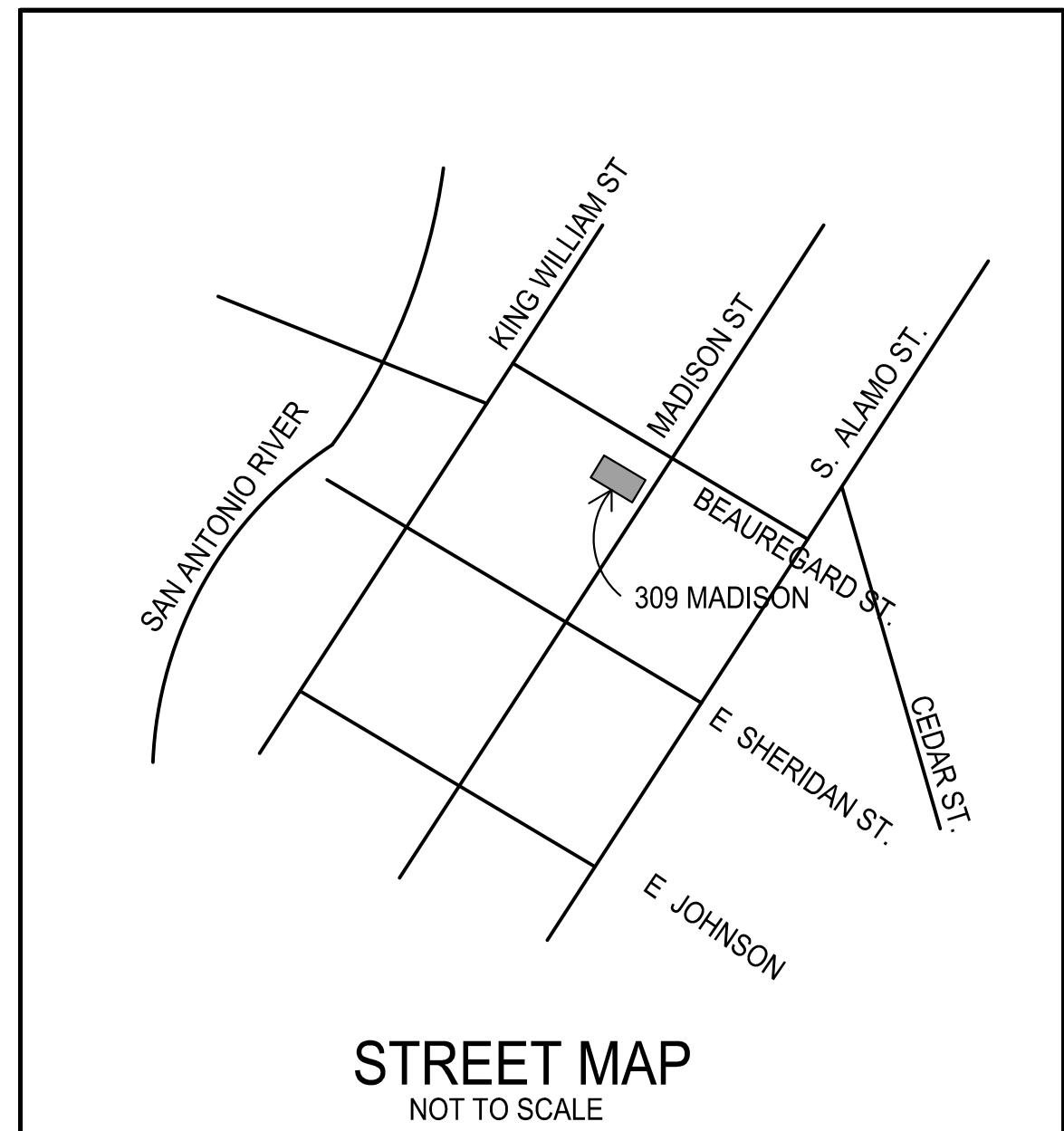
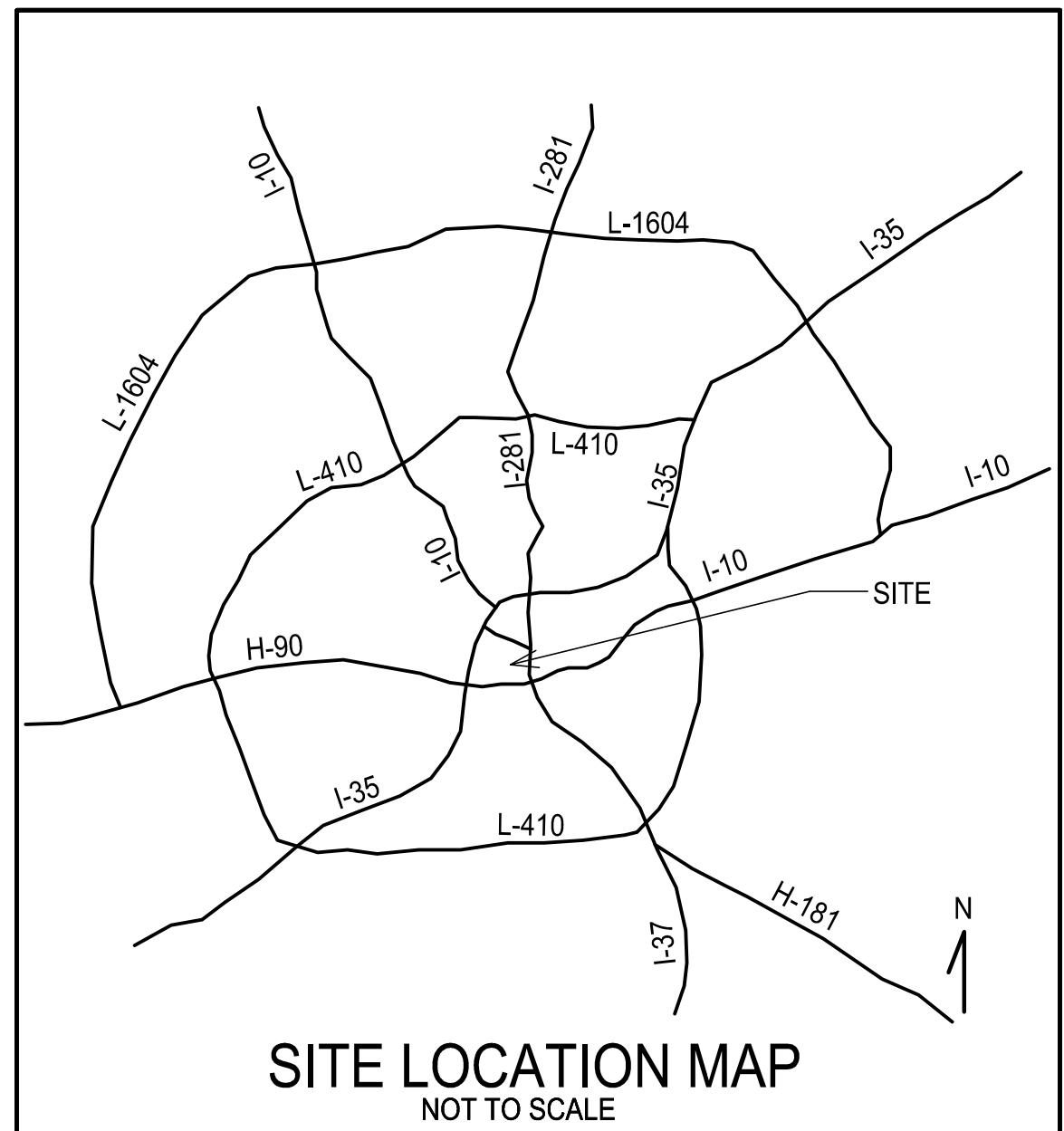
