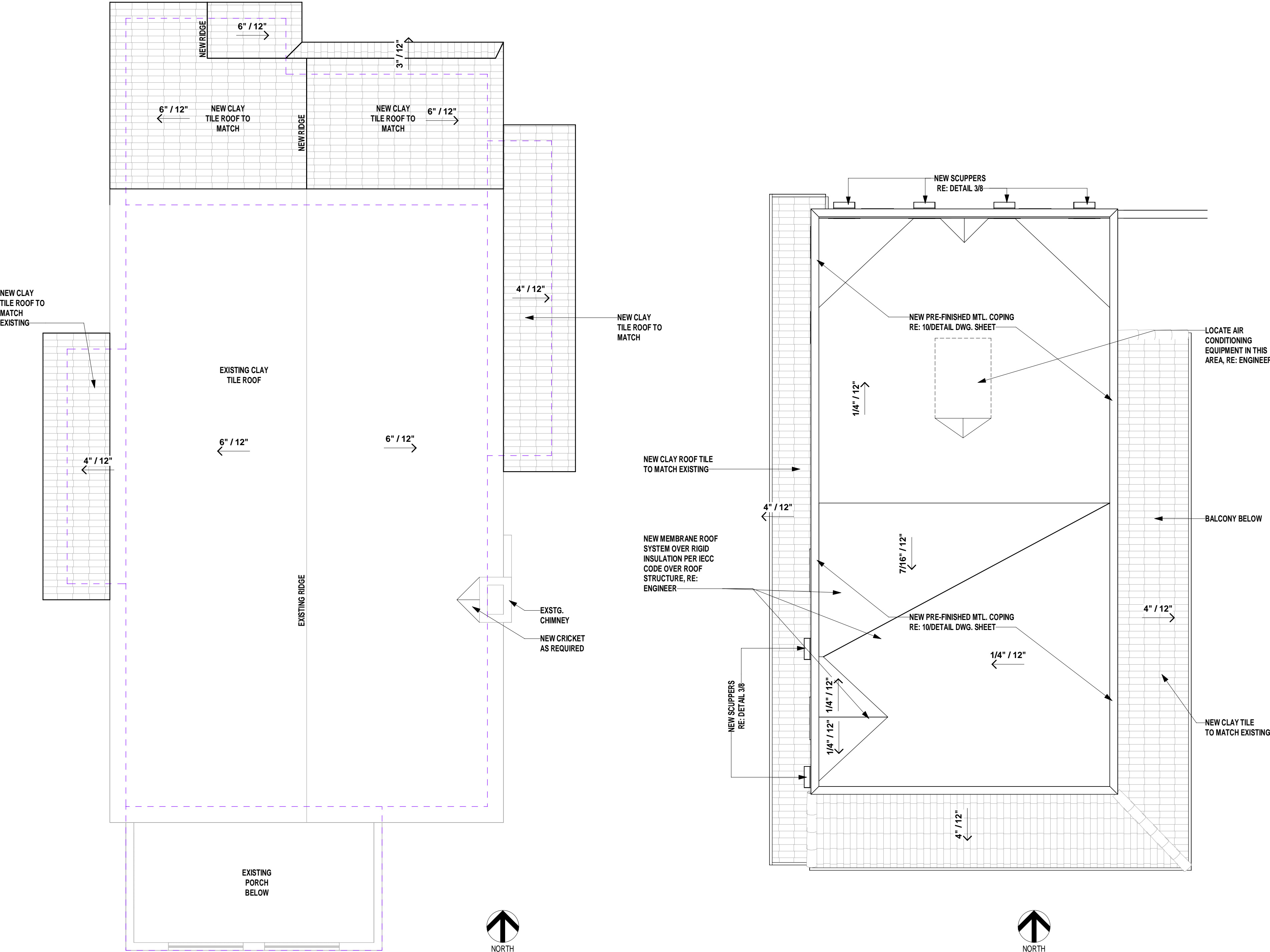


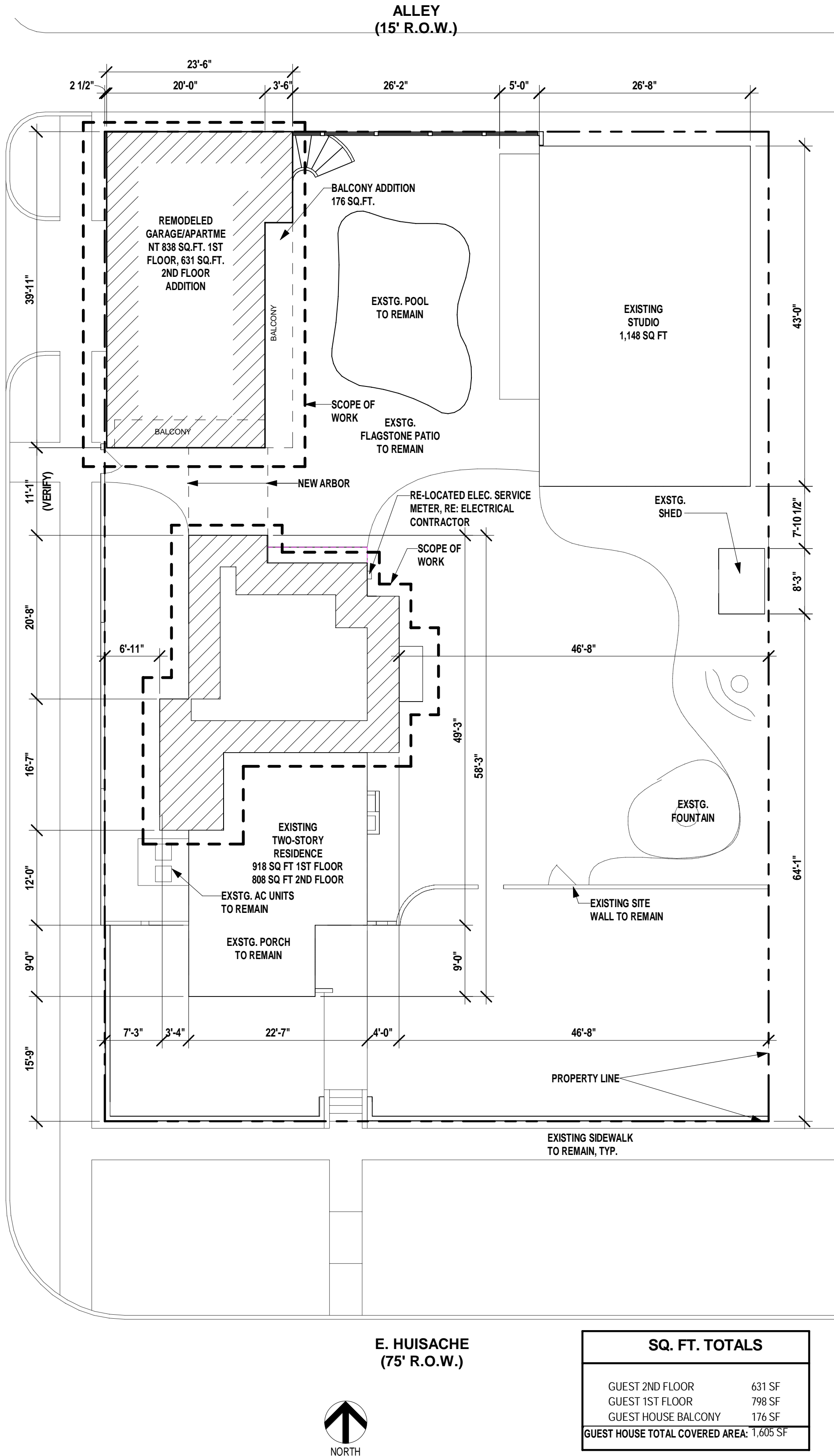
NEW CONSTRUCTION GENERAL NOTES:

ALL CONSTRUCTION SHALL CONFORM TO BUILDING CODES REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. ALL IRC SECTIONS & TABLES REFERENCED REFER TO IRC 2015 VERSION.

- BUILDER SHALL VERIFY ALL LOT DIMENSIONS, EASEMENTS, BUILDING LINES, AERIAL EASEMENTS, HEIGHT RESTRICTIONS, ROOF OVERHANG & GUTTER LIMITATIONS, FINISH FLOOR HEIGHTS (w/ RESPECT TO DRAINAGE & FLOOD PLAIN ISSUES), COVERAGE % AND ALL DEED RESTRICTIONS PRIOR TO COMMENCING CONSTRUCTION.
- BUILDER & ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY BEFORE COMMENCING ADDITIONAL WORK.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. & FROM HABITABLE ROOMS ABOVE GARAGE BY 5/8" TYPE X GYP. BD. AND COMPLY WITH IRC SEC. R302.
- ESCAPE/RESCUE WINDOW FROM SLEEPING AREAS SHALL HAVE A MINIMUM OF 5.7 SQ.FT. CLEAR NET OPENING AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". FINISHED SILL HEIGHT SHALL BE A MAXIMUM OF 44" ABOVE THE FLOOR & PER IRC SEC. 310.
- CONTRACTOR IS TO PROVIDE STEEL UNITS ABOVE ALL OPENINGS WITH MASONRY ABOVE PER IRC SEC. 703.8.
- ONE-HOUR RATED GYPSUM BOARD SHALL BE INSTALLED UNDER STAIRS.
- PROVIDE CROSS VENTILATION AT ENCLOSED ATTICS PER IRC R806.
- ELECTRICAL CONTRACTOR TO LOCATE 110V OUTLET WITHIN 25'-0" OF A/C COMPRESSOR (GFI).
- FIREPLACE CHIMNEY TO BE 2'-0" HIGHER THAN ANY STRUCTURE WITHIN 10'-0" (& 3'-0" MIN. HEIGHT AT RIDGE).
- FACTORY BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE w/ IRC SECTION R1004 & SHALL BE TESTED IN ACCORDANCE w/ UL 127.
