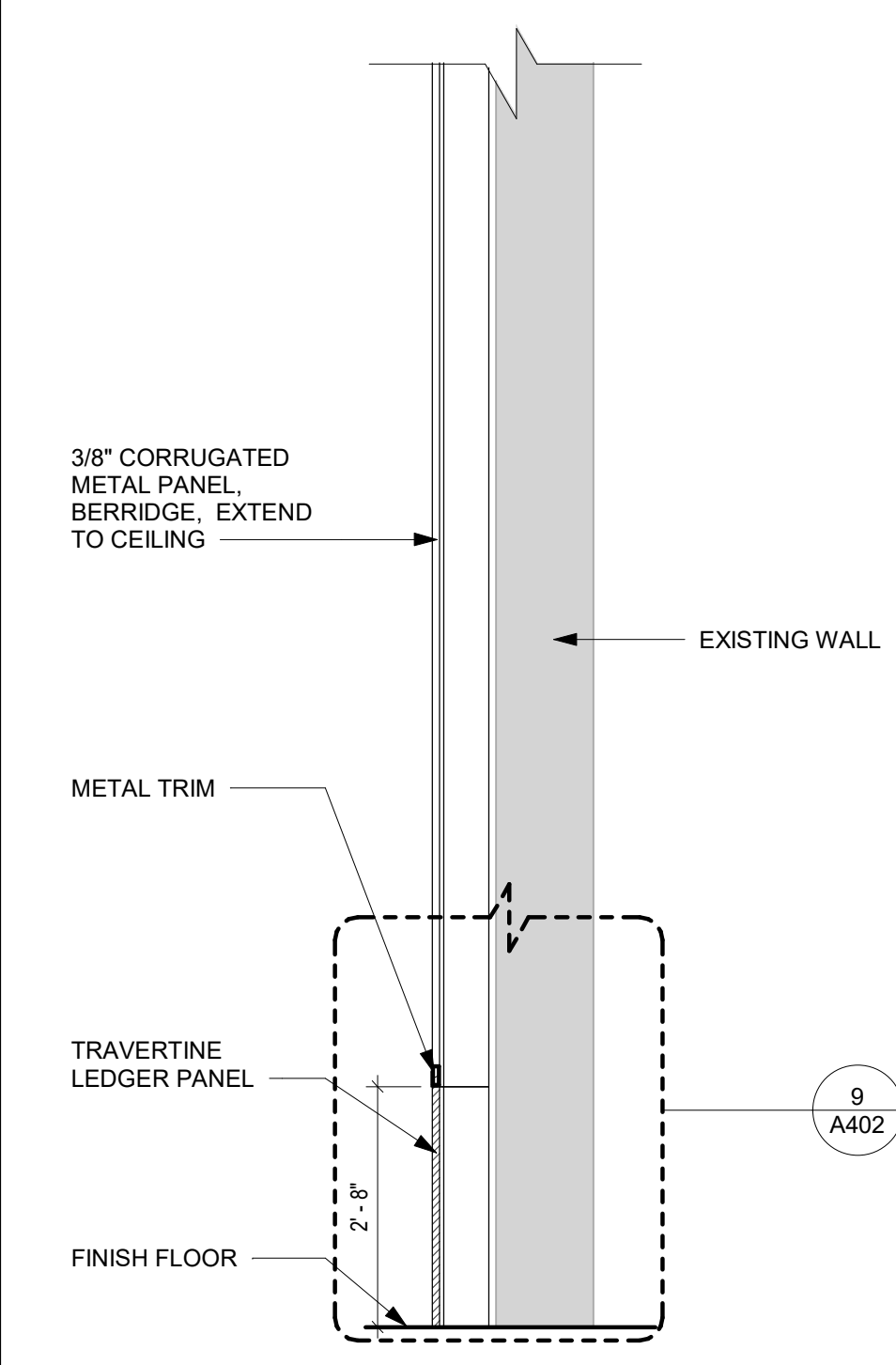
DRAWN BY: EP Project No. 25002
REVIEWED BY: JY
DATE: 09/02/2025