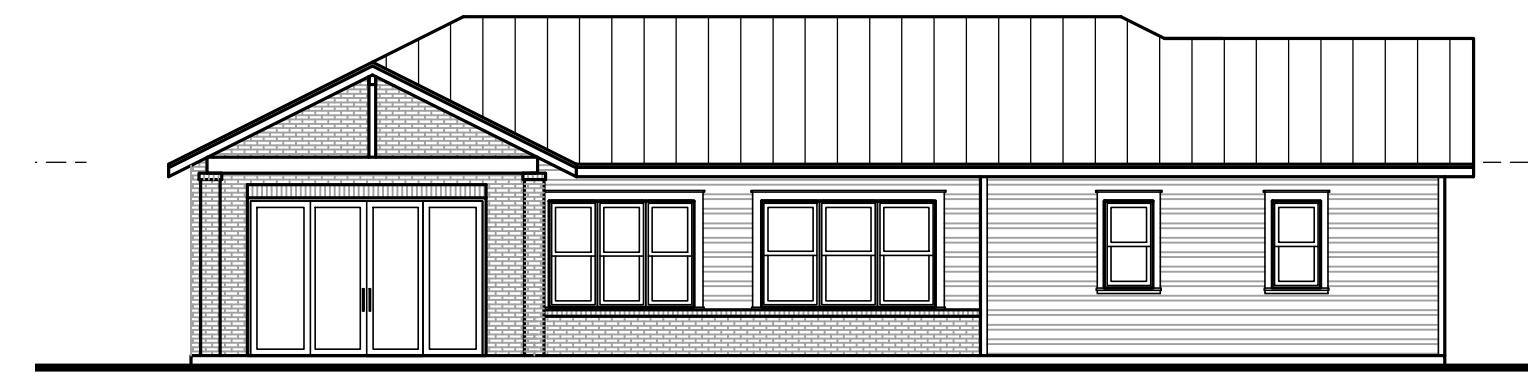


