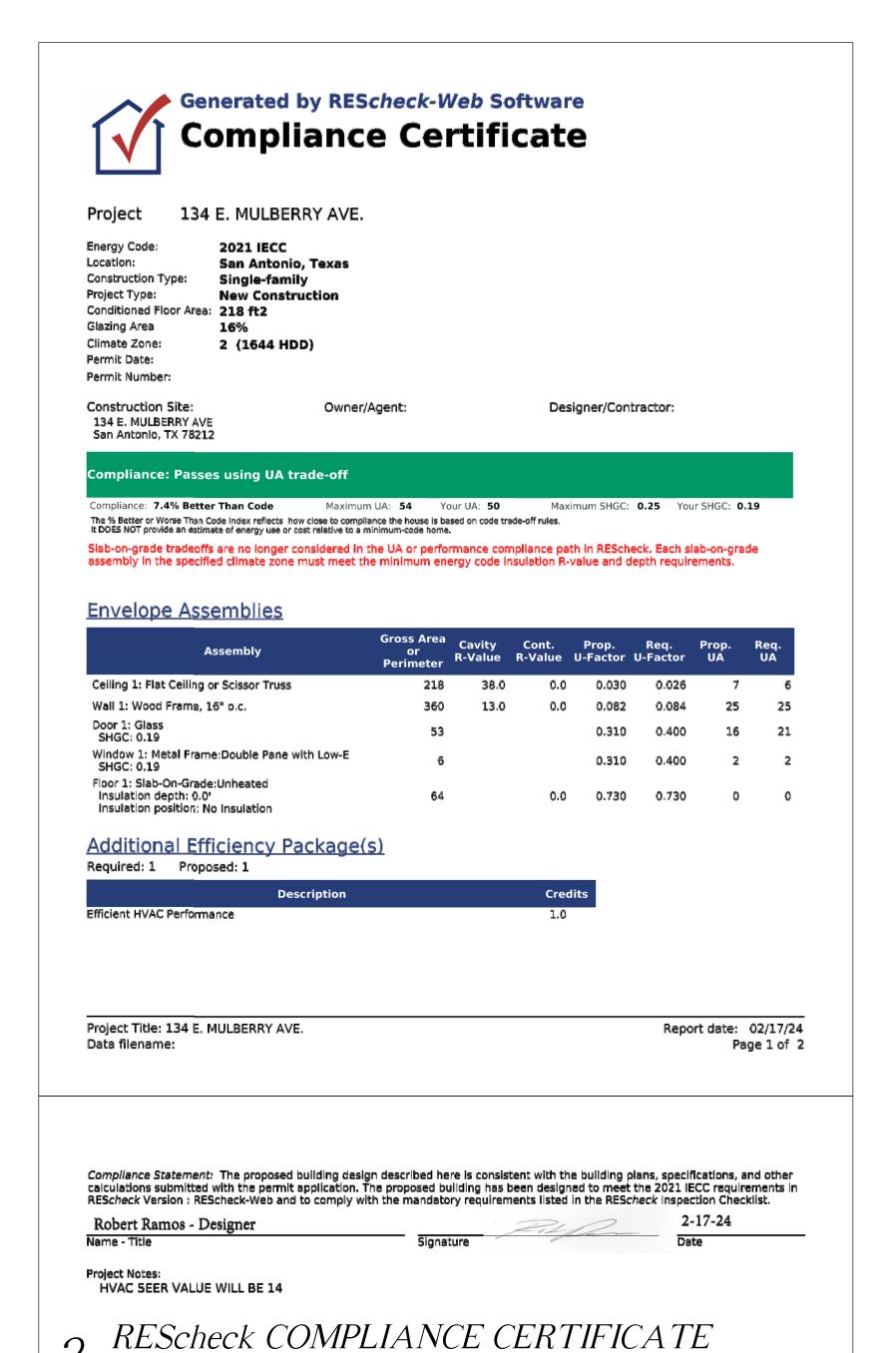
GRAPHIC SYMBOLS

	ELECTRICAL					PLUMBING	
	L.E.D. STRIP LIGHTING		- FESTOON STRING LIGHTS			WH	WATER HEATER
 ₩	SWITCH	\vdash \vdash \lor	TELEVISION OUTLET	⊢фн	HALOGEN WALL Mounted fixture		w/ (12/4 1/2/ 1/2/ 1/2/ 1/2/ 1/2/ 1/2/ 1/2/
₩ _D	DIMMER SWITCH	H SATY	SATELLITE TELEVISION W/TELEPHONE LINE	6	CEILING MOUNT	(ws)	WATER SOFTNER
₩3	THREE WAY SWITCH	⊢O I.C.	INTERCOM	\Diamond	SPOT LIGHT	h	
1 40 2	FOUR WAY SWITCH	⊕ SPKR	SPEAKER OUTLET	FLUOR. LT.	FLUORESCENT LIGHT FIXTURE		SHOWER HEAD
\Rightarrow	DUPLEX OUTLET	6 D	SMOKE DETECTOR	FLUOR. LT.	WALL MOUNT FLOUR.	HB HB	HOSE BIB/FAUCET
V ₂ HOT	DUPLEX OUTLET 1/2 SWITCHED	T	THERMOSTAT		LT. FIXTURE		COLD WATER TO REF.
FL.PLG.	FLOOR OUTLET	<u>E.P.</u>	ELECTRICAL PANEL Box	TRACK LT.	TRACK-MOUNT FIXT.		HOT & COLD WATER
4 PLEX	IIØ YOLT 4 PLEX OUTLET	P.B.	PUSH BUTTON DOORBELL	<u>u.c.L.</u>	UNDER CABINET LIGHT	× F.D.	FLOOR DRAIN
4 PLEX	CEILING OUTLET	HPB	PUSH BUTTON SWITCH	NT.	CEILING MOUNT EXHAUST FAN	⊢ ∳ _{GAS}	GAS LINE
CLG.PLG.		0000	CHIMES		III ALL MOUNT	│ │ │ │ 	GAS KEY
⊕ GFI	DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER	$\vdash \vdash_{\!$	KEY SWITCH	WNT	WALL MOUNT Exhaust fan	AREY	(ON #OFF) VALVE