Keynote Legend - By Sheet	
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EQ1	HAND SINK, RE: PLUMBING DRAWINGS
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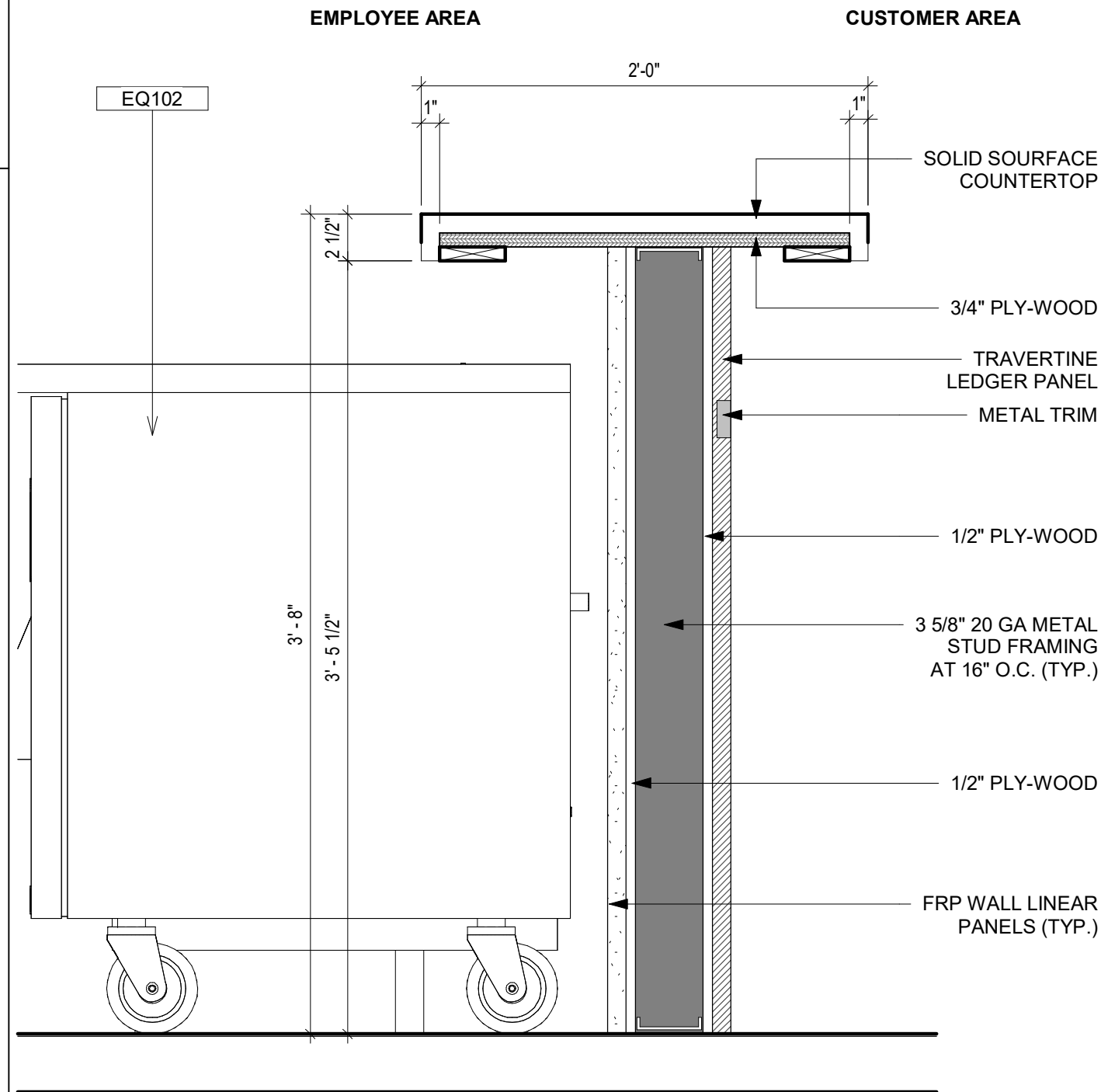


