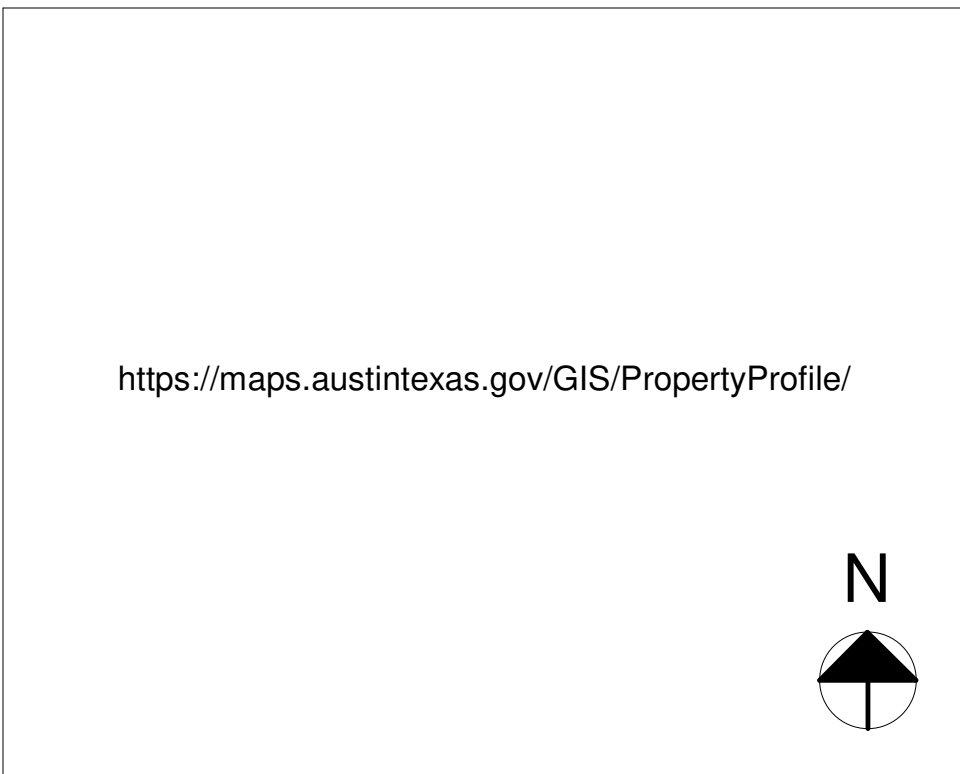


SET ISSUE SCHEDULE		
SET ISSUED	DATE OF ISSUE	DESCRIPTION OF ISSUE
REVISION A	XX-XX-XXXX	PRE-ISSUANCE REVISIONS
ISSUE FOR PERMIT	XX-XX-XXXX	ISSUE FOR PERMIT
ISSUE FOR CONSTRUCTION	XX-XX-XXXX	ISSUE FOR CONSTRUCTION
REVISION 1	XX-XX-XXXX	POST-ISSUANCE REVISIONS



VICINITY MAP



CENTRAL AT COMMERCE

279 UNITS

1231 E COMMERCE, SAN ANTONIO, TX

OWNER:	UNION DEVELOPMENT HOLDINGS III, LLC
CONTRACTOR:	CONTRACTOR NAME
ARCHITECT:	EVOLVE ARCHITECTS
STRUCTURAL ENGINEER:	CPH STRUCTURAL ENGINEERING, INC.
MEP ENGINEER:	NICHOLS ENGINEERING, INC.
CIVIL ENGINEER:	PAPE-DAWSON ENGINEERS
LANDSCAPE DESIGNER:	EVOLVE ARCHITECTS
INTERIOR DESIGNER:	INTERIOR DESIGNER NAME(S)

8680 EDISON PLAZA DR, FISHERS, IN. 46038 CHARLES DITCHMAN - 630-621-5436 - CDITCHMAN@THEANNEXGRP.COM
ADDRESS CONTACT - PHONE - EMAIL
1515 S CAPITAL OF TEXAS HWY, SUITE 410, AUSTIN, TX 78746 BRIAN LUCKE - 512-327-3397 - BLUCKE@EVOLVEARCH.COM
31360 NICHOLS SAWMILL ROAD SUITE B, MAGNOLIA, TX, 77355 CHRIS HILLMAN - 281.826.1848 - CHILLMAN@CPHENGINEERING.COM
912 S CAPITAL OF TEXAS HWY, SUITE 200, AUSTIN, TX, 78746 DAVID NICHOLS - 512.593.5616 - DAVID@NICHOLSENG.COM
2000 NORTHWEST LOOP 410, SAN ANTONIO, TX, 78213 CONTACT - PHONE - EMAIL
1515 S CAPITAL OF TEXAS HWY, SUITE 410, AUSTIN, TX 78746 DREW SCHELFHOUT - 512-327-3397 - ASHELFHOUT@EVOLVEARCH.COM
ADDRESS CONTACT - PHONE - EMAIL -