- SMOKE ALARMS SHALL BE HARD WIRED IN SERIES WITH BATTERY BACKUP POWER AS PER IRC SEC. R314.
- HANDRAILS SHALL BE INSTALLED ALONG ALL STEPS/STAIRS WITH 4 OR MORE RISERS AND CONFORM TO IRC SEC. R311.
- ALL HORIZONTAL GUARD RAILS WILL BE A MINIMUM OF 36" IN HEIGHT & COMPLY WITH IRC SEC. R312.
- WALLS SHALL BE BRACED IN ACCORDANCE OF IRC SEC. R602.10.
- GLAZING SHALL COMPLY WITH IRC SEC. R308.
- ROOF OVERHANGS SHALL NOT EXTEND INTO ANY UTILITY EASEMENTS.
- IN AREAS UNDER IRC 2006 OR LATER, PROJECTIONS LESS THAN 5' FROM PROP. LINE SHALL HAVE A 1-HOUR MIN. FIRE RESISTANCE RATING ON THE UNDERSIDE & SHALL NOT EXTEND TO WITHIN 4' OF PROP. LINE PER R302 & TABLE 302.1.
- ALL DETAILS SHOWN ARE GENERAL AND ILLUSTRATIVE IN NATURE. BUILDER SHALL BE RESPONSIBLE FOR OVERSEEING AND INSURING ALL WATER-PROOFING, STRUCTURAL, AND OTHER CONSTRUCTION IS BUILT PROPERLY, PER CODES, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS.
- REFER TO ATTACHED RESIDENTIAL DETAIL SHEETS FOR STANDARD DETAILS & RECOMMENDATIONS FOR PORTIONS OF THE LATEST INTERNATIONAL ENERGY CODE COUNCIL (IECC) REQUIREMENTS (REFER TO AUTHORITIES HAVING JURISDICTION AND CURRENT ADOPTED IECC REQUIREMENTS FOR OTHER PROJECT CLIMATE ZONES. NOTIFY ARCHITECT IMMEDIATELY IF NOT INCLUDED IN THIS SET OF DRAWINGS).
- ALL SITE & SURVEY INFORMATION PROVIDED BY OTHERS.
- SITE GRADING AND DRAINAGE PLANS PROVIDED BY OTHERS.
- ALL ENGINEERING DESIGNS INCLUDING, BUT NOT LIMITED TO, CIVIL, GEOTECHNICAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED BY OTHERS.
- GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED BRACING DURING DEMOLITION & NEW CONSTRUCTION, RE: ENGINEER