STEPHENS RESIDENCE

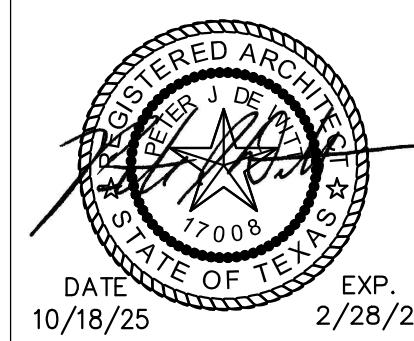
309 MADISON STREET
SAN ANTONIO TX, 78204



210-844-1687
114 Aylesbury Hill St.
San Antonio, TX 78209
pdewitt@dewittarc.com

STEPHENS RESIDENCE GARAGE AND ADU

309 MADISON AVE
SAN ANTONIO, TX
78204



GENERAL NOTES:

- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS OR SPECIFICATIONS, ADDENDUM, BULLETIN, OR OTHER DOCUMENT, SHALL BE AS BINDING AS IF REQUIRED BY ALL. CONTRACTOR SHALL USE ONLY COMPLETE SETS OF CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM OF WORK.
- CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND EXCLUSIVE RESPONSIBILITY FOR ALL JOBS AND CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, A.D.A., T.A.S., AND REGULATIONS OF ALL GOVERNING BODIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR AND ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- ALL TRAFFIC CONTROLS ON THIS PROJECT SHALL ADHERE TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE OWNER SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER OF THE OTHER PROPERTY.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION PROPERLY AND PROVIDE ALL SUITABLE FILL MATERIAL AS APPROVED BY THE SOILS ENGINEER, AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
- EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.

SHEET INDEX

- | | |
|-------|----------------------|
| A0.00 | COVER |
| A1.00 | SURVEY AND SITE PLAN |
| A2.00 | FIRST FLOOR PLAN |
| A2.20 | ROOF PLAN |
| A3.10 | EXTERIOR ELEVATIONS |
| A3.20 | EXTERIOR ELEVATIONS |

AREA CALCULATIONS

EXISTING GARAGE	- 0 S.F.
NEW ADU AC SPACE	- 798 S.F.
NEW GARAGE/ADU PORCH	- 428 S.F.
GARAGE	- 635 S.F.
TOTAL SLAB AREA	- 1861 S.F.
HOUSE AC SIZE	- 3526 S.F.
LOT SIZE	-14,367 S.F.

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3 10/18/25 HDRC REVIEW

ARCHITECT

Peter DeWitt Design Build
114 Aylesbury Hill Street
San Antonio, TX 78209
210.844.1687
pdewitt@dewittarc.com