9 WALL SECTION DETAIL
1 1/2" = 1'-0"

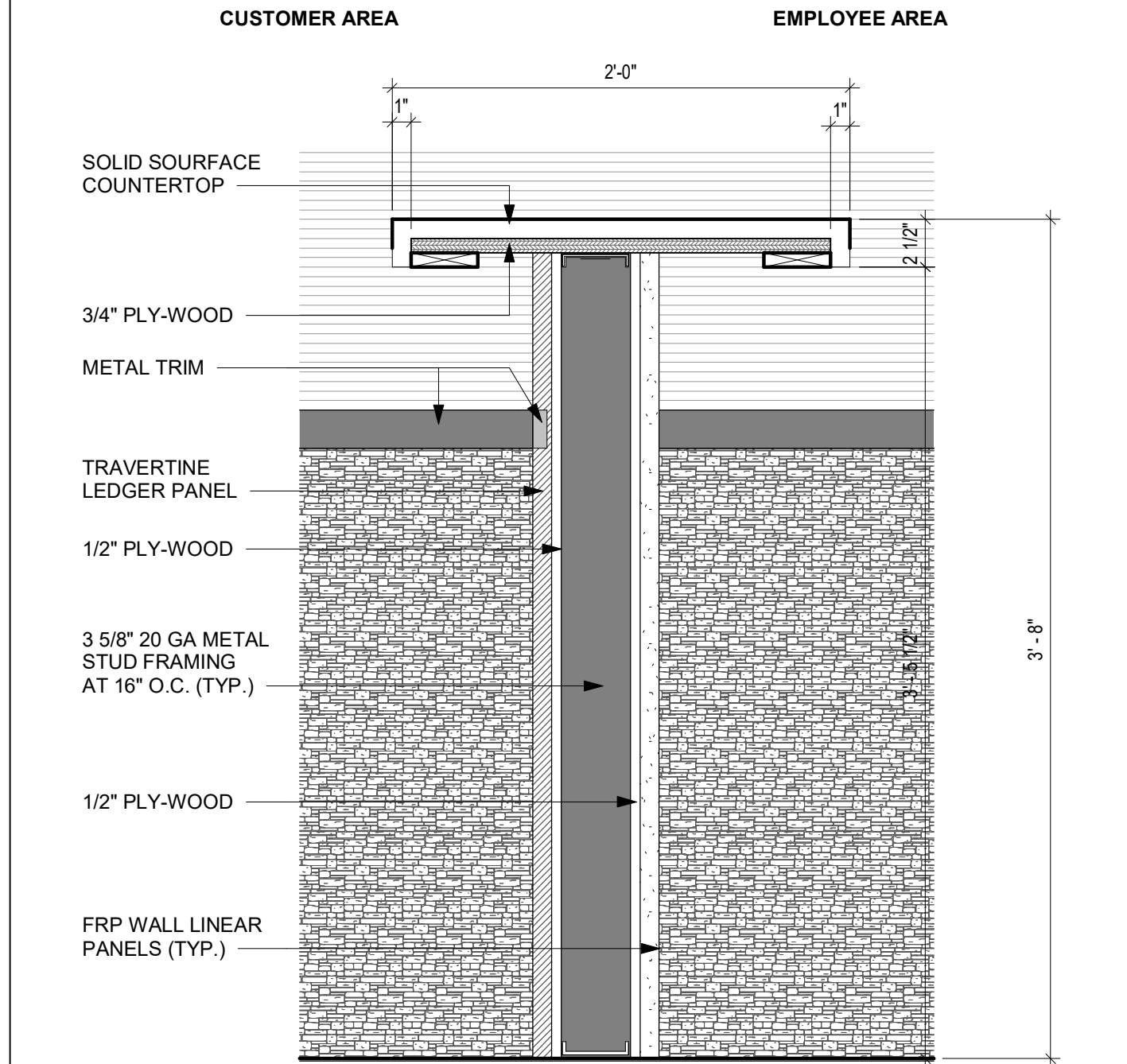
- ### GENERAL NOTES
- INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
 - REFER TO A601 FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 - WALLS & CEILING: SMOOTH, DURABLE, NONABSORBENT, WASHABLE.
 - G.C. SHALL PROVIDE FIRE RETARDANT TREATED WOOD BACKING FOR ALL WALL MOUNTED/RECESSED ITEMS.
 - CONTRACTOR & MILLWORK SUBCONTRACTOR SHALL HAND SELECT WOOD & WOOD TRIM TO ENSURE MATERIAL IS FREE FROM KNOTS, WARP, CHECKS, GOUGES, SPLITS AND IN GENERAL, OF EXCELLENT VISUAL QUALITY. INSTALL MATERIAL OF THE LONGEST PRACTICAL LENGTHS & SIZES TO MINIMIZE THE NUMBER OF JOINTS.
 - GENERAL CONTRACTOR SHALL PLACE ORDERS FOR ALL FINISHES, ALL MATERIALS, EQUIPMENT, ETC. AT THE START OF THE PROJECT. SUBSTITUTIONS ARE NOT ACCEPTED FOR ANY ITEMS, UNLESS NOTED OTHERWISE. OWNER AND ARCHITECT MUST BE INFORMED OF LEAD TIME PROBLEMS WITHIN THE FIRST TWO WEEKS OF THE PROJECT.



