



Institute of Texan Cultures

HISTORIC PHOTO



RENDERING

PROJECT GRAPHICS

SHEET INDEX - SEE SHEET G1.0.1

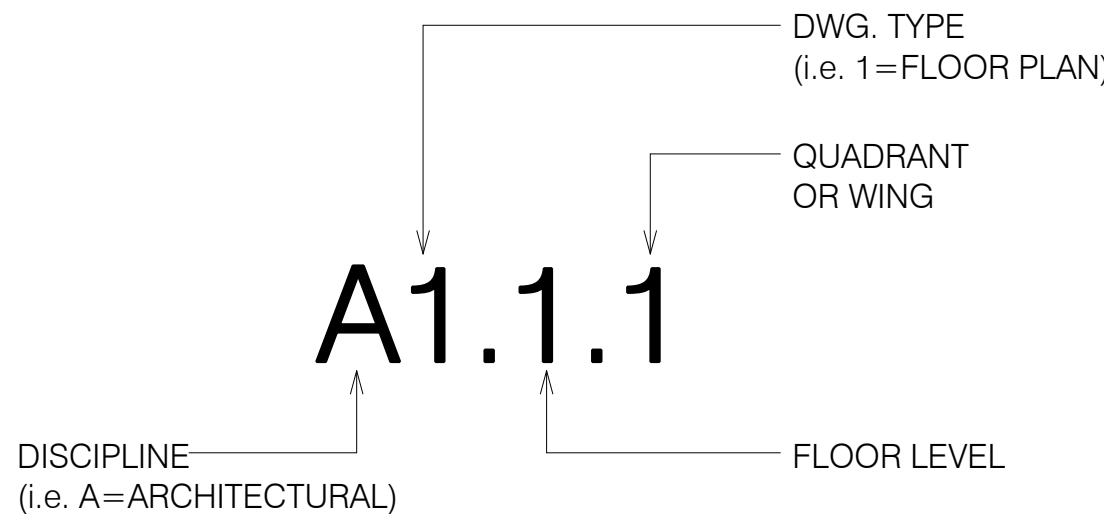
TDLR PROJECT #: TABS2023010941

PROJECT LOCATION

NOT TO SCALE



SHEET NUMBERING KEY



CERTIFICATION



Jonathan Sandvick  
NOVEMBER 4, 2022

The Historic AB Frank Building

145 Navarro Street  
San Antonio, TX 78205

An Historic Tax Credit Rehabilitation Project

S.A. PROJECT NUMBER: 0885

|   |   |
|---|---|
| <p><b>DEVELOPER</b></p> <p><b>Blueprint Hospitality</b><br/>3 Sugar Creek Center Blvd., Suite 100<br/>Sugar land, Texas 77478<br/>Phone #: (501) 213-5013<br/>Contact: Kunal Mody<br/>kunal.mody@blueprinthospitality.com</p> <p><b>Signature</b><br/>(signature name: title)</p> <p>Date</p>   | <p><b>GENERAL CONTRACTOR</b></p> <p><b>Arch-Con</b><br/>190 T C Jester Blvd., Suite 200<br/>Houston, Texas 77007<br/>Phone #: (713) 533-1900<br/>Contact: Steve Ziegler<br/>sziegler@arch-con.com<br/>arch-con.com</p> <p><b>Signature</b><br/>(signature name: title)</p> <p>Date</p>  |
| <p><b>ARCHITECT</b></p> <p><b>Sandvick Architects, Inc.</b><br/>1265 West 6th Street<br/>Cleveland, Ohio 44113<br/>Phone #: (216) 621-8055<br/>Fax #: (216) 687-1814<br/>Contact: Timothy R. Wagner, AIA, NCARB<br/>trw@sandvickarchitects.com<br/>www.sandvickarchitects.com</p> <p><b>Signature</b><br/>Jonathan Sandvick, AIA: President</p> <p>Date</p> | <p><b>ENGINEER (STRUCTURAL)</b></p> <p><b>Barber &amp; Hoffman</b><br/>2217 E. 9th Street, Suite 350<br/>Cleveland, Ohio 44115<br/>Phone #: (216) 875-0100<br/>Fax #: (216) 875-0111<br/>Contact: Brad Boomer, P.E.<br/>bboomer@barberhoffman.com<br/>barberhoffman.com</p> <p><b>Signature</b><br/>(signature name: title)</p> <p>Date</p> |
| <p><b>ENGINEER (M, E, P)</b></p> <p><b>Blum Consulting Engineers, Inc.</b><br/>144 Walnut Hill Lane, Suite 200<br/>Dallas, Texas 75231-4316<br/>Phone #: (214) 373-8222<br/>Contact: Jake Music, P.E.<br/>jmusic@blumeng.com<br/>www.blumeng.com</p> <p><b>Signature</b><br/>(signature name: title)</p> <p>Date</p>  | <p><b>ENGINEER (CIVIL)</b></p> <p><b>LJA Engineering</b><br/>1100 NE Loop 410, Suite 850<br/>San Antonio, Texas 78209<br/>Phone #: (210) 503-2700<br/>Fax #: (210) 503-2749<br/>Contact: Priscilla Flores, P.E.<br/>pflores@lja.com<br/>LJA.com</p> <p><b>Signature</b><br/>(signature name: title)</p> <p>Date</p>                         |
| <p><b>INTERIOR DESIGNER</b></p> <p><b>Premier Project Management</b><br/>14185 Dallas Parkway, Suite 1400<br/>Dallas, Texas 75254<br/>Phone #: (972) 778-9238<br/>Contact: Carla Niemann, RID, IIDA<br/>carlaniemann@premierpm.com<br/>premierpm.com</p> <p><b>Signature</b><br/>(signature name: title)</p> <p>Date</p>                                    | <p><b>HOTEL MANAGEMENT</b></p> <p><b>Remington Hotels</b><br/>14185 Dallas Parkway, Suite 1150<br/>Dallas, Texas 75254<br/>Phone #: (972) 778-9730<br/>Contact: Joe Masi<br/>joemasi@remingtonhotels.com<br/>remingtonhotels.com</p> <p><b>Signature</b><br/>(signature name: title)</p> <p>Date</p>  |
| <p><b>REGISTERED ACCESSIBILITY SPECIALIST</b></p> <p><b>Abadi Accessibility</b><br/>7516 Danfield Ct.<br/>Dallas, Texas 75252<br/>Phone #: (214) 403-8714<br/>Contact: Marcela Abadi Rhoades, FAIA, RAS<br/>Registered Accessibility Specialist #240<br/>marhoades@abadiaccess.com<br/>abadiaccess.com</p> <p><b>Signature</b></p> <p>Date</p>              | <p><b>LIGHTING</b></p> <p><b>Oldner Lighting Design, LLC</b><br/>4645 Greenville Ave., Studio B<br/>Dallas, Texas 75252<br/>Phone #: (214) 414-1030<br/>Contact: Scott Oldner<br/>scott@oldnerlighting.com<br/>oldnerlighting.com</p> <p><b>Signature</b></p> <p>Date</p>   |
| <p><b>KITCHEN &amp; LAUNDRY DESIGNER</b></p> <p><b>Ricca Desing Studios</b><br/>5613 DTC Parkway, Suite 100<br/>Greenwood Village, CO 80111<br/>Phone #: (405) 260-0019<br/>Contact: Ted Doyals<br/>tdoyals@ricca.com<br/>ricca.com</p> <p><b>Signature</b></p> <p>Date</p>   | <p><b>GEOTECH</b></p> <p><b>Braun Intertec Corporation</b><br/>1160 Mustang Drive, Suite 300<br/>Dallas, Texas 75261<br/>Phone #: (817) 786-5999<br/>Contact: John A. Focht III, P.E.<br/>jfocht@braunintertec.com<br/>braunintertec.com</p> <p><b>Signature</b></p> <p>Date</p>  |