2 GUEST HOUSE ROOF PLAN  
1/4" = 1'-0"



NOTE: ALL SITE & SURVEY INFORMATION PROVIDED BY OTHERS

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BRENT R ANDERSON  
REGISTRATION NO. 17241

A REMODEL FOR

MR.  
ADDITION  
FOR J.C.  
COTTON

103 E Huisache  
San Antonio, Texas

HOUSE & GUEST  
HOUSE ROOF  
PLAN / SITE  
PLAN

#1 OF 10

REMODEL

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DEMO LEGEND

----- EXISTING CONSTRUCTION  
TO BE DEMOLISHED

NEW CONSTRUCTION  
LEGEND

NEW CONSTRUCTION  
EXISTING TO REMAIN

GENERAL SYMBOLS

1/2" DROP	FLOOR DROP
TUB OR SHOWER HEAD	
GAS OUTLET	
COLD WATER	
HOT WATER	
HOSE BIBB	

GENERAL ANNOTATIONS

1R 1S	1 ROD 1 SHELF
2R 1S	2 RODS 1 SHELF
A.F.F.	ABOVE FINISH FLOOR
AV	AUDIO VISUAL
C.O.	CASED OPENING
COVD	COVERED
CPT.	CARPET
DBL.	DOUBLE
DISP.	GARBAGE DISPOSAL
DIO	DOUBLE OVEN
D.V.	DIRECT VENT
DW	DISH WASHER
F.F.	FINISH FLOOR
FLR.	FLOOR
H.	HIGH
KS	KNEE SPACE
MICRO	MICROWAVE
MTL.	METAL
N.T.S.	NOT TO SCALE
PLYWD.	PLYWOOD
R.O.	RANGE WITH OVEN
RE:	REFER TO
REF.	REFRIGERATOR
SLP	SLOPED (CEILING OR FLOOR)
SEP	SEPERATION
SHLVS	SHELVES
SRO	SHEET ROCK OPENING
TD	TRENCH DRAIN
T&G	TONGUE AND GROOVE
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL
U.C.	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
W.I.C.	WALK IN CLOSET
WH	WATER HEATER
WS	WATER SOFTNER
V.T.R.	VENT THROUGH ROOF

WINDOW & DOOR ANNOTATIONS

AWN	AWNING
CSMT	CASEMENT WINDOW
DH	DOUBLE HUNG
DL	DIVIDED LITE
DR	DOOR
FG	FIXED GLASS
HDR. HT.	HEADER HEIGHT
HLF	HALF
HS	HORIZONTAL SLIDER WINDOW
LT	LITE
O.H.D.	OVER HEAD DOOR
OPNG	OPENING
PKT	POCKET (DOOR)
PNL	PANEL
S.C. DOOR w/ CLSR	SOLID CORE DOOR WITH CLOSER
SFTY	SAFETY
SH	SHINGLE HUNG
SLD	SLIDER
STL	STEEL
TRANS	TRANSOM

GENERAL DEMOLITION NOTES:

ALL CONSTRUCTION SHALL CONFORM TO BUILDING CODES REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. ALL IRC SECTIONS & TABLES REFERENCED REFER TO IRC 2015 VERSION.

- DEMOLITION PLANS INDICATE SOME OF THE SCOPE OF WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND OR EXISTING BUILDING ELEMENTS TO REMAIN.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS, REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMEGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS O EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT.
- CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTIN AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES U.N.O.