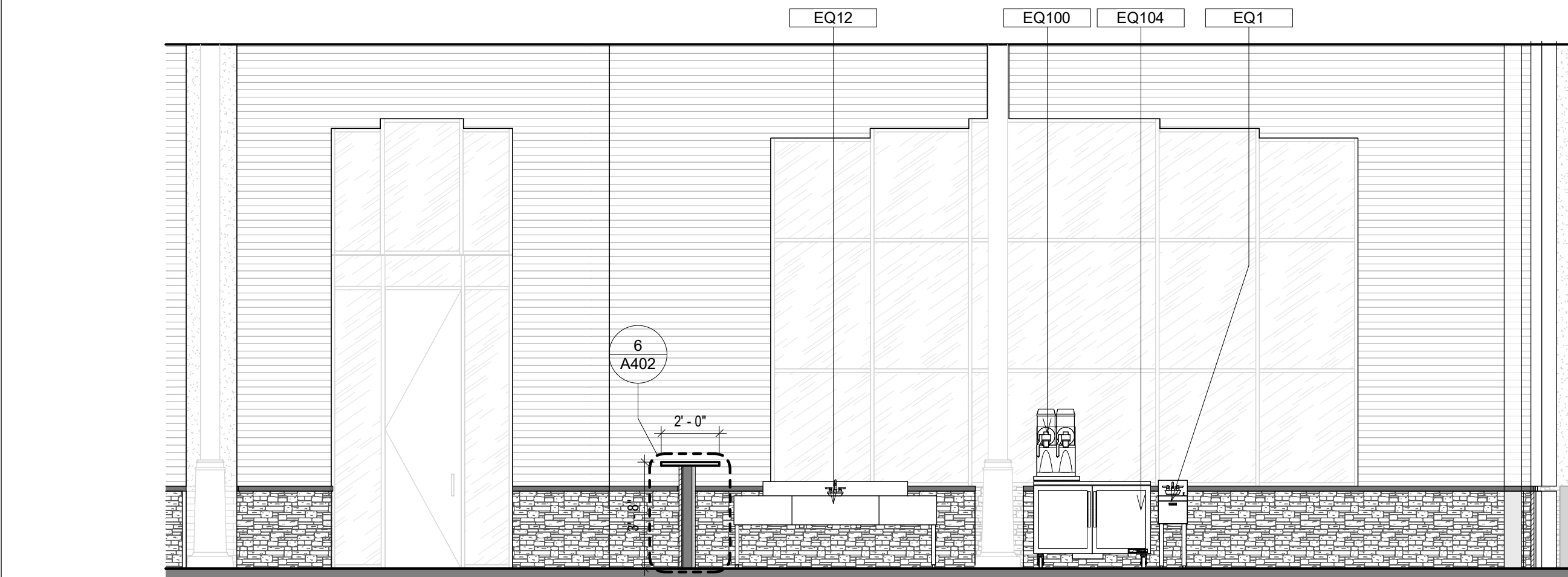
8 WALL SECTION
1/2" = 1'-0"