*	220 VOLT DUPLEX OUTLET	\square	SURFACE MOUNT CLG. FIXTURE	O HTR	CEILING MOUNT HEAT LAMP		* 410 6
220	DUPLEX OUTLET RAISED TO HEIGHT INDICATED	$+\square$	WALL MOUNT FIXTURE	HTR	WALL MOUNT HEAT LAMP		MISC.
42" ————————————————————————————————————	WATERPROOF DUPLEX		PULL CHAIN LIGHT	H.V.L.	COMBINATION FIXT. HEAT, VENT, LIGHT	9.5	SECURITY SYSTEM Panel
	J.BOX DUPLEX OUTLET		RECESSED CEILING FIXTURE	¢.	FLOOD LIGHT	VAC.	VACUUM SYSTEM OUTLET VACUUM CLEANER
J.BOX	TELEPHONE OUTLET		RECESSED EYEBALL FIXTURE		CELLING FAN IIII T	YAC, SW	TANK YACUUM SYSTEM
	TELEPHONE FLOOR OUTLET	□н	HALOGEN RECESSED CEILING FIXTURE	FAN WILT	CEILING FAN W/LT	1 1 1 1 1 1 1 1 1 1	SWEEP OUTLET



SITE PLAN/ PLAN NOTES/ REScheck EXTERIOR ELEVATIONS

BLDG.

LOC.

NEW GARAGE

PROPOSED STRUCTURE

FLOOR PLAN/ ROOF PLAN/ ELECTRICAL PLAN/ WINDOW & DOOR SCHEDULE/

TABLE OF CONTENTS

INTERIOR ELEVATIONS/ THERMAL ENVELOPE LOCATIONS OVERHANG DETAIL/ WALL SECTION/ WINDOW DETAIL

LEGAL DESCRIPTION

NCB 1702, BLK 5, LOT 9

SQUARE FOOTAGE TABULATIONS		
LIVING	218	-6
GARAGE	437	e
TOTAL COVERED AREA	655	

SCALE. DO NOT SCALE DRAWINGS, THESE ARE CONCEPTUAL PLANS. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE DESIGNER OF RECORD PRIOR TO FABRICATED AND ERECTION.