| ISSUES:   |                    |
|-----------|--------------------|
| DATE:     | DESCRIPTION:       |
| 2022-11-4 | Demolition Package |
| 2022-12-9 | GMP Issue          |
| 2023-2-3  | ARCH-3 DD          |
|           |                    |
|           |                    |
|           |                    |
|           |                    |
|           |                    |
|           |                    |

| REVISIONS: |              |       |
|------------|--------------|-------|
| No:        | DESCRIPTION: | DATE: |
|            |              |       |
|            |              |       |
|            |              |       |
|            |              |       |
|            |              |       |
|            |              |       |
|            |              |       |
|            |              |       |
|            |              |       |

ISSUE TITLE: ARCH-3 DD

ISSUE DATE: 2/3/2023

ARCHITECTURAL - VOLUME 1

G1.0



| Demo Package | ARCH-2 SD Submittal | Issued for GMP | ARCH-3 DD Submittal | Permit Set Submittal | ARCH-4 90% Submittal | Issued for Construction (IFC) | Sheet Number | Sheet Name                           |
|--------------|---------------------|----------------|---------------------|----------------------|----------------------|-------------------------------|--------------|--------------------------------------|
| ■            |                     |                |                     |                      |                      |                               | G1.0         | Cover Page                           |
|              |                     |                |                     |                      |                      |                               | G1.0.1       | Sheet Index                          |
|              |                     |                |                     |                      |                      |                               | G1.1         | General Information                  |
|              |                     |                |                     |                      |                      |                               | G2.0         | Guestroom Matrix                     |
|              |                     |                |                     |                      |                      |                               | G3.0         | Accessibility Standards Requirements |
|              |                     |                |                     |                      |                      |                               | G3.1         | Accessibility Restroom Details       |

|  |  |   |   |  |  |  |      |                 |
|--|--|---|---|--|--|--|------|-----------------|
|  |  | ■ | ■ |  |  |  | C0.0 | Cover Sheet     |
|  |  | ■ | ■ |  |  |  | C1.0 | Demolition Plan |
|  |  | ■ | ■ |  |  |  | C2.0 | Site Plan       |

|  |  |  |   |  |  |  |        |                           |
|--|--|--|---|--|--|--|--------|---------------------------|
|  |  |  | ■ |  |  |  | CA0.1  | General Code Information  |
|  |  |  | ■ |  |  |  | CA1.0  | River Level Code Plan     |
|  |  |  | ■ |  |  |  | CA1.1  | First Floor Code Plan     |
|  |  |  | ■ |  |  |  | CA1.2  | Second Floor Code Plan    |
|  |  |  | ■ |  |  |  | CA1.3  | Third Floor Code Plan     |
|  |  |  | ■ |  |  |  | CA1.4  | Fourth Floor Code Plan    |
|  |  |  | ■ |  |  |  | CA1.5  | Fifth Floor Code Plan     |
|  |  |  | ■ |  |  |  | CA1.6  | Sixth Floor Code Plan     |
|  |  |  | ■ |  |  |  | CA1.7  | Seventh Floor Code Plan   |
|  |  |  | ■ |  |  |  | CA1.8  | Eighth Floor Code Plan    |
|  |  |  | ■ |  |  |  | CA1.9  | Ninth Floor Code Plan     |
|  |  |  | ■ |  |  |  | CA1.10 | Tenth Floor Code Plan     |
|  |  |  | ■ |  |  |  | CA1.11 | Penthouse Floor Code Plan |