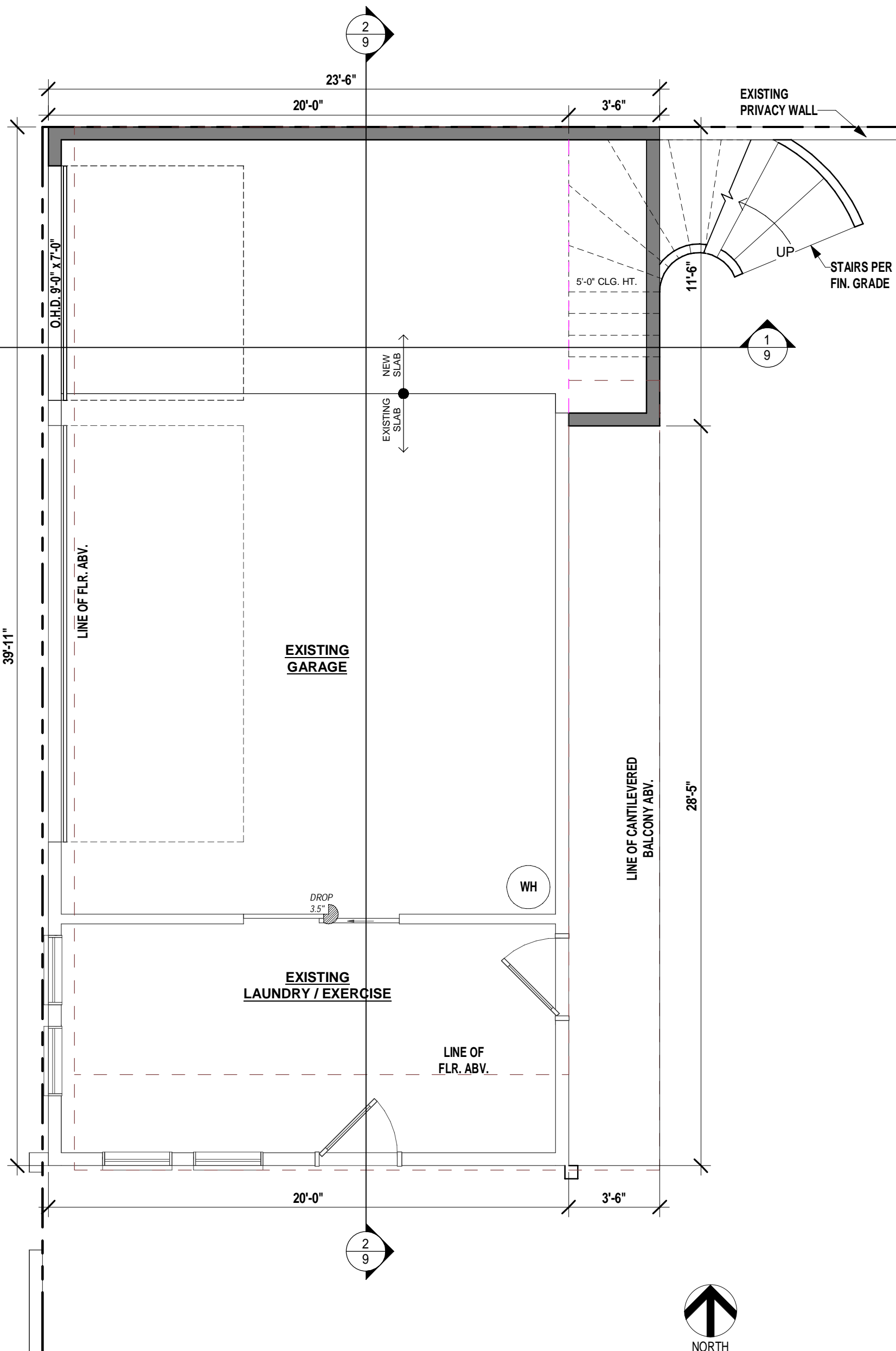
1 GUEST HOUSE DEMOLITION PLAN  
1/4" = 1'-0"



