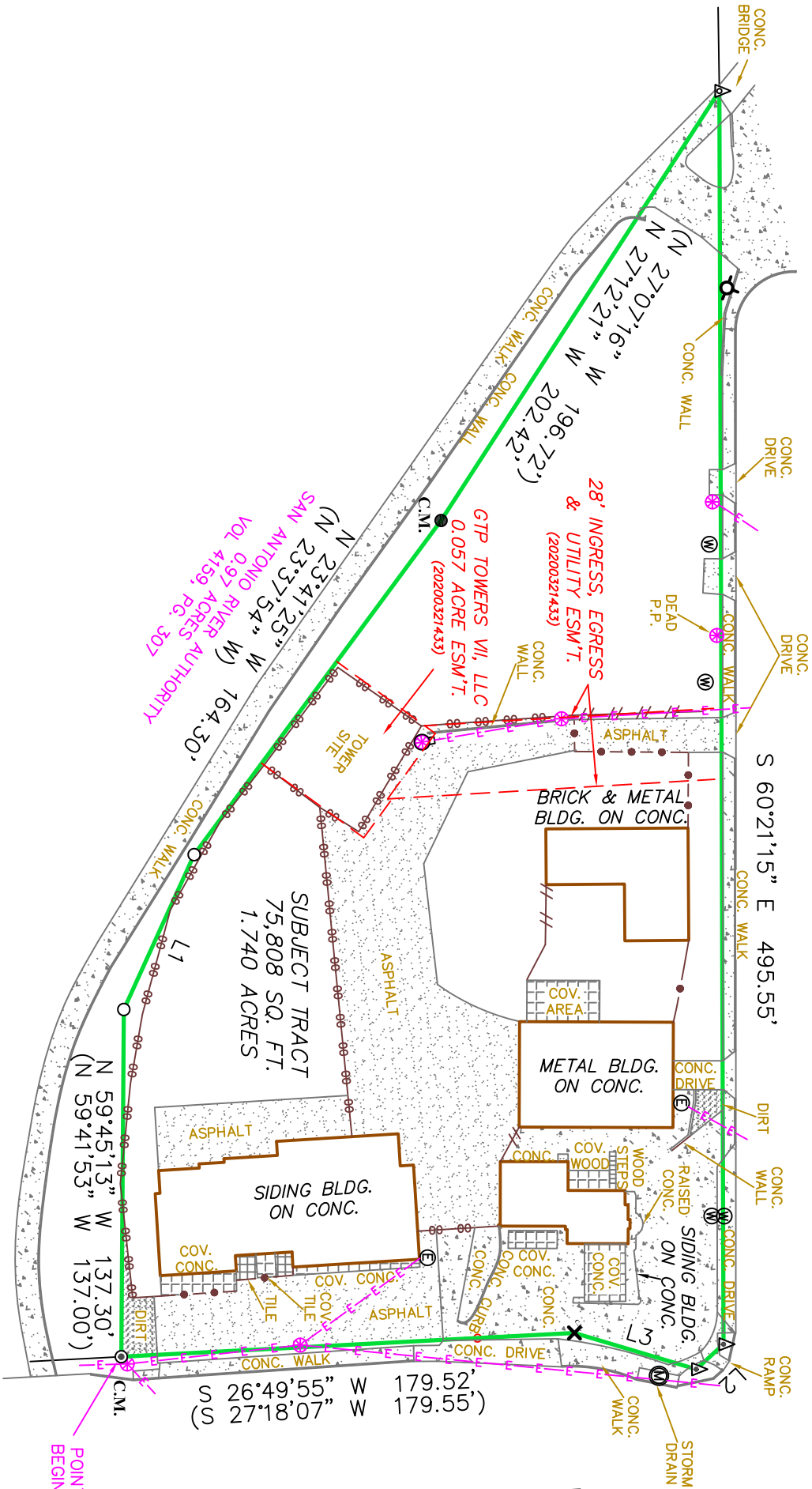


FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS. AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48029C, Panel No. 0395 G, which is dated 09/29/2010. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) XEAE. Because this is a boundary survey, the survey did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <https://msc.fema.gov/portal>.