|  |  |   |   |   |  |  |         |   |
|--|--|---|---|---|--|--|---------|---|
|  |  | ■ | ■ | ■ |  |  | A0.1.0  | Wall Types                                    |
|  |  | ■ | ■ | ■ |  |  | A0.1.1  | Wall Types, Cont.                             |
|  |  | ■ | ■ | ■ |  |  | A0.1.2  | Column Types                                  |
|  |  | ■ | ■ | ■ |  |  | A0.2.0  | Existing & New Floor Types                    |
|  |  | ■ | ■ | ■ |  |  | A0.3.0  | Firestopping Details - Wall Penetrations      |
|  |  | ■ | ■ | ■ |  |  | A0.3.1  | Firestopping Details - Wall Penetrations      |
|  |  | ■ | ■ | ■ |  |  | A0.3.2  | Firestopping Details - Floor Penetrations     |
|  |  | ■ | ■ | ■ |  |  | A0.3.3  | Firestopping Details - Floor Penetrations     |
|  |  | ■ | ■ | ■ |  |  | A0.3.4  | Firestopping Details - Floor Joints           |
|  |  | ■ | ■ | ■ |  |  | A0.3.5  | Firestopping - Metal Deck / Preformed Devices |
|  |  | ■ | ■ | ■ |  |  | A0.3.6  | Smoke & Acoustic Details                      |
|  |  |   | ■ | ■ |  |  | A0.3.7  | Firestopping Details - Intumescent Details    |
|  |  |   | ■ | ■ |  |  | A0.4.0  | Door Schedule River Level - 2nd Floor         |
|  |  |   |   | ■ |  |  | A0.4.1  | Door Schedule - 3rd & 4th Floor               |
|  |  |   |   | ■ |  |  | A0.4.2  | Door Schedule - 5th & 6th Floor               |
|  |  |   |   | ■ |  |  | A0.4.3  | Door Schedule - 7th & 8th Floor               |
|  |  |   |   | ■ |  |  | A0.4.4  | Door Schedule - 9th - Penthouse               |
|  |  |   | ■ | ■ |  |  | A0.4.5  | Door Types                                    |
|  |  |   | ■ | ■ |  |  | A0.4.7  | Nana Wall Details                             |
|  |  |   | ■ | ■ |  |  | A0.4.8  | Interior Storefronts                          |
|  |  |   | ■ | ■ |  |  | A0.4.9  | Interior Storefronts                          |
|  |  |   | ■ | ■ |  |  | A0.4.10 | Miscellaneous Interior Details                |
|  |  | ■ | ■ | ■ |  |  | A0.7.0  | Window Types & Schedule                       |
|  |  | ■ | ■ | ■ |  |  | A0.7.1  | Existing / Proposed Window Details            |
|  |  | ■ | ■ | ■ |  |  | A0.7.2  | Existing / Proposed Window Details            |
|  |  | ■ | ■ | ■ |  |  | A0.7.3  | Storefront Elevations                         |
|  |  | ■ | ■ | ■ |  |  | A0.7.4  | Storefront Elevations, Cont.                  |
|  |  | ■ | ■ | ■ |  |  | A0.7.5  | Storefront Details                            |
|  |  | ■ | ■ | ■ |  |  | A1.0    | River Level Plan                              |
|  |  |   | ■ | ■ |  |  | A1.0.1  | River Level Floor Plan - Enlarged Southeast   |
|  |  |   | ■ | ■ |  |  | A1.0.2  | River Level Floor Plan - Enlarged Southwest   |
|  |  |   | ■ | ■ |  |  | A1.0.3  | River Level Floor Plan - Enlarged Northeast   |
|  |  |   | ■ | ■ |  |  | A1.0.4  | River Level Floor Plan - Enlarged Northwest   |
|  |  | ■ | ■ |   |  |  | A1.1    | 1st Floor Plan                                |
|  |  |   | ■ | ■ |  |  | A1.1.1  | 1st Floor Plan - Enlarged Southeast           |
|  |  |   | ■ | ■ |  |  | A1.1.2  | 1st Floor Plan - Enlarged Southwest           |
|  |  |   | ■ | ■ |  |  | A1.1.3  | 1st Floor Plan - Enlarged Northeast           |
|  |  |   | ■ | ■ |  |  | A1.1.4  | 1st Floor Plan - Enlarged Northwest           |
|  |  |   | ■ | ■ |  |  | A1.2    | 2nd Floor Plan                                |
|  |  |   | ■ | ■ |  |  | A1.2.1  | 2nd Floor Plan - Enlarged Southeast           |
|  |  |   | ■ | ■ |  |  | A1.2.2  | 2nd Floor Plan - Enlarged Southwest           |
|  |  |   | ■ | ■ |  |  | A1.2.3  | 2nd Floor Plan - Enlarged Northeast           |
|  |  |   | ■ | ■ |  |  | A1.2.4  | 2nd Floor Plan - Enlarged Northwest           |
|  |  |   | ■ | ■ |  |  | A1.3    | 3rd Floor Plan                                |
|  |  |   | ■ | ■ |  |  | A1.3.1  | 3rd Floor Plan - Enlarged Southeast           |
|  |  |   | ■ | ■ |  |  | A1.3.2  | 3rd Floor Plan - Enlarged Southwest           |
|  |  |   | ■ | ■ |  |  | A1.3.3  | 3rd Floor Plan - Enlarged Northeast           |
|  |  |   | ■ | ■ |  |  | A1.3.4  | 3rd Floor Plan - Enlarged Northwest           |
|  |  | ■ | ■ | ■ |  |  | A1.4    | 4th Floor Plan                                |
|  |  |   | ■ | ■ |  |  | A1.4.1  | 4th Floor Plan - Enlarged Southeast           |
|  |  |   | ■ | ■ |  |  | A1.4.2  | 4th Floor Plan - Enlarged Southwest           |
|  |  |   | ■ | ■ |  |  | A1.4.3  | 4th Floor Plan - Enlarged Northeast           |
|  |  |   | ■ | ■ |  |  | A1.4.4  | 4th Floor Plan - Enlarged Northwest           |
|  |  |   | ■ | ■ |  |  | A1.5    | 5th Floor Plan                                |
|  |  |   | ■ | ■ |  |  | A1.5.1  | 5th Floor Plan - Enlarged Southeast           |
|  |  |   | ■ | ■ |  |  | A1.5.2  | 5th Floor Plan - Enlarged Southwest           |
|  |  |   | ■ | ■ |  |  | A1.5.3  | 5th Floor Plan - Enlarged Northeast           |
|  |  |   | ■ | ■ |  |  | A1.5.4  | 5th Floor Plan - Enlarged Northwest           |
|  |  |   | ■ | ■ |  |  | A1.6    | 6th Floor Plan                                |
|  |  |   | ■ | ■ |  |  | A1.6.1  | 6th Floor Plan - Enlarged Southeast           |
|  |  |   | ■ | ■ |  |  | A1.6.2  | 6th Floor Plan - Enlarged Southwest           |
|  |  |   | ■ | ■ |  |  | A1.6.3  | 6th Floor Plan - Enlarged Northeast           |
|  |  |   | ■ | ■ |  |  | A1.6.4  | 6th Floor Plan - Enlarged Northwest           |
|  |  |   | ■ | ■ |  |  | A1.7    | 7th Floor Plan                                |
|  |  |   | ■ | ■ |  |  | A1.7.1  | 7th Floor Plan - Enlarged Southeast           |
|  |  |   | ■ | ■ |  |  | A1.7.2  | 7th Floor Plan - Enlarged Southwest           |
|  |  |   | ■ | ■ |  |  | A1.7.3  | 7th Floor Plan - Enlarged Northeast           |
|  |  |   | ■ | ■ |  |  | A1.7.4  | 7th Floor Plan - Enlarged Northwest           |
|  |  |   | ■ | ■ |  |  | A1.8    | 8th Floor Plan                                |
|  |  |   | ■ | ■ |  |  | A1.8.1  | 8th Floor Plan - Enlarged Southeast           |
|  |  |   | ■ | ■ |  |  | A1.8.2  | 8th Floor Plan - Enlarged Southwest           |
|  |  |   | ■ | ■ |  |  | A1.8.3  | 8th Floor Plan - Enlarged Northeast           |
|  |  |   | ■ | ■ |  |  | A1.8.4  | 8th Floor Plan - Enlarged Northwest           |
|  |  |   | ■ | ■ |  |  | A1.9    | 9th Floor Plan                                |
|  |  |   | ■ | ■ |  |  | A1.9.1  | 9th Floor Plan - Enlarged Southeast           |
|  |  |   | ■ | ■ |  |  | A1.9.2  | 9th Floor Plan - Enlarged Southwest           |
|  |  |   | ■ | ■ |  |  | A1.9.3  | 9th Floor Plan - Enlarged Northeast           |