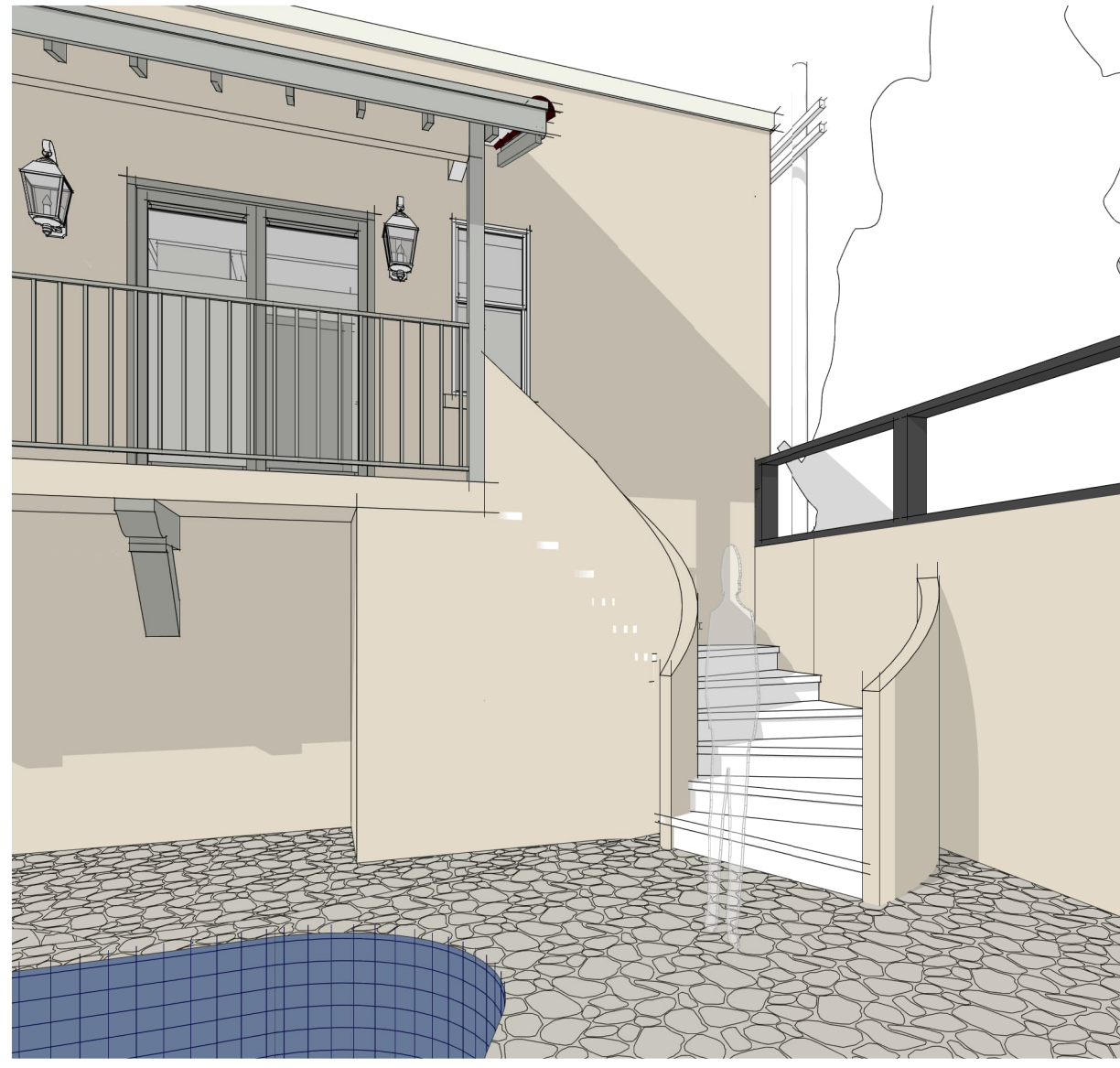
GARAGE

FOR ILLUSTRATION ONLY

NO SCALE



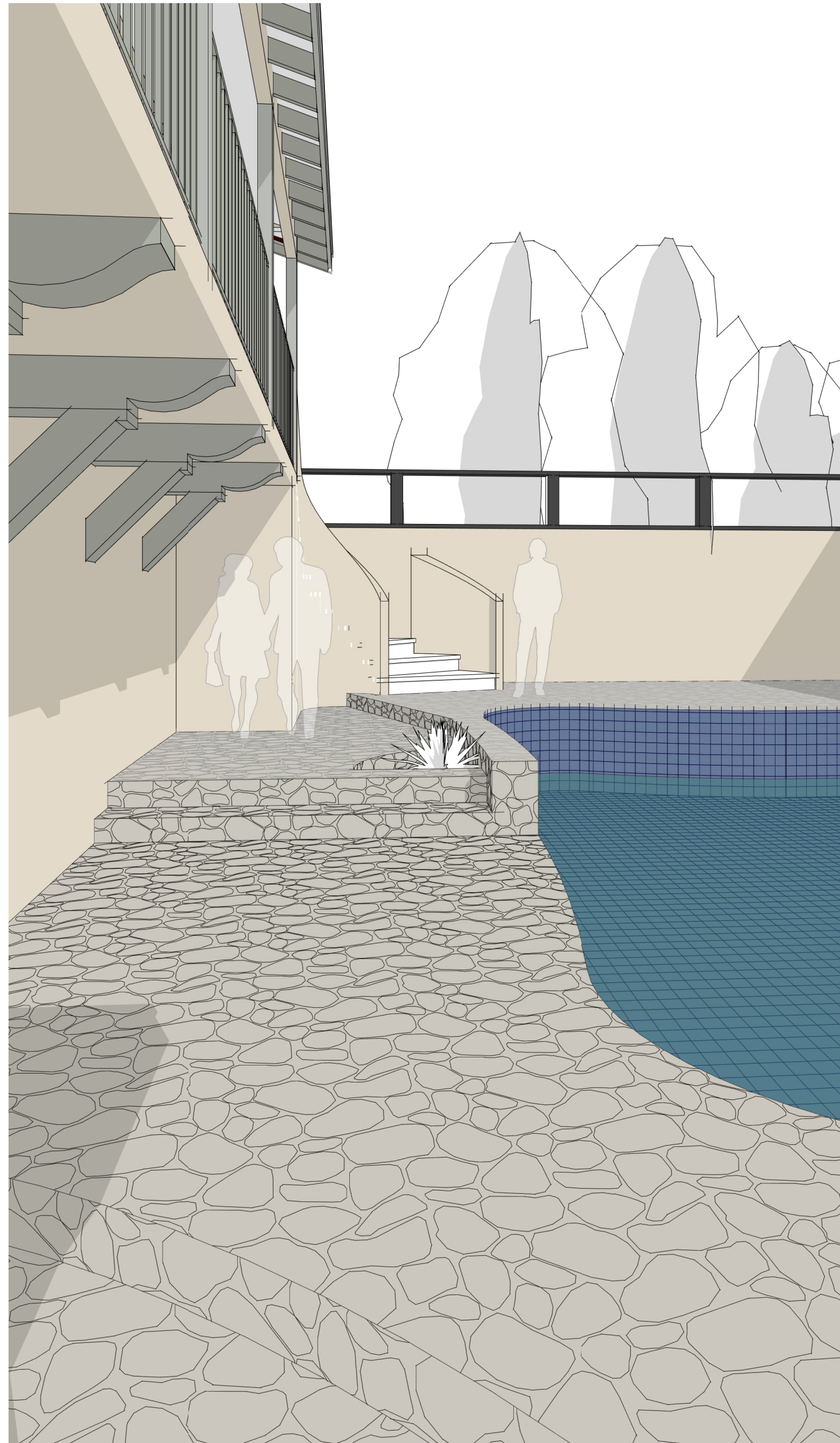
2 GUEST HOUSE 1ST FLOOR PLAN  
1/4" = 1'-0"



GARAGE 2

FOR ILLUSTRATION ONLY

NO SCALE



GARAGE 3

FOR ILLUSTRATION ONLY

NO SCALE

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GF	09-01-22	CD REVISIONS



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CONSTRUCTION

BRENT R ANDERSON  
REGISTRATION NO. 17241

A REMODEL FOR

MR.