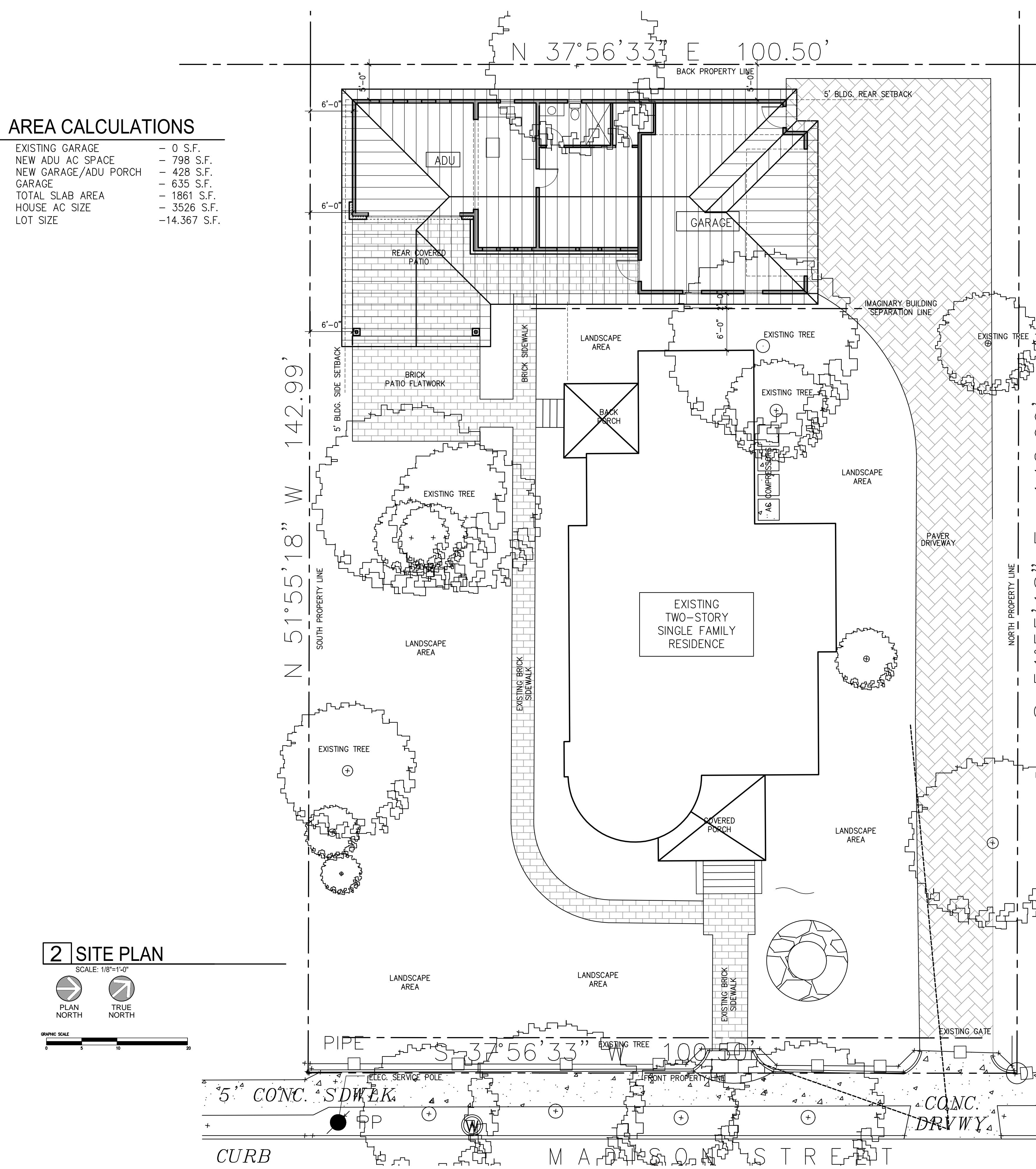
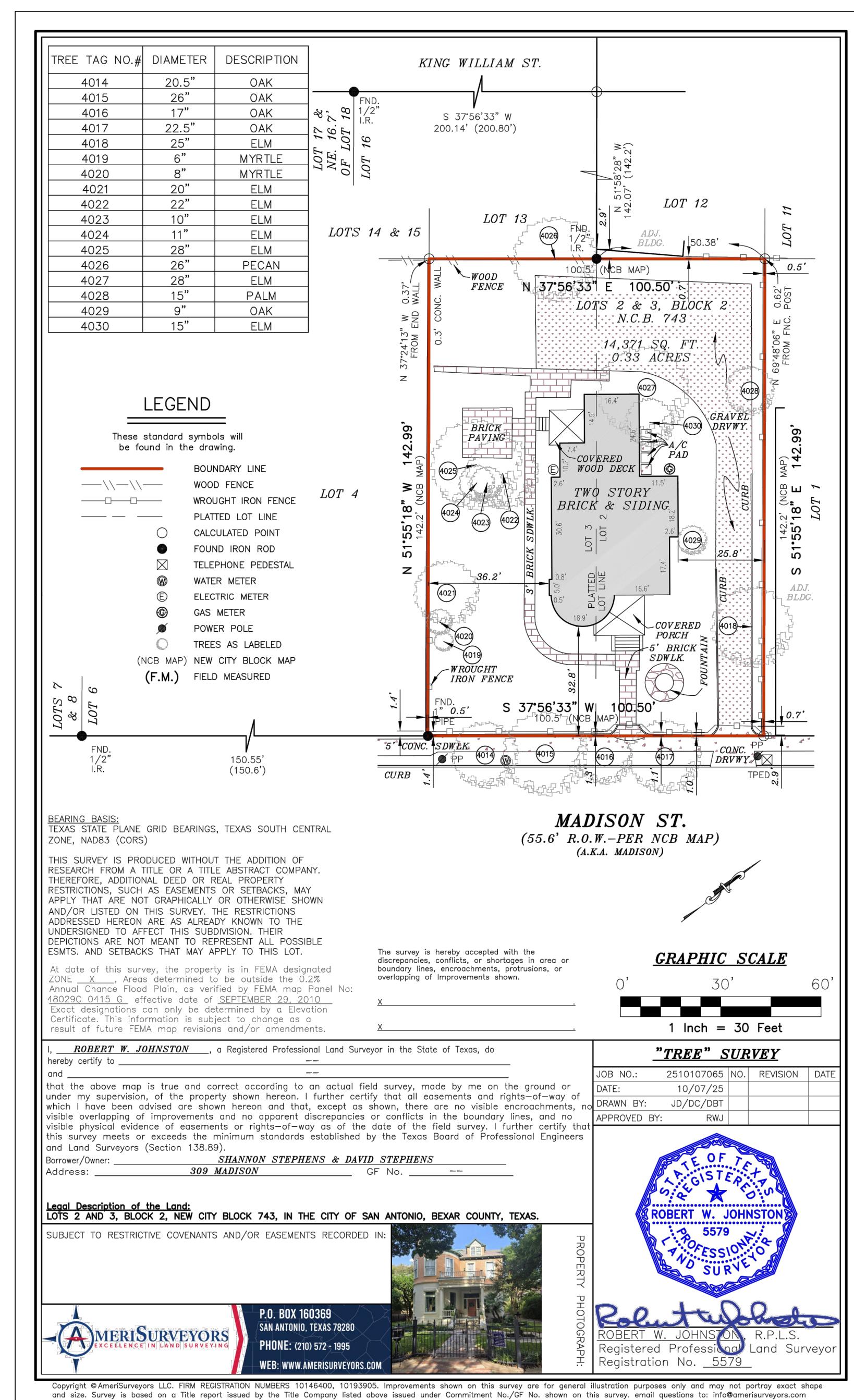
OWNER