| Demo Package | ARCH-2 SD Submittal | Issued for GMP | ARCH-3 DD Submittal | Permit Set Submittal | ARCH-4 90% Submittal | Issued for Construction (IFC) | Sheet Number | Sheet Name                                 |
|--------------|---------------------|----------------|---------------------|----------------------|----------------------|-------------------------------|--------------|--|
|              |                     |                |                     |                      |                      |                               | A1.9.4       | 9th Floor Plan - Enlarged Northwest        |
|              |                     |                |                     |                      |                      |                               | A1.10        | 10th Floor Plan                            |
|              |                     |                |                     |                      |                      |                               | A1.10.1      | 10th Floor Plan - Enlarged Southeast       |
|              |                     |                |                     |                      |                      |                               | A1.10.2      | 10th Floor Plan - Enlarged Southwest       |
|              |                     |                |                     |                      |                      |                               | A1.10.3      | 10th Floor Plan - Enlarged Northeast       |
|              |                     |                |                     |                      |                      |                               | A1.10.4      | 10th Floor Plan - Enlarged Northwest       |
|              |                     |                |                     |                      |                      |                               | A1.11        | Penthouse Floor Plan                       |
|              |                     |                |                     |                      |                      |                               | A1.11.1      | Penthouse Floor Plan - Enlarged Southeast  |
|              |                     |                |                     |                      |                      |                               | A1.11.2      | Penthouse Floor Plan - Enlarged Southwest  |
|              |                     |                |                     |                      |                      |                               | A1.11.3      | Penthouse Floor Plan - Enlarged Northeast  |
|              |                     |                |                     |                      |                      |                               | A1.11.4      | Penthouse Floor Plan - Enlarged Northwest  |
|              |                     |                |                     |                      |                      |                               | A1.12        | Roof Plan                                  |
|              |                     |                |                     |                      |                      |                               | A2.0         | River Level Reflected Ceiling Plan         |
|              |                     |                |                     |                      |                      |                               | A2.1         | 1st Floor Reflected Ceiling Plan           |
|              |                     |                |                     |                      |                      |                               | A2.2         | 2nd Floor Reflected Ceiling Plan           |
|              |                     |                |                     |                      |                      |                               | A2.3         | 3rd Floor Reflected Ceiling Plan           |
|              |                     |                |                     |                      |                      |                               | A2.4         | 4th Floor Reflected Ceiling Plan           |
|              |                     |                |                     |                      |                      |                               | A2.5         | 5th Floor Reflected Ceiling Plan           |
|              |                     |                |                     |                      |                      |                               | A2.6         | 6th Floor Reflected Ceiling Plan           |
|              |                     |                |                     |                      |                      |                               | A2.7         | 7th Floor Reflected Ceiling Plan           |
|              |                     |                |                     |                      |                      |                               | A2.8         | 8th Floor Reflected Ceiling Plan           |
|              |                     |                |                     |                      |                      |                               | A2.9         | 9th Floor Reflected Ceiling Plan           |
|              |                     |                |                     |                      |                      |                               | A2.10        | 10th Floor Reflected Ceiling Plan          |
|              |                     |                |                     |                      |                      |                               | A3.0.1       | Exterior Repair and Restoration Notes      |
|              |                     |                |                     |                      |                      |                               | A3.0.2       | Keyed Exterior Restoration Notes           |
|              |                     |                |                     |                      |                      |                               | A3.1         | South Elevation                            |
|              |                     |                |                     |                      |                      |                               | A3.2         | East Elevation                             |
|              |                     |                |                     |                      |                      |                               | A3.3         | Northeast Elevation                        |
|              |                     |                |                     |                      |                      |                               | A3.4         | North Elevation                            |
|              |                     |                |                     |                      |                      |                               | A3.5         | West Elevation                             |
|              |                     |                |                     |                      |                      |                               | A3.6         | Penthouse & Lightwell Elevations           |
|              |                     |                |                     |                      |                      |                               | A4.1         | Longitudinal Building Section              |
|              |                     |                |                     |                      |                      |                               | A4.2         | Transverse Building Section                |
|              |                     |                |                     |                      |                      |                               | A4.4         | Enlarged Penthouse Building Sections       |
|              |                     |                |                     |                      |                      |                               | A4.4.1       | Penthouse Wall Sections                    |
|              |                     |                |                     |                      |                      |                               | A5.1         | Enlarged Employee Restrooms #010 & #011    |
|              |                     |                |                     |                      |                      |                               | A5.2         | Enlarged River Level Restrooms #006 & #007 |
|              |                     |                |                     |                      |                      |                               | A5.3         | Enlarged River Level Unisex Restroom #029  |
|              |                     |                |                     |                      |                      |                               | A5.4         | Enlarged First Floor Men's Restroom #121   |
|              |                     |                |                     |                      |                      |                               | A5.4.1       | Enlarged First Floor Women's Restroom #123 |
|              |                     |                |                     |                      |                      |                               | A6.0         | General Stair Details                      |
|              |                     |                |                     |                      |                      |                               | A6.1         | Lumious Egress Path Markings               |
|              |                     |                |                     |                      |                      |                               | A6.2         | New Penthouse Stair Extension - NS-1.11    |
|              |                     |                |                     |                      |                      |                               | A6.2.1       | New Penthouse Stair Extension - NS-2.11    |
|              |                     |                |                     |                      |                      |                               | A6.3         | Elevator Extension                         |
|              |                     |                |                     |                      |                      |                               | A6.4         | Atrium Elevations                          |
|              |                     |                |                     |                      |                      |                               | A6.4.1       | Atrium Details                             |
|              |                     |                |                     |                      |                      |                               | A6.5         | Linen Chute Details                        |
|              |                     |                |                     |                      |                      |                               | A7.2         | Skylight Plan & Details                    |
|              |                     |                |                     |                      |                      |                               | A7.3         | Canopy Plan & Details                      |
|              |                     |                |                     |                      |                      |                               | A7.5         | Roof Details                               |
|              |                     |                |                     |                      |                      |                               | A7.5.2       | Roof Details, Cont.                        |
|              |                     |                |                     |                      |                      |                               | A7.6         | Typical Dryvit Details                     |