ADDITION  
FOR J.C.  
COTTON

103 E Huisache  
San Antonio, Texas

GUEST HOUSE  
DEMO & NEW  
CONSTRUCTION  
FLOOR PLANS

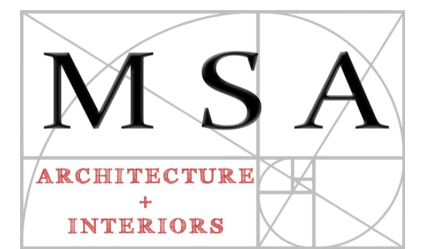
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REMODEL

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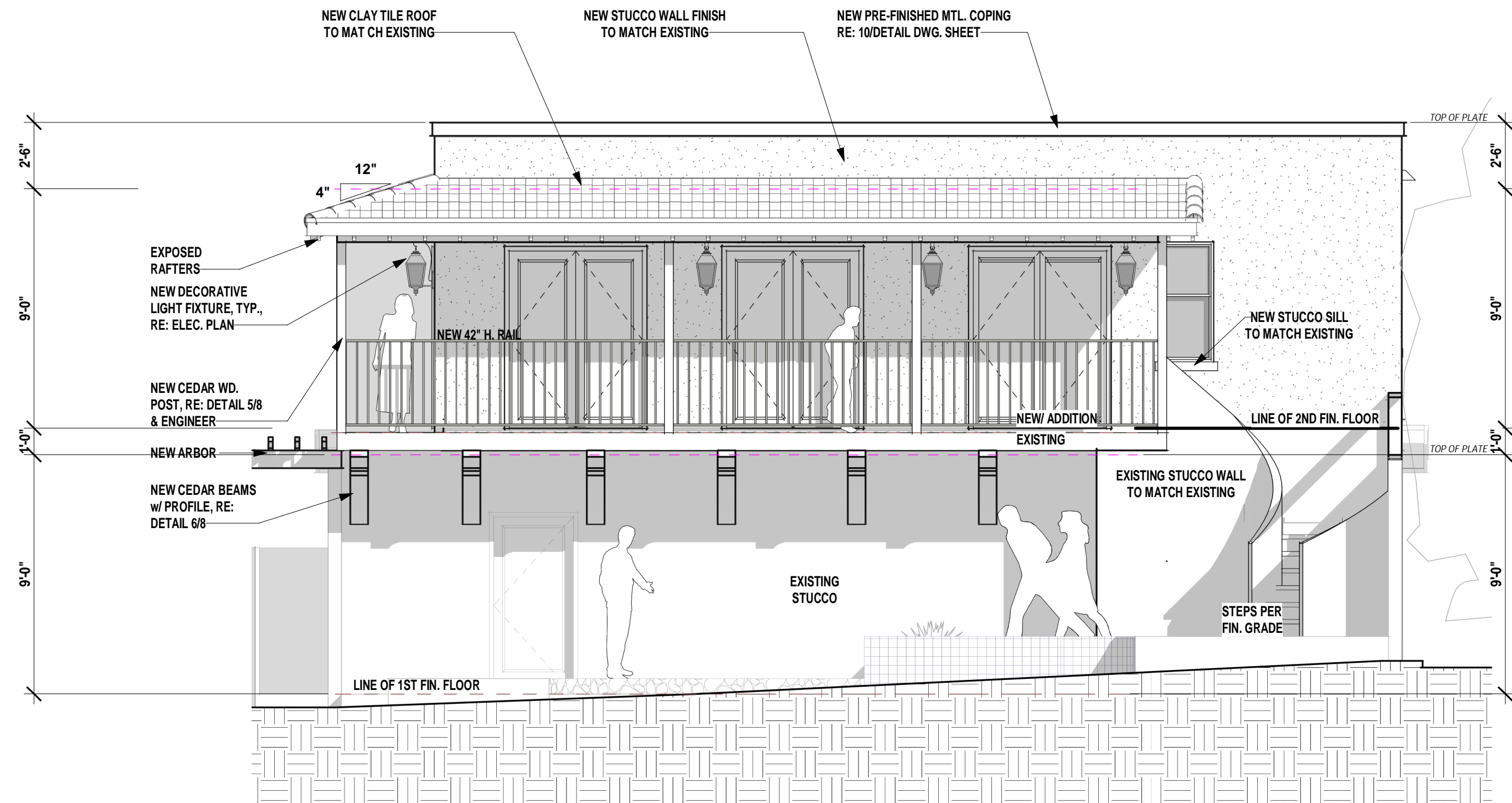
103 E Huisache  
San Antonio, Texas