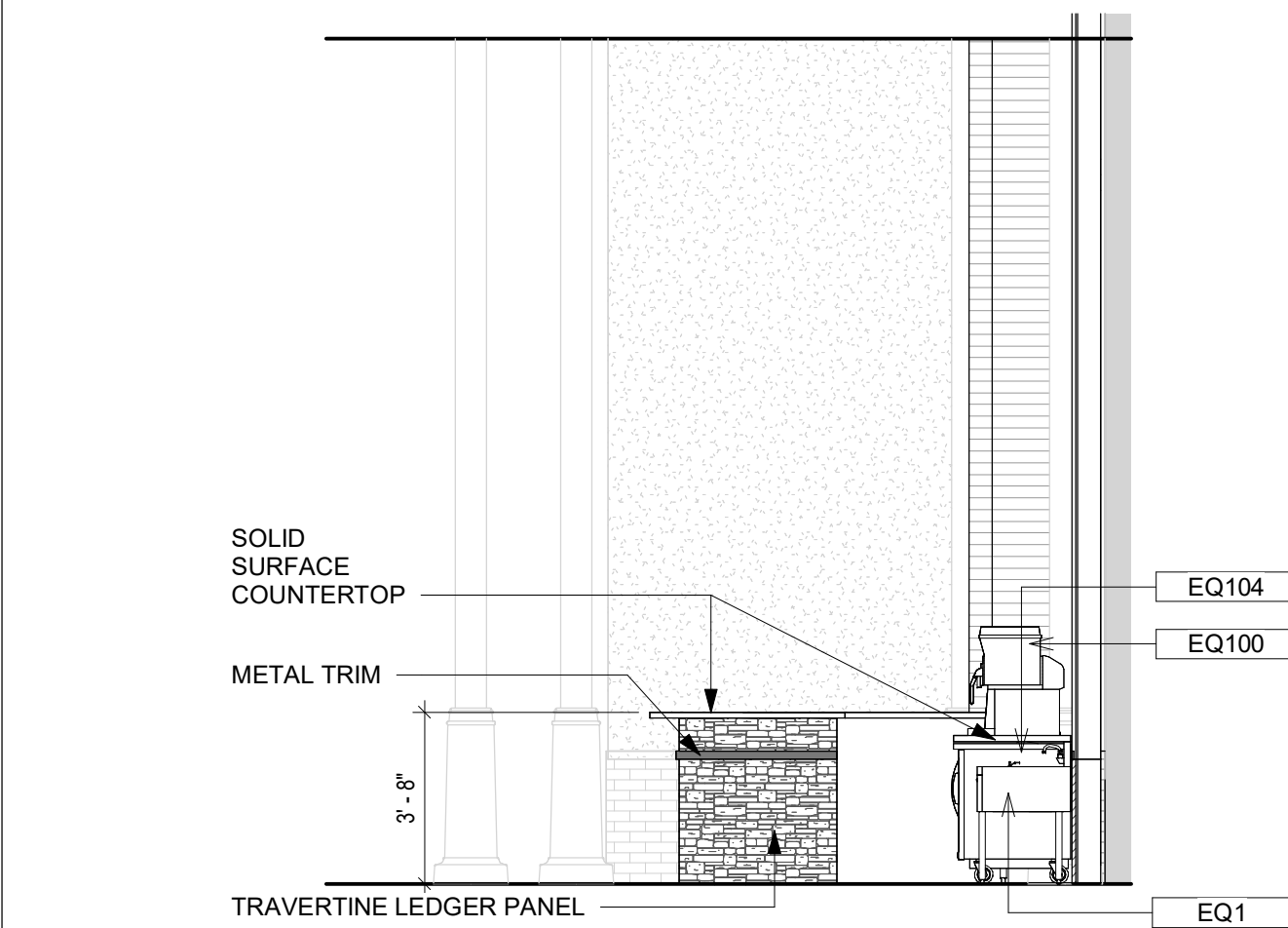
7 BAR SECTION DETAI
1 1/2" = 1'-0"