| Demo Package | ARCH-2 SD Submittal | Issued for GMP | ARCH-3 DD Submittal | Permit Set Submittal | ARCH-4 90% Submittal | Issued for Construction (IFC) | Sheet Number | Sheet Name |
|--------------|---------------------|----------------|---------------------|----------------------|----------------------|-------------------------------|--------------|------------|
|--------------|---------------------|----------------|---------------------|----------------------|----------------------|-------------------------------|--------------|------------|

|  |  |  |   |  |  |  |          |                              |
|--|--|--|---|--|--|--|----------|------------------------------|
|  |  |  | ■ |  |  |  | QF000-1  | Index Sheet                  |
|  |  |  | ■ |  |  |  | QF100-1  | Foodservice Key Plan         |
|  |  |  | ■ |  |  |  | QF100-2  | Foodservice Key Plan         |
|  |  |  | ■ |  |  |  | QF100-3  | Foodservice Key Plan         |
|  |  |  | ■ |  |  |  | QF400-1  | Foodservice Equipment Plan   |
|  |  |  | ■ |  |  |  | QF400-2  | Foodservice Utility Schedule |
|  |  |  | ■ |  |  |  | QF401-1  | Foodservice Equipment Plan   |
|  |  |  | ■ |  |  |  | QF401-2  | Foodservice Utility Schedule |
|  |  |  | ■ |  |  |  | QF402-1  | Foodservice Equipment Plan   |
|  |  |  | ■ |  |  |  | QF402-2  | Foodservice Utility Schedule |
|  |  |  | ■ |  |  |  | QF402-2A | Foodservice Utility Schedule |
|  |  |  | ■ |  |  |  | QF403-1  | Foodservice Equipment Plan   |
|  |  |  | ■ |  |  |  | QF403-2  | Foodservice Utility Schedule |
|  |  |  | ■ |  |  |  | QF404-1  | Foodservice Equipment Plan   |
|  |  |  | ■ |  |  |  | QF404-2  | Foodservice Utility Schedule |
|  |  |  | ■ |  |  |  | QF405-1  | Foodservice Equipment Plan   |
|  |  |  | ■ |  |  |  | QF405-2  | Foodservice Utility Schedule |
|  |  |  | ■ |  |  |  | QF406-1  | Foodservice Equipment Plan   |
|  |  |  | ■ |  |  |  | QF406-2  | Foodservice Utility Schedule |
|  |  |  |   |  |  |  | QL000-1  | Index Sheet                  |
|  |  |  |   |  |  |  | QL100-1  | Laundry Key Plan             |
|  |  |  |   |  |  |  | QL400-1  | Laundry Equipment Plan       |
|  |  |  |   |  |  |  | QL400-2  | Laundry Utility Schedule     |