MULTIFAMILY APARTMENTS
AHJ:
ISSUE:

SITE PERMIT #
PERMIT #
TAS #

DRAWN BY:	
	Drafter
CHECKED BY:	
	Checker
PROJECT #:	
	24-2692

PROGRESS PRINT
FOR INTERIM REVIEW ONLY. NOT
INTENDED FOR BIDDING, PERMIT, OR
CONSTRUCTION.
REGISTRANTS NAME: BRIAN LUCKE
REGISTRATION NUMBER: 28114

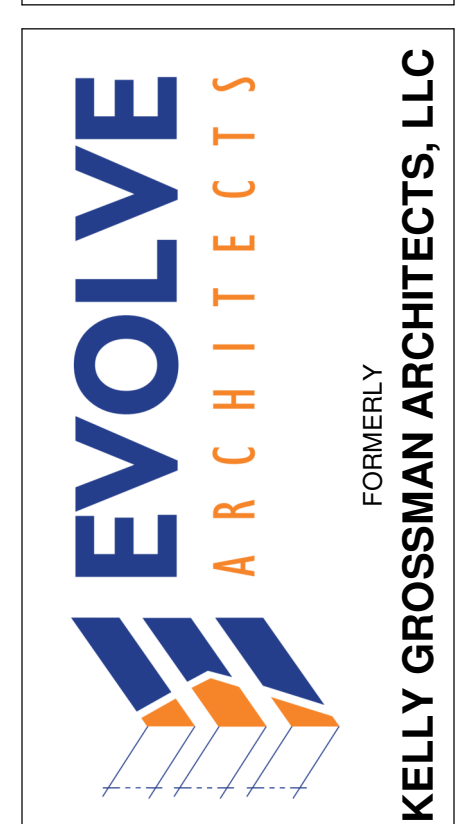
Issue:

ISSUED FOR BID

Issued:

UNION DEVELOPMENT
HOLDINGS III, LLC

8680 EDISON PLAZA DR,
FISHERS, IN. 46038



CENTRAL AT COMMERCE

1231 E COMMERCE, SAN ANTONIO, TX

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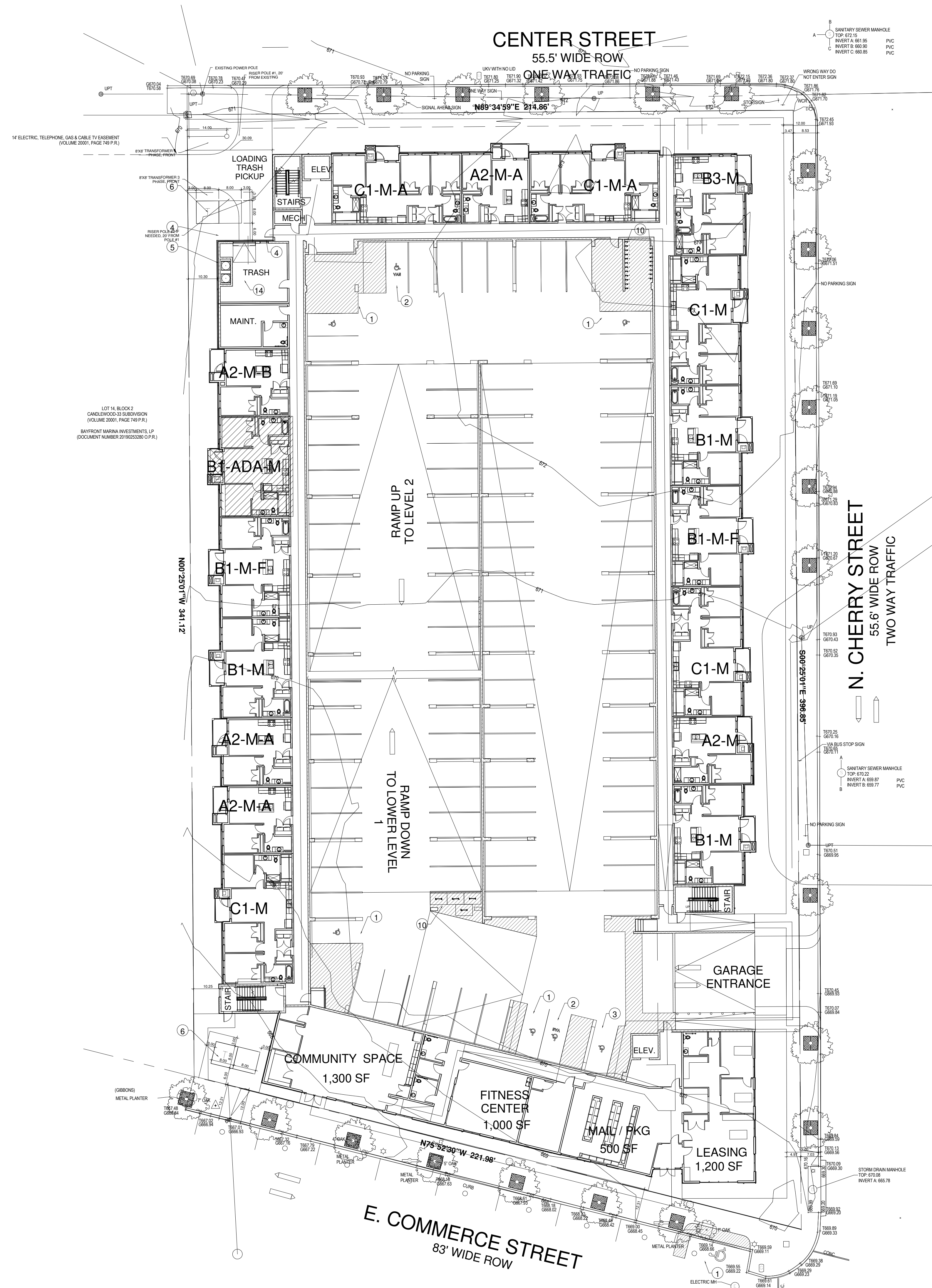
ISSUED FOR CONSTRUCTION