David and Shannon Stephens
309 Madison
San Antonio, TX 78204

PROJECT DESCRIPTION

new detached accessory dwelling unit
with garage

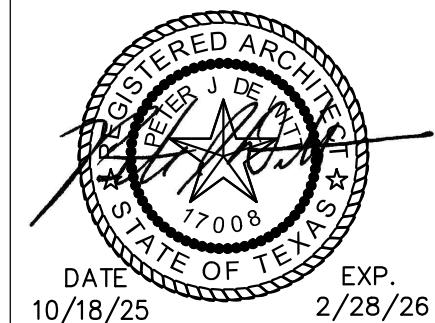
COVER
OF --



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**STEPHENS
RESIDENCE
GARAGE
AND ADU**

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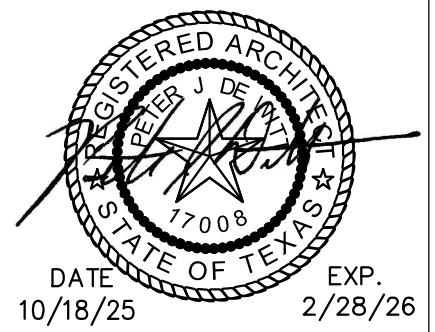
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SURVEY/SITE

A1.00
OF --

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AND ADU

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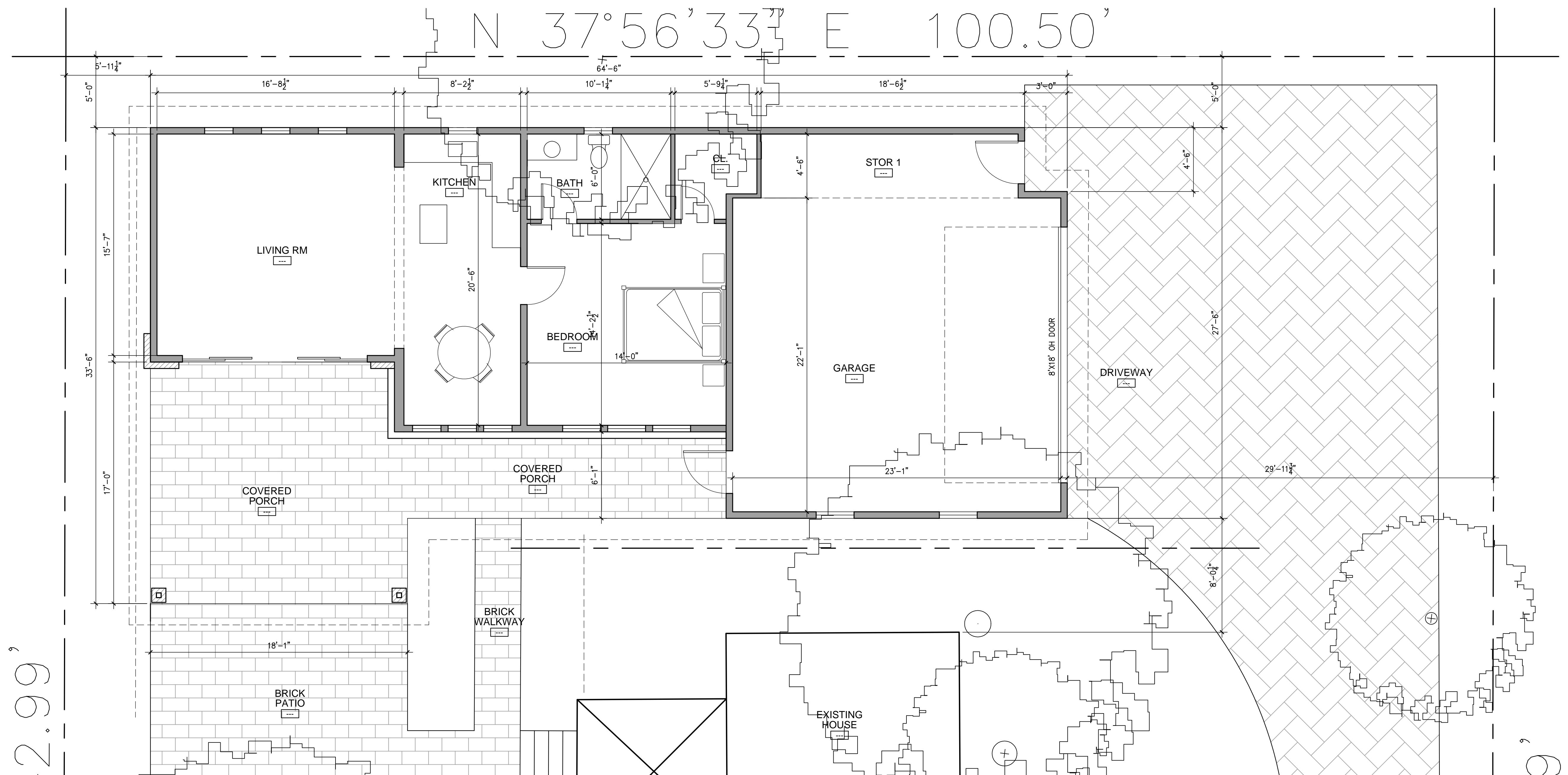