|  |  |  |   |   |  |  |       |   |
|--|--|--|---|---|--|--|-------|---|
|  |  |  | ■ | ■ |  |  | S0.1  | General Notes                             |
|  |  |  | ■ | ■ |  |  | S0.2  | General Notes                             |
|  |  |  | ■ | ■ |  |  | S1.0  | Foundation Plan - River Level             |
|  |  |  | ■ | ■ |  |  | S1.1  | First Floor Framing Plan                  |
|  |  |  | ■ | ■ |  |  | S1.2  | Second Floor Framing Plan                 |
|  |  |  | ■ | ■ |  |  | S1.3  | Third Floor Framing Plan                  |
|  |  |  | ■ | ■ |  |  | S1.4  | Fourth Floor Framing Plan                 |
|  |  |  | ■ | ■ |  |  | S1.5  | Fifth Floor Framing Plan                  |
|  |  |  | ■ | ■ |  |  | S1.6  | Sixth Floor Framing Plan                  |
|  |  |  | ■ | ■ |  |  | S1.7  | Seventh Floor Framing Plan                |
|  |  |  | ■ | ■ |  |  | S1.8  | Eighth Floor Framing Plan                 |
|  |  |  | ■ | ■ |  |  | S1.9  | Ninth Floor Framing Plan                  |
|  |  |  | ■ | ■ |  |  | S1.10 | Tenth Floor Framing Plan                  |
|  |  |  | ■ | ■ |  |  | S1.11 | Existing Roof Framing Plan                |
|  |  |  | ■ | ■ |  |  | S1.12 | New Penthouse Floor Framing Plan          |
|  |  |  | ■ | ■ |  |  | S1.13 | Existing Roof And P.H. Floor Framing Plan |
|  |  |  | ■ | ■ |  |  | S1.14 | New Penthouse Roof Framing Plan           |

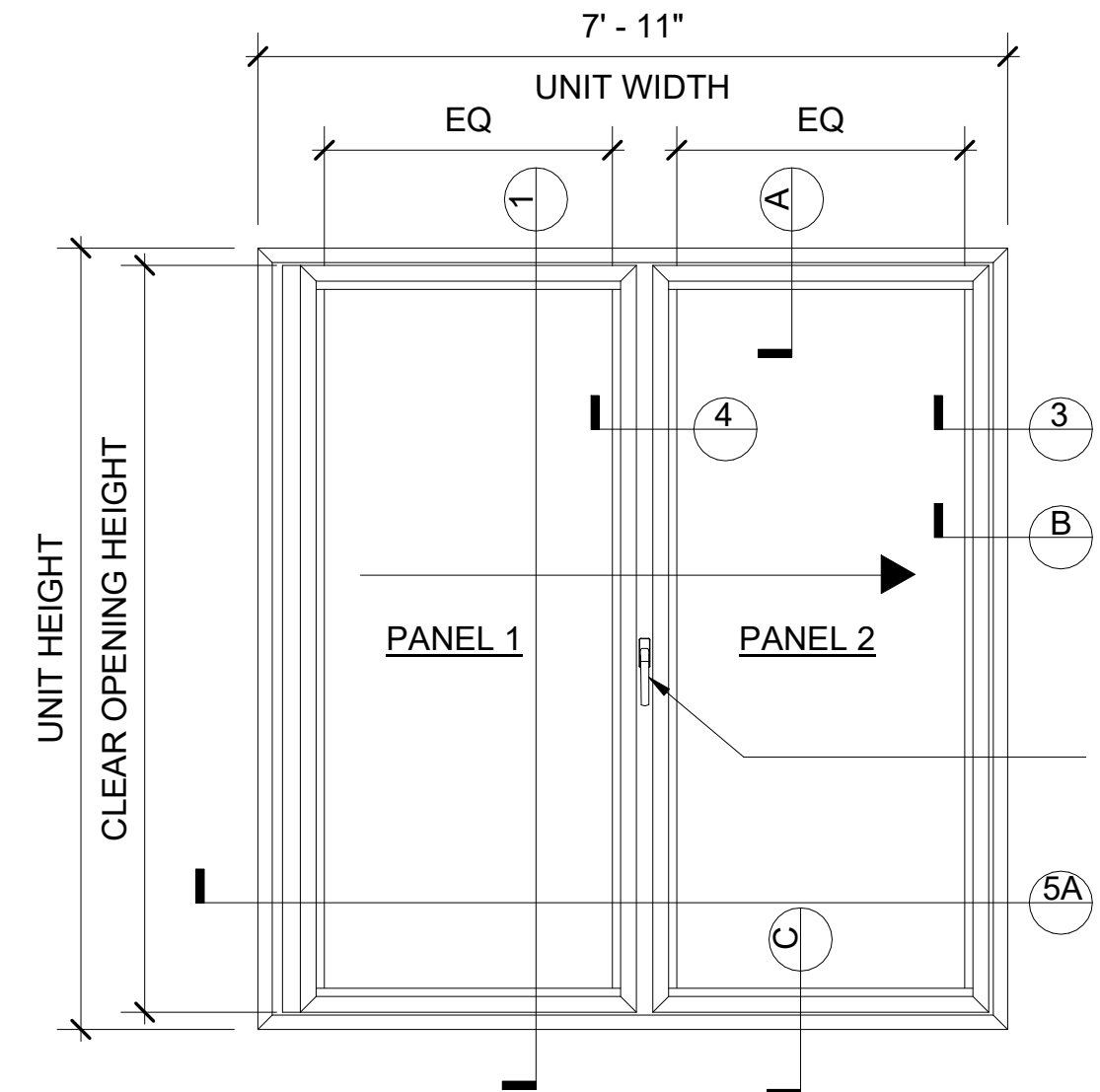
HIGHLIGHTED SHEETS INDICATE SELECTED DRAWINGS PERTAINING TO EXTERIOR WORK PRESENTED FOR HDRC REVIEW