- 2. CODES. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE COMPLIANCE WITH SAID CODES.
- 3. JOB SITE. PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VISIT JOB SITE AND NOTIFY OWNER OF ANY CONDITIONS NOT INCLUDED IN THESE DOCUMENTS WHICH REQUIRE CORRECTIVE OR ADDITIONAL ACTIONS. NO CHANGES TO PLANS TO BE MADE WITHOUT WRITTEN APPROVAL BY THE DESIGNER, REPORT ANY DISCREPANCIES TO THE DESIGNER.
- 4. DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD WALLS OR MASONRY FOUNDATION. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- 5. PLAN REVIEW. THESE PLANS ARE CONCEPTUAL IN NATURE AND THEREFORE SHALL BE REVIEWED BY STRUCTURAL AND MECHANICAL ENGINEERS PRIOR TO CONSTRUCTION. ALL SHOP DRAWINGS SHALL BE PREPARED AND REVIEWED BY AN ENGINEER PRIOR TO FABRICATION AND ERECTION. NO SITE INSPECTION HAS OCCURRED. THE OWNER IS RESPONSIBLE FOR ALL SITE CONDITIONS, INCLUDING BUT NOT LIMITED TO: ORIENTATION, DRAINAGE, SOIL BEARING, WIND LOADS AND OTHER SUBSURFACE CONDITIONS.
- 6. CHANGES OR MODIFICATIONS TO PLANS. ANY MINOR OR REQUIRED CHANGES OR MODIFICATION TO THIS PLAN DO NOT REDUCE OR VOID THE COPYRIGHTS COVERING THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AN ARCHITECT OR ENGINEER ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY FOR THE QUALITY AND COMPLETENESS OF ANY CHANGES ATTEMPTED. PLEASE REMEMBER THAT EVEN A SIMPLE CHANGE TO ONE AREA OF A HOME CAN GREATLY AFFECT MANY OTHER AREAS IN THE HOME AND ONLY A QUALIFIED PROFESSIONAL IS EQUIPPED TO FULLY UNDERSTAND THE RAMIFICATIONS OF ANY CHANGE OF MODIFICATION.

GENERAL NOTES:

- 1. ESCAPE/ RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE MIN. 5.7 SQ. FT. CLEAR NET OPENING AND MIN. CLEAR OPENING HGT. OF 24" AND MIN. CLEAR OPENING WIDTH OF 20". FINISHED SILL HGT. SHALL BE MAX. 44" ABOVE FLOOR
- 2. CROSS VENTILATION AT ENCLOSED ATTICS
- 3. ELECTRICAL CONTRACTOR TO LOCATE 110V OUTLET WITHIN 25'-0" OF A/C COMPRESSOR (GFI IF NOT IN SOFFIT).
- 4. SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER

- 1. FINAL HOUSE PLACEMENT BY BUILDER. 2. VERIFY ALL EASEMENTS AND SETBACKS
- PRIOR TO SLAB POUR. 3. GRADES ARE ESTIMATED ONLY, ALL SLAB EXPOSURE GREATER THAN 24" SHALL RECEIVE STUCCO FINISH.
- 4. TOP OF SLAB ELEVATION BY QUALIFIED ENGINEER
- 5. GRADE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM STRUCTURE

WALL LEGEND
2×4 2×6
777777777777777777777777777777777777777
MASONRY —

SITE PLAN

E. MULBERRY AVE.

FIELD: S 89°56'45" E. 74.93'

PLAT: S 90°00'00" E. 75.00'

TWO STORY EXISTING HOUSE

 $A \perp L \equiv Y$

PLAT: N 90°00'00" W. 75.00'