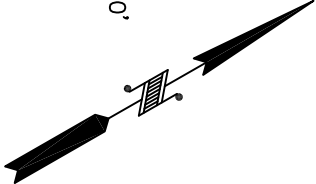
LINE	BEARING	DISTANCE
L1	N 35°43'54" W (N 35°40'23" W)	67.25'
L2	S 12°35'27" E	14.63' (14.26')
L3	S 46°24'40" W	50.25'

RALPH AVENUE
(40' R.O.W.)



NOGALITOS STREET
(VARIABLE WIDTH R.O.W.)

SCALE: 1"=60'



NOTE:
AMENDED 11-21-2023 TO ADD TITLE COMMITMENT INFORMATION.

NOTE:
NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.














NOTE:
Bearings shown hereon are based on actual GPS Observations, Texas State Plane Coordinates, South Central Zone, Grid.

FIRM REGISTRATION NO.
10111700

Westar
Alamo

LAND SURVEYORS, LLC.
P.O. BOX 1645 BOERNE, TEXAS 78006
PHONE (210) 372-9500 FAX (210) 372-9999

G.F. NO. SGT-48-4300112307844-RJ

LEGEND	
	= SET 1/2" IRON ROD CAPPED WALST
	= SET MAG NAIL W/ASPER STAMPED WALST
	= FOUND 5/8" IRON ROD
	= FOUND 1" IRON PIPE
	= FOUND MAG NAIL
	= RECORD INFORMATION
	= CONTROLLING MONUMENT
	= POWER POLE
	= ELECTRIC METER
	= OVERHEAD ELECTRIC
	= MANHOLE
	= WATER METER
	= CHAIN LINK FENCE
DWG: CJ	RVD: MJE

JOB NO. 122866

Property Address: 905 NOGALITOS STREET
Property Description:

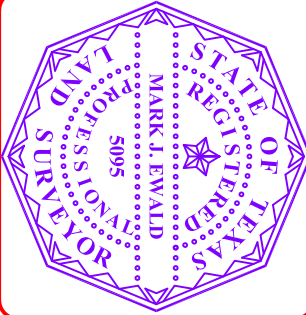
Being 1.740 acres of land, more or less, being the remainder of Lot A-6, New City Block A-18, Bexar County, Texas, and being that same property conveyed to Michael N. Galanos by Deed filed March 24, 1938, recorded in Volume 1623, Page 320, Deed Records, Bexar County, Texas, SAVE AND EXCEPT 0.97 acres conveyed to the San Antonio River Authority by Deed filed June 23, 1958, recorded in Volume 4159, Page 307, Deed Records, Bexar County, Texas, and SAVE AND EXCEPT 0.0016 acres conveyed to the City of San Antonio by Warranty Deed filed April 25, 1989, recorded in Volume 4552, Page 840, Real Property Records, Bexar County, Texas, said 1.740 acres being more particularly described by notes and bounds attached hereto.

Owner: HESAM ADIN MESBAH & SONA MARIE JEFFRIES

NOTE:
THIS PROPERTY IS NOT SUBJECT TO A FILL EASEMENT RECORDED IN VOLUME 1535, PAGE 531, DEED RECORDS OF BEXAR COUNTY, TEXAS.



TITLE COMPANY: CHICAGO TITLE



DATE: 11/7/2023

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

I, MARK J. EWALD, Registered Professional Land Surveyor, State of Texas, certify that the above plat represents an actual survey made on the ground under my supervision, and that my professional opinion is that there are no discrepancies, conflicts, or any encroachments in area or boundary lines, or any improvements, except as may appear herein, to the best of my knowledge and belief.

MARK J. EWALD
Registered Professional Land Surveyor
Texas Registration No. 5095