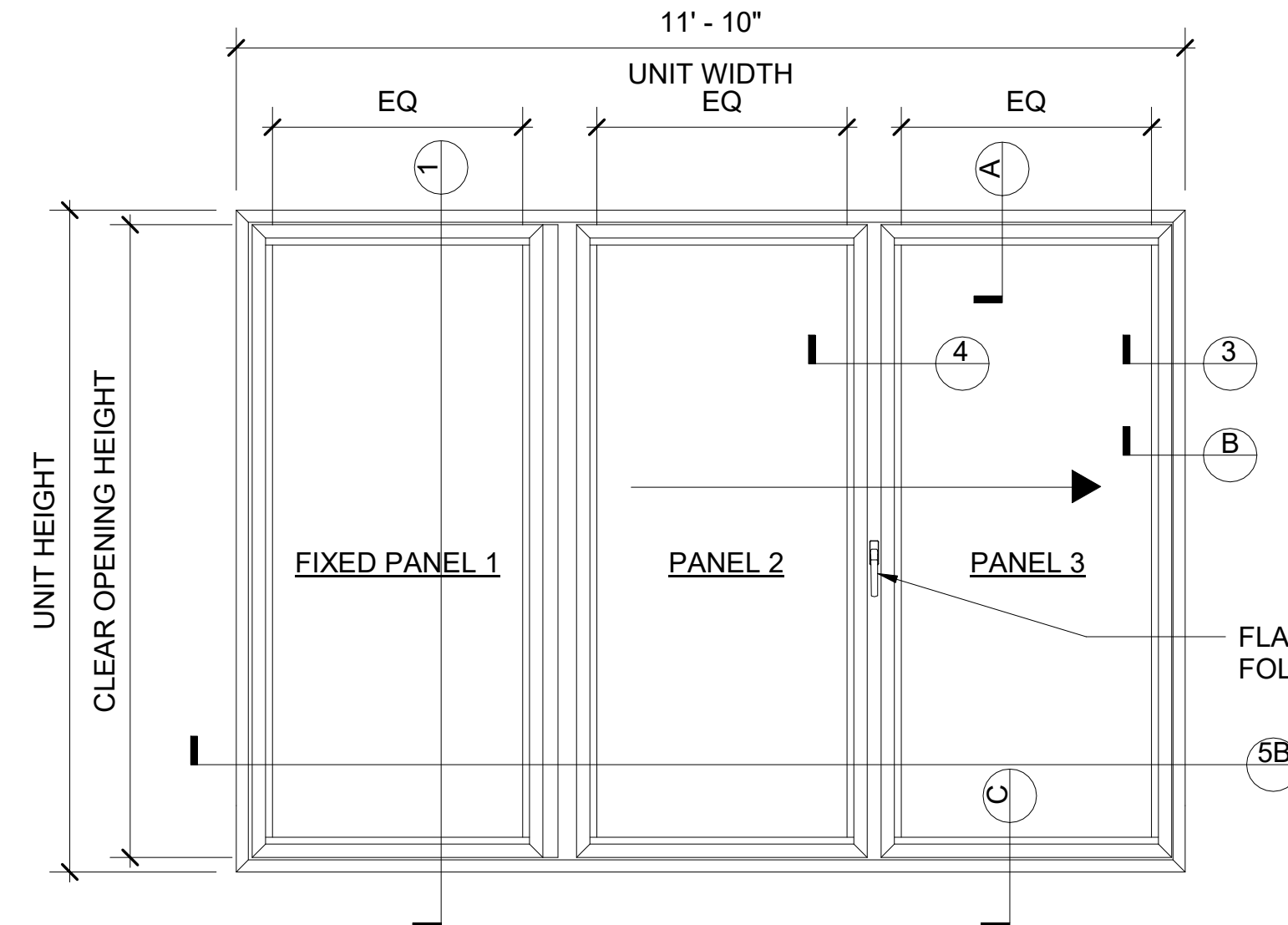




NANA WALL - FOLDING SYSTEM (ALU)  
LOCATION: 628A, 628C, 1402B, 1402C  
SL70 - CUSTOMIZED  
CONFIGURATION: FIXED 1 LEFT - INWARD 2 RIGHT  
SILL TYPE : RECESSED ADA-COMPLIANT (CONFIRM FIELD  
CONDITION PRIOR TO ORDER)  
MOUNT OPTION : FLOOR