EXISTING STONE WALL-

EXISTING PATIO

FIELD: N 89°53'Ø1" W. 75.11'

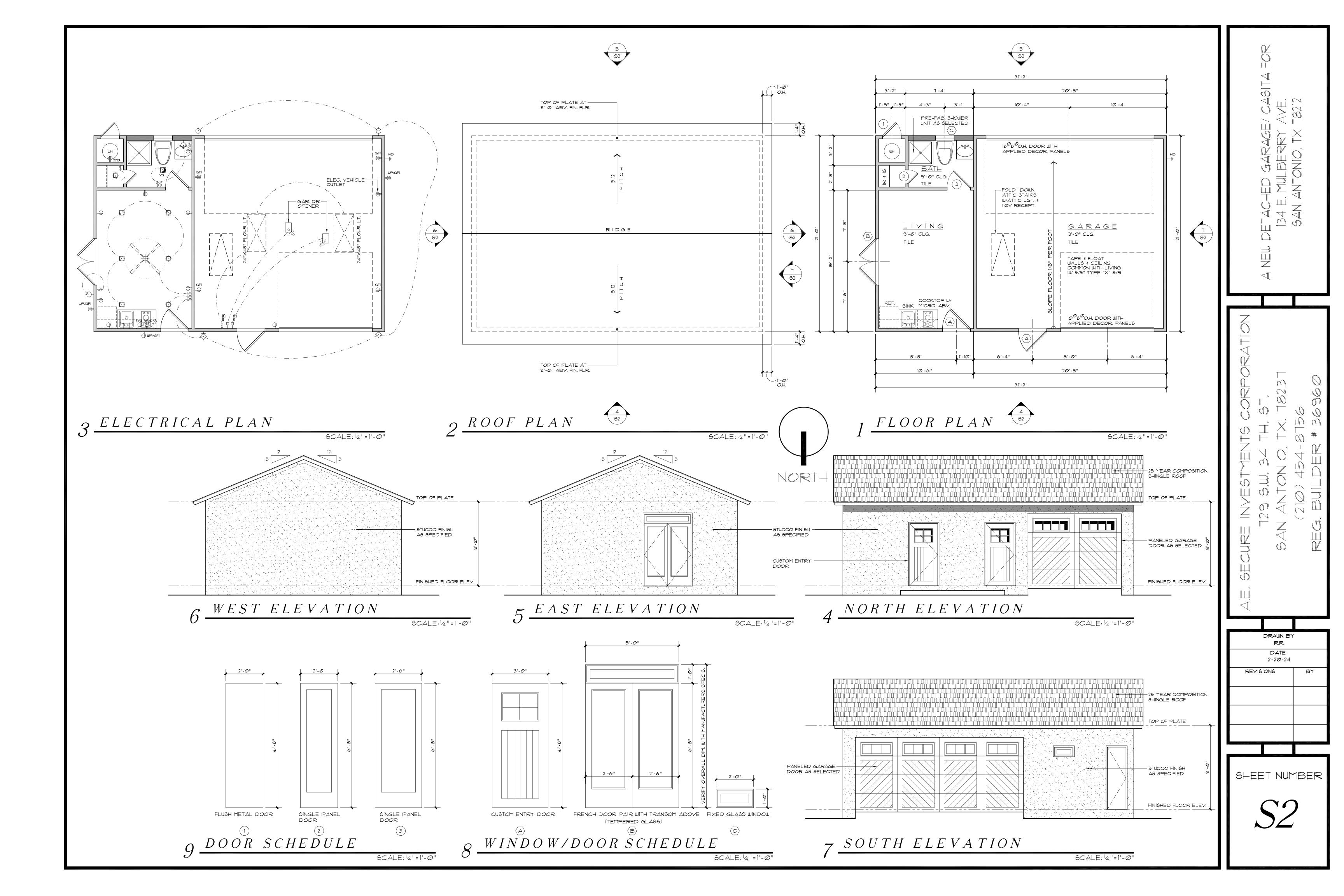
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