DATE	10/01/24
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10/01/21	
DESCRIPTION	

ARCHITECTURAL SITE PLANSHEET

A2.10



SITE FURNISHINGS NOTES

- 1 ACCESSIBLE PARKING SPACE
- 2 VAN ACCESSIBLE PARKING SPACE
- 3 CLUB ACCESSIBLE PARKING SPACE
- 4 FDC LOCATION
- 5 METER BANK LOCATION
- 6 TRANSFORMER LOCATION
- 7 VISITOR CALL BOX AND KNOX KEY LOCATION FOR VEHICLE GATES
- 8 VEHICULAR GATE
- 9 PEDESTRIAN GATE
- 10 BIKE RACK
- 11 PERIMETER FENCE
- 12 PLAYGROUND
- 13 POOL EQUIPMENT AREA
- 14 TRASH ROOM

GENERAL SITE NOTES

1. THE ARCHITECTURAL SITE PLAN GRAPHICALLY INDICATES THE APPROXIMATE LOCATION OF THE BUILDINGS, DRIVES, AND PARKING.

2. ALL SITE WORK MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROVED CIVIL DRAWINGS. REFER TO CIVIL ENGINEERS DRAWINGS FOR ALL GRADING, UTILITY WORK, DRAINAGE, DIMENSIONAL CONTROLS, BUILDING FINISH FLOOR ELEVATION AND LOCATION OF REQUIRED RETAINING WALLS AT BUILDINGS, ALL DIMENSIONS ON THIS PLAN ARE FOR REFERENCE ONLY.

3. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING, SIDEWALKS, HANDICAP RAMPS, ACCESSIBLE ROUTES TO BUILDINGS. ALL DIMENSIONS ON THIS PLAN ARE FOR REFERENCE ONLY.

4. REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR LOCATIONS OF ALL PANELS, METERS, TRANSFORMERS, CLEANOUTS AND PARKING LOT LIGHTING.

5. KNOX BOX ENTIRE SYSTEM MUST BE PROVIDED AT FIRE DEPARTMENT CRASH GATE AND THE FRONT DOOR OF THE CLUBHOUSE.

6. THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE FINISHED FLOOR ELEVATIONS OF

THE BUILDING WITH TO THE FINISHED GRADES
AROUND THE BUILDINGS. ACCESS SHOULD BE
PROVIDED FROM THE BREEZEWAYS TO FINISHED
GRADE AND IF PATIOS ARE 2 1/2 FEET OR GREATER
ABOVE GRADE, A GAUDDRAIL IS REQUIRED.

7. WHERE SIDEWALKS ARE LOCATED ON TOP OF RETAINING WALLS THAT ARE TALLER THAN 30" A 42" RAIL SHOULD BE PROVIDED BETWEEN THE SIDEWALK AND THE EDGE OF THE WALL.

8. THE DRIVE AISLE IS TO MEASURE 26' WIDE WITH A MINIMUM OF 25' RADIUS CURVES ALONG THE DESIGNATED FIRE LANE.

9. FIRE DEPARTMENT CONNECTIONS MUST BE ACCESSIBLE AND VISIBLE FROM THE STREET OR DESIGNATED FIRE LANE AND PROVIDED WITH LOCKING KNOX CAPS PER IFC 912.3.1

10. ALL PARKING SPACES MEASURE 9' WIDE TO 18' LONG UNLESS THE SPACE IS DESIGNATED ACCESSIBLE THE SPACE WILL MEASURE 8' WIDE BY 18' LONG WITH A 5' WIDE STRIPED ACCESS AISLE SHALL BE 8' WIDE IF THE ACCESSIBLE SPACE IS DESIGNATED VAN PARKING.

11. POOL ENCLOSURE AND POOL EQUIPMENT ROOM WILL BE A PART OF POOL PERMIT. POOL PERMIT NOT A PART OF EXPEDITED REVIEW.



SITE PLAN