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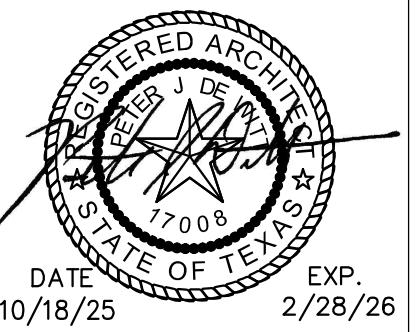
1ST FLOOR PLAN

A2.00
OF --



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AND ADU

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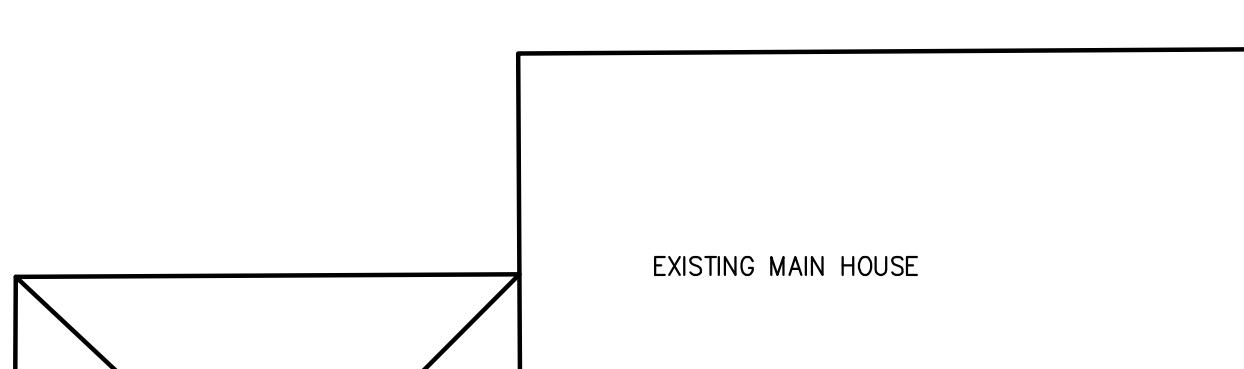
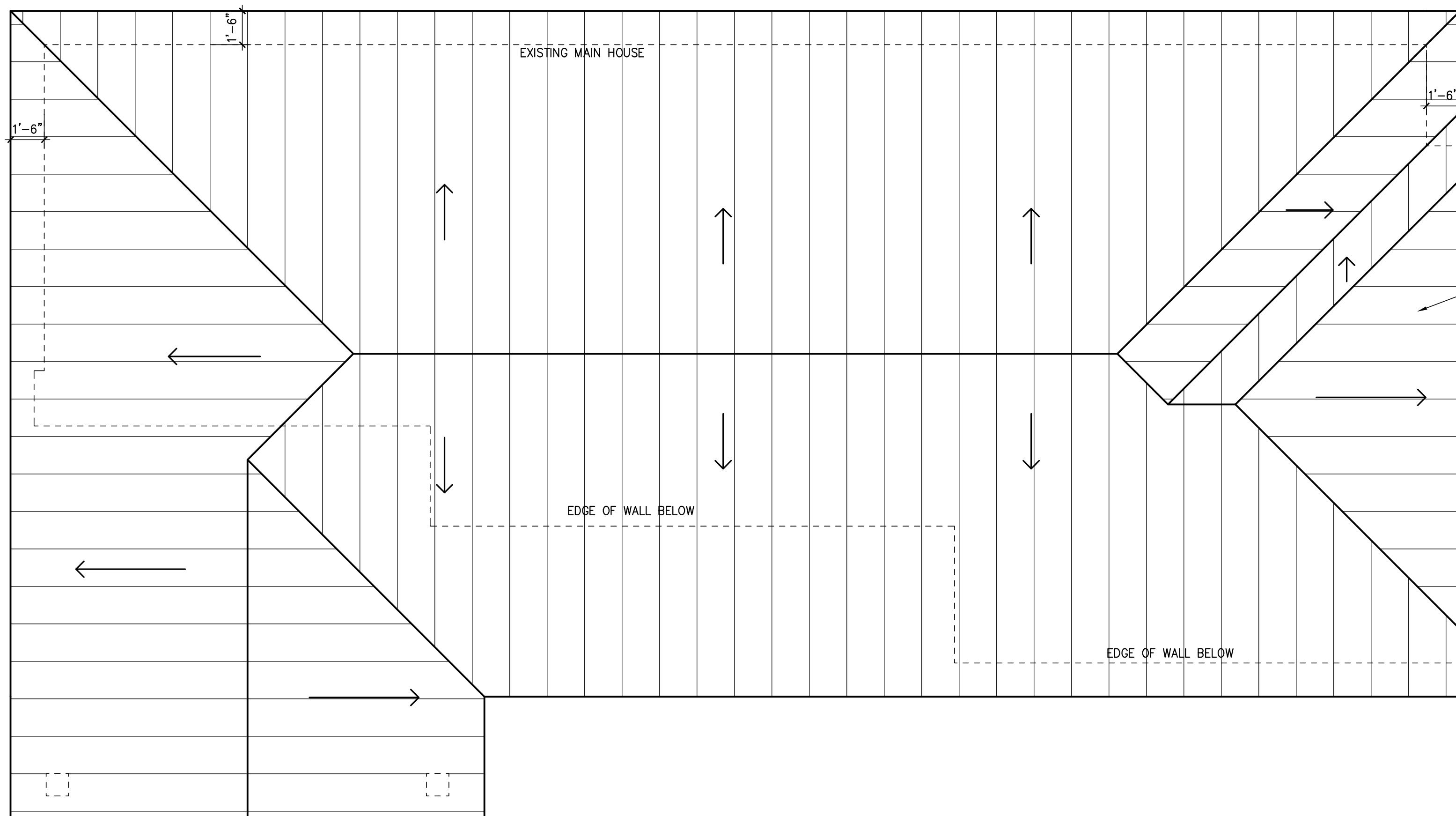