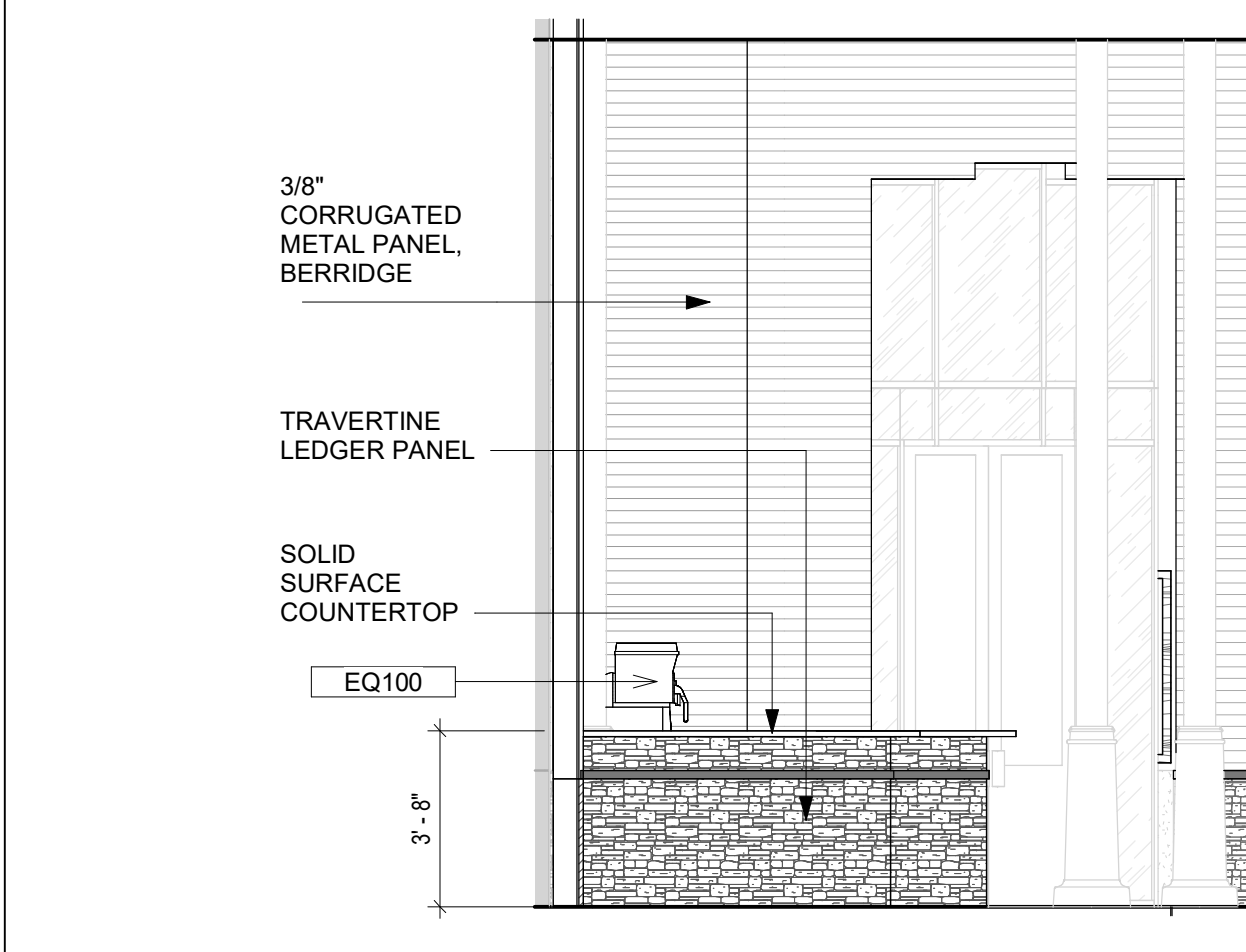
6 BAR COUNTER DETAIL
1 1/2" = 1'-0"



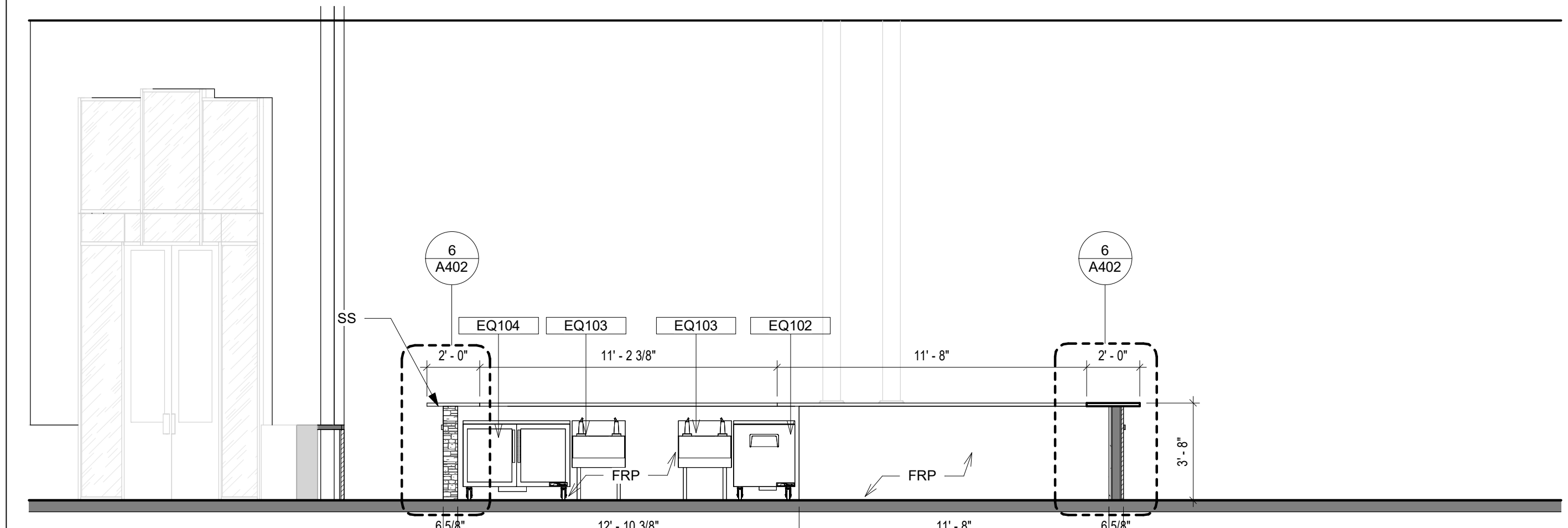
5 NORTH ELEVATION
1/4" = 1'-0"