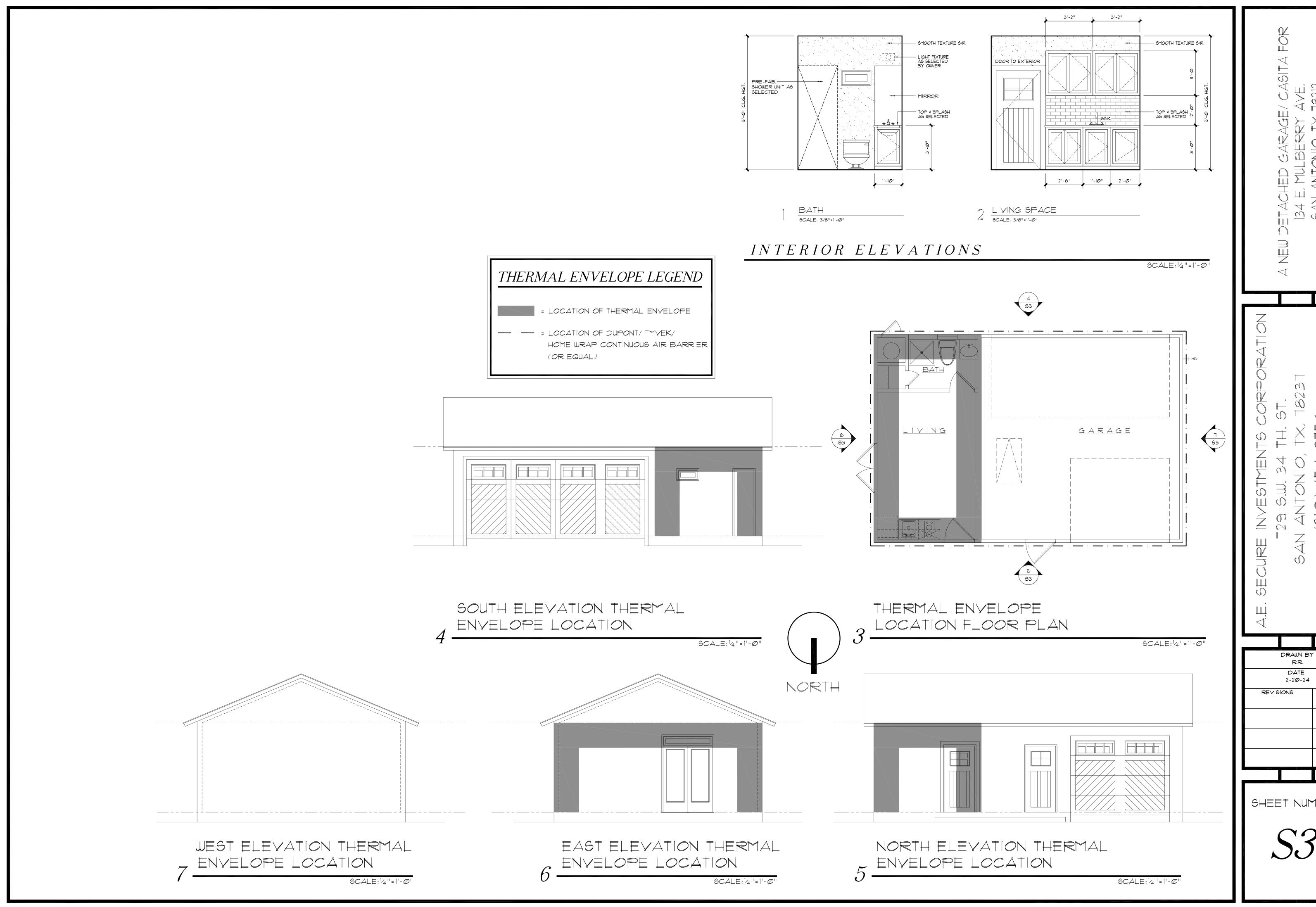
DRAWN BY

DATE 2-2Ø-24

REVISIONS

R.R.





DETACHED (
134 E. MULT
SAN ANTO