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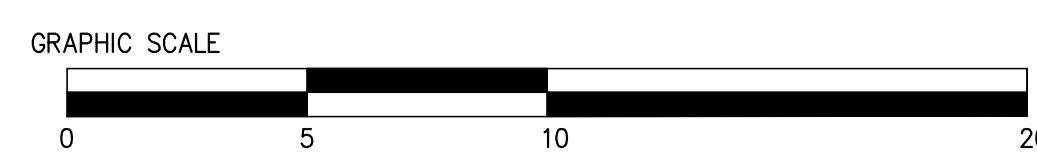
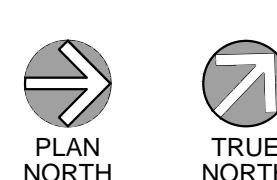
ROOF PLAN

A2.20
OF --



1 ROOF PLAN MAIN HOUSE

SCALE: 1/4"=1'-0"



OF --

STEPHENS
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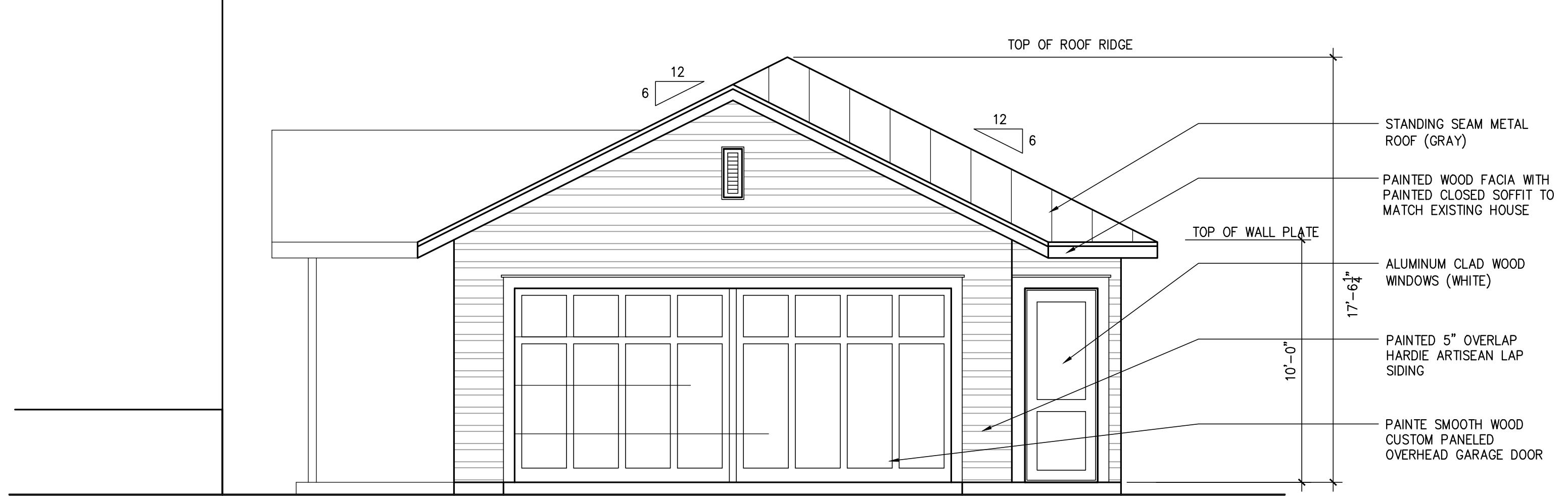
EXT ELEVATION

A3.00
OF --



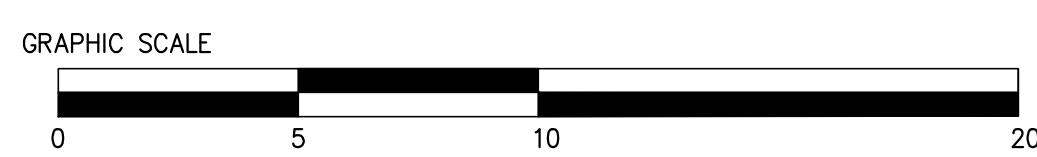
1 EAST (FRONT) ELEVATION

SCALE: 1/4"=1'-0"