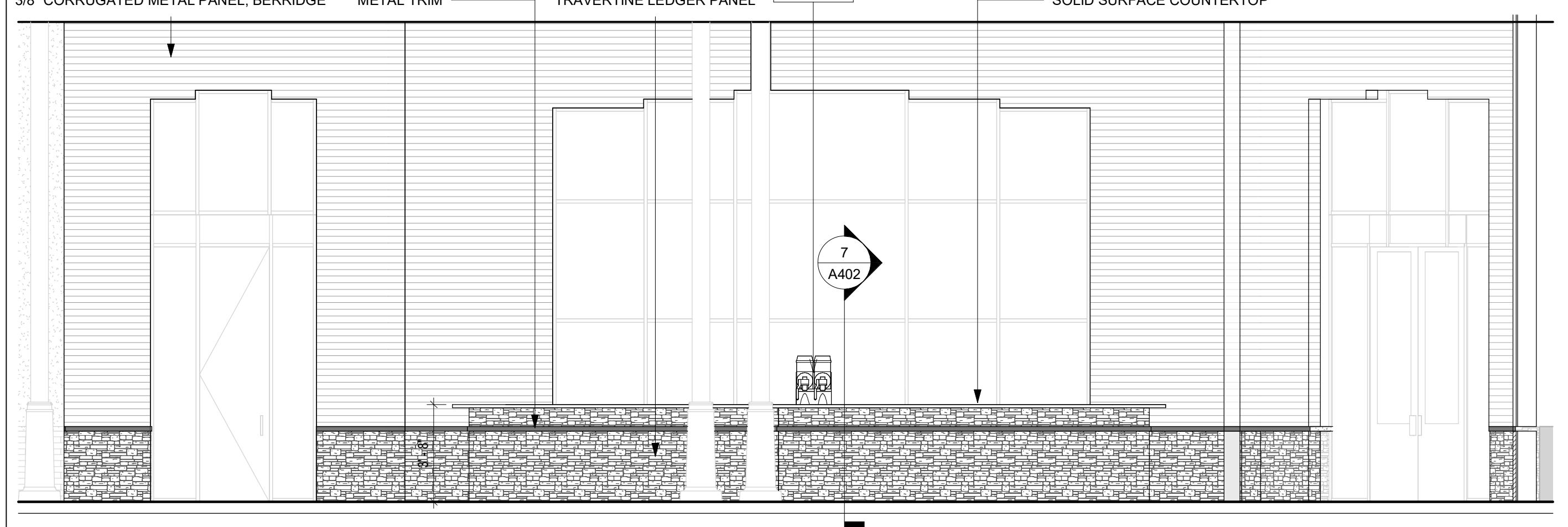
3 EAST ELEVATION
1/4" = 1'-0"




2 WEST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



MAYU GROUP
innovative design

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PROJECT:

ABC BAR ALAMO BISCUIT

849 E COMMERCE ST. 197,
SAN ANTONIO, TX 78205



CONTRACT DOCUMENTS

No.	Description	Date

INTERIOR & EXTERIOR ELEVATIONS

A402

DRAWN BY: _____ Project No. 25002
REVIEWED BY: EP
DATE: JY
09/02/2025