GUEST HOUSE  
ELEVATIONS

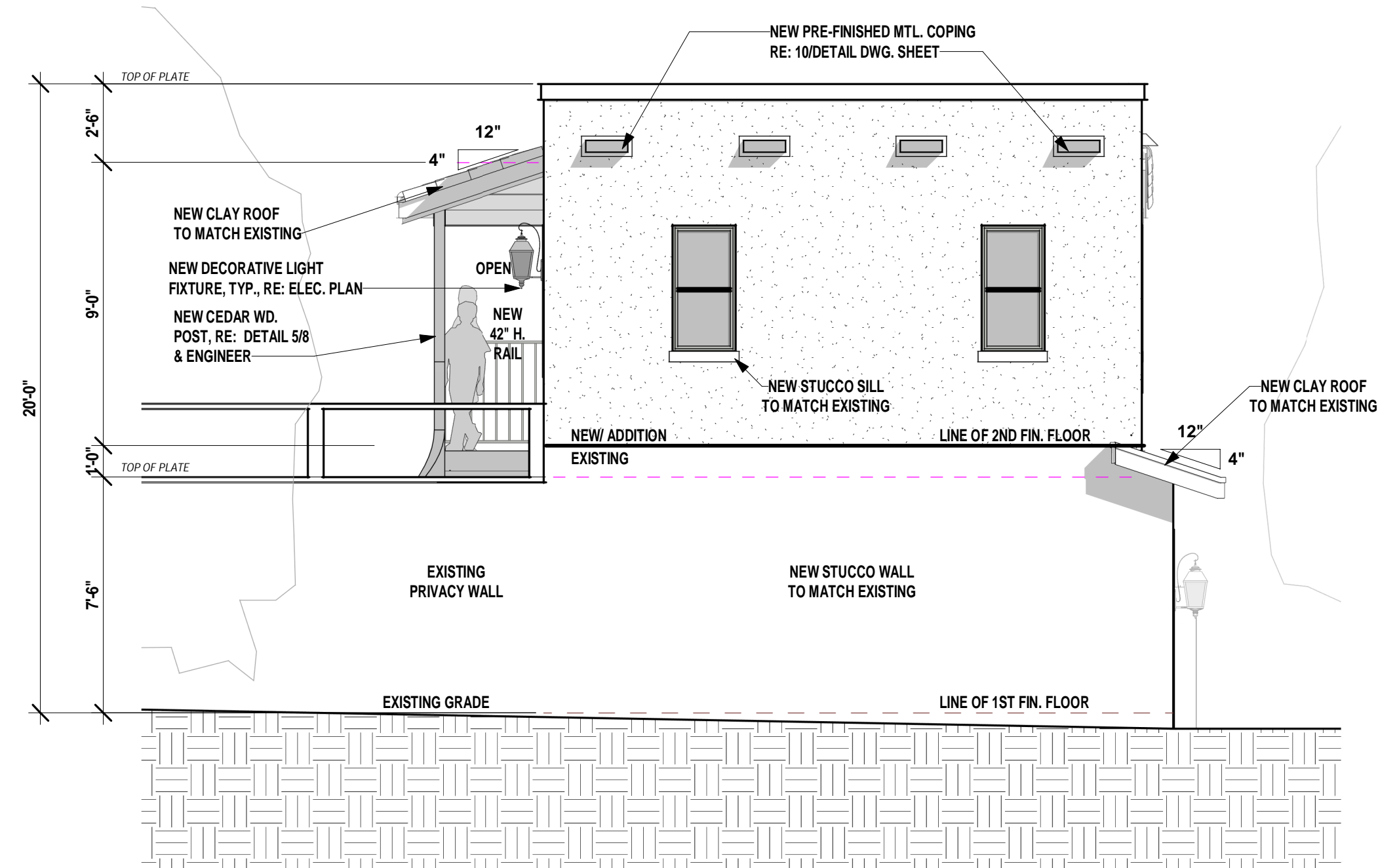
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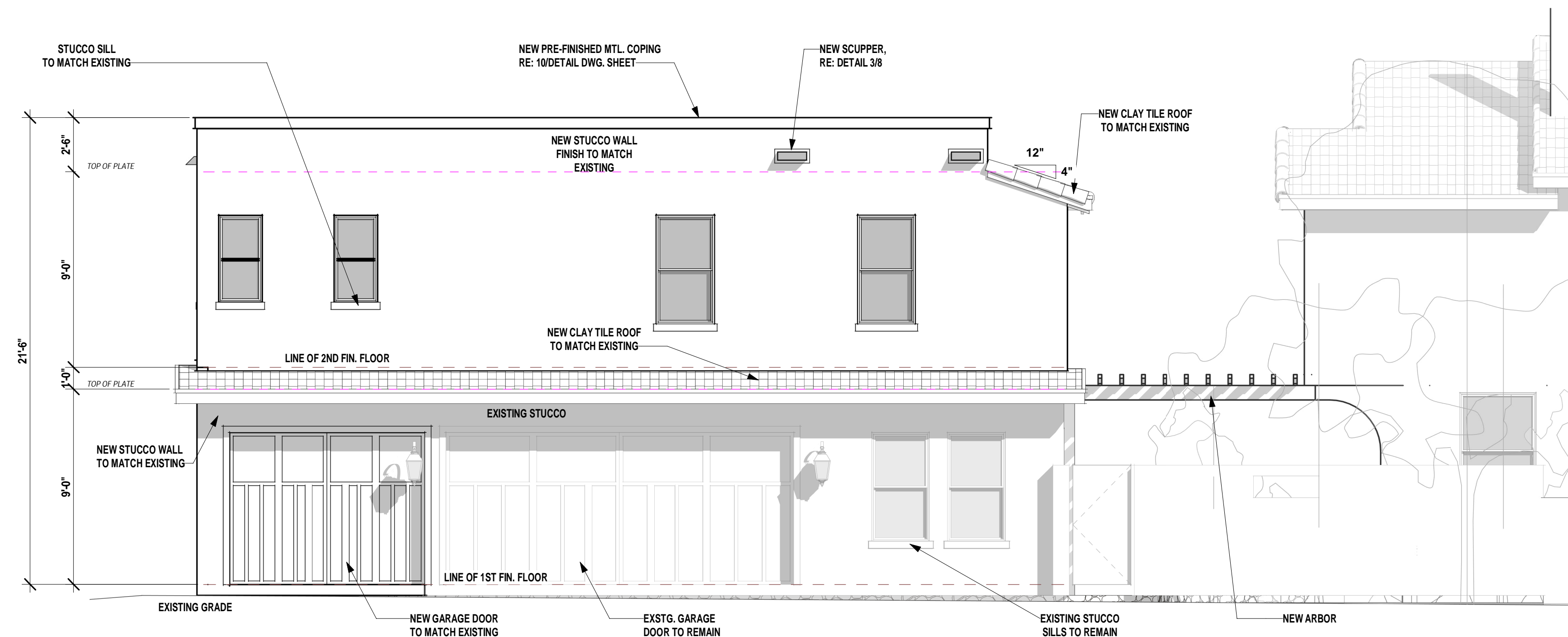
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