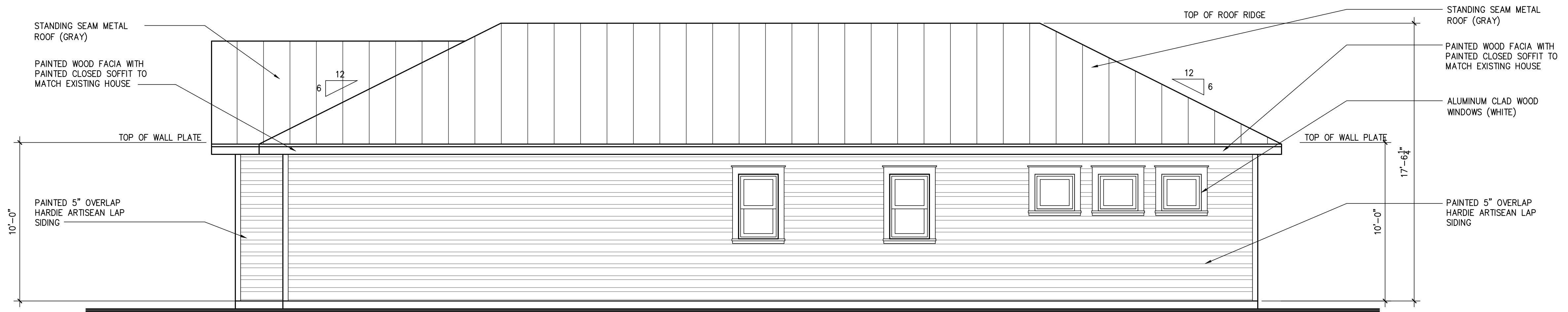
2 NORTH (SIDE) ELEVATION

SCALE: 1/4"=1'-0"



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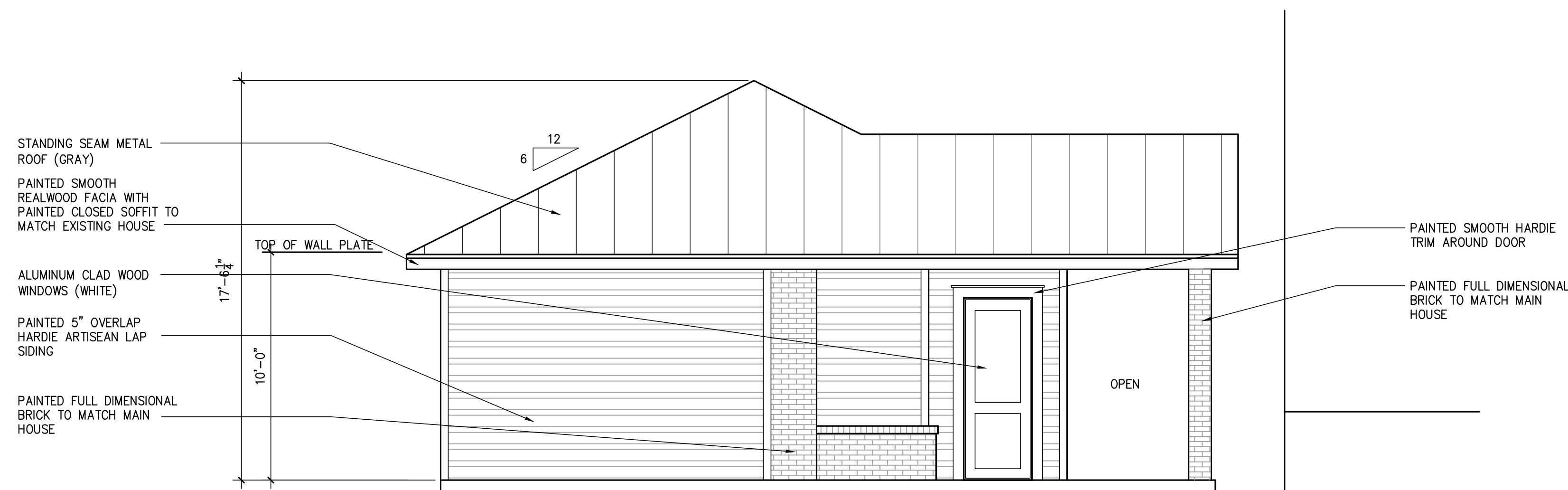
1 WEST (REAR) ELEVATION

SCALE: 1/4"=1'-0"



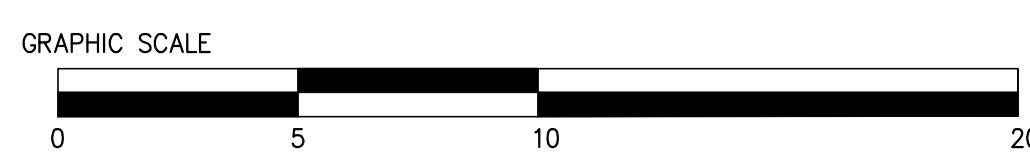
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2 SOUTH (SIDE) ELEVATION

SCALE: 1/4"=1'-0"



EXT ELEVATION

A3.10
OF --