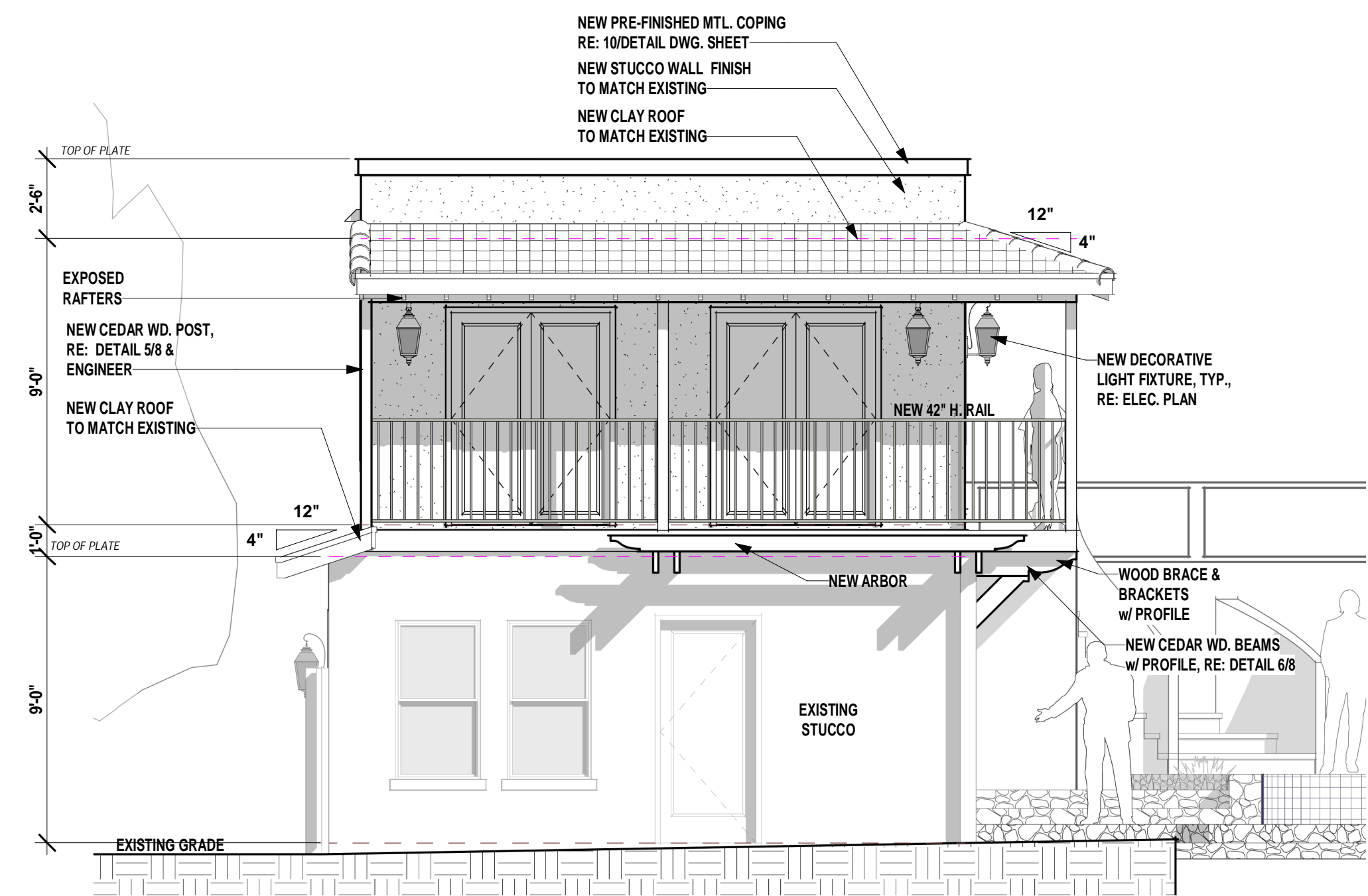
4 GUEST HOUSE EAST  
1/4" = 1'-0"



3 GUEST HOUSE NORTH  
1/4" = 1'-0"



2 GUEST HOUSE WEST  
1/4" = 1'-0"



1 GUEST HOUSE SOUTH  
1/4" = 1'-0"