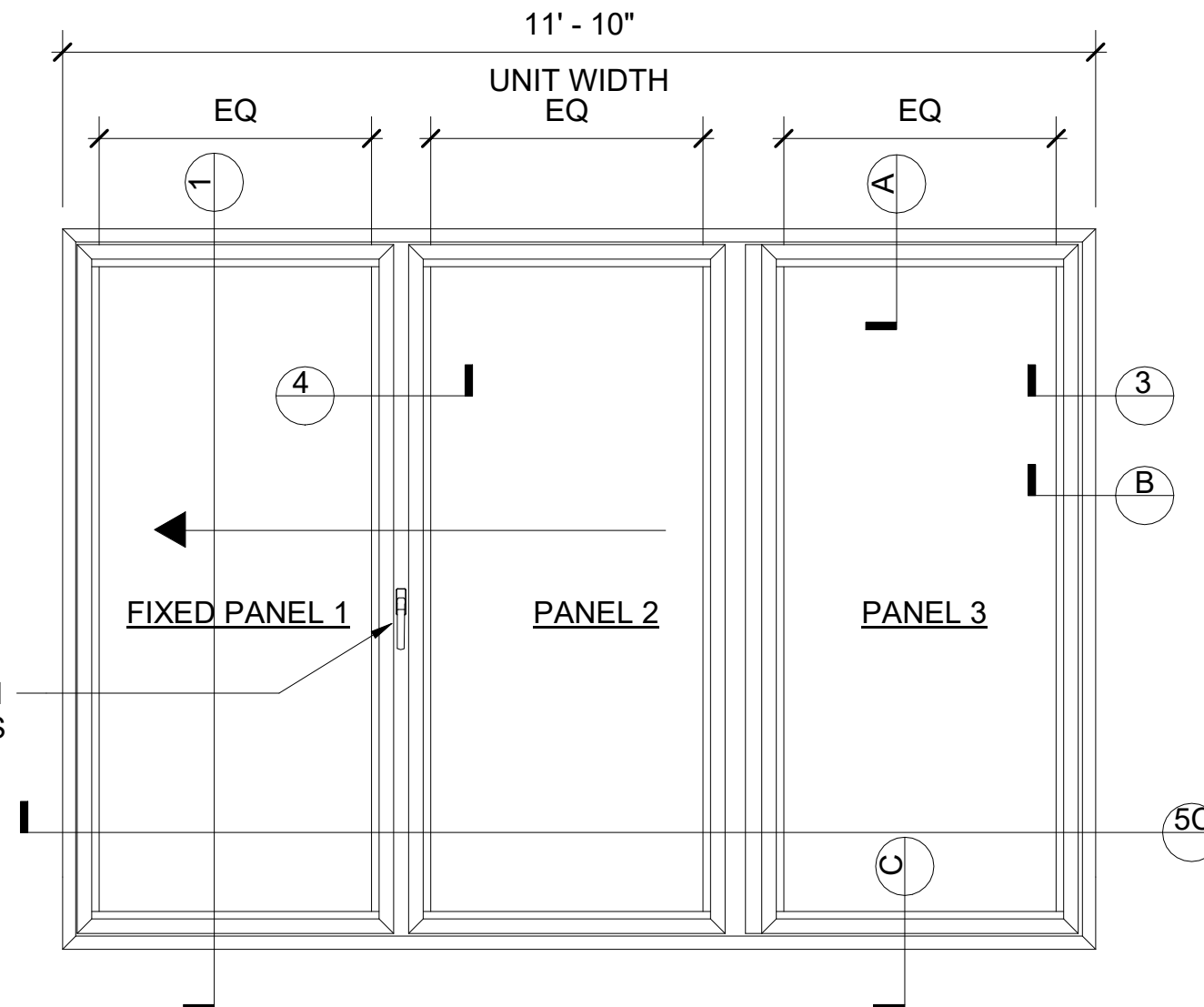


ELEVATION - PANELS CLOSED

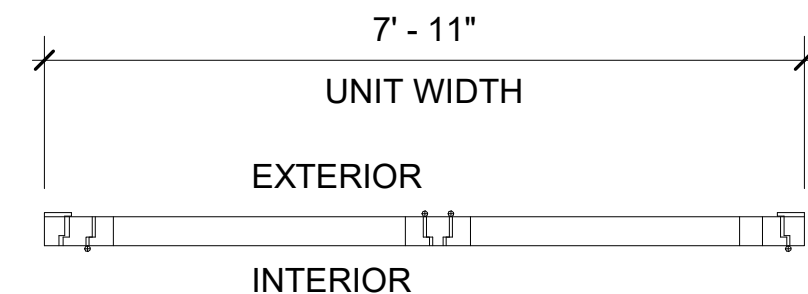


PLAN SECTION - PANELS OPEN

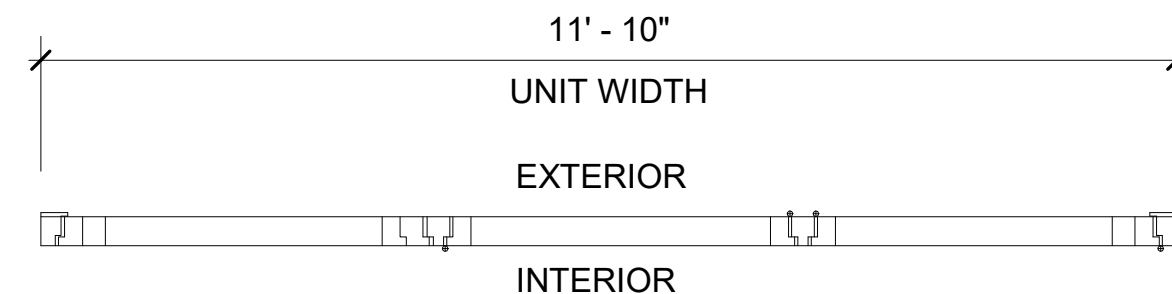
NOTE: REFER TO A4 DETAILS FOR  
DOORS 1402A, 1402B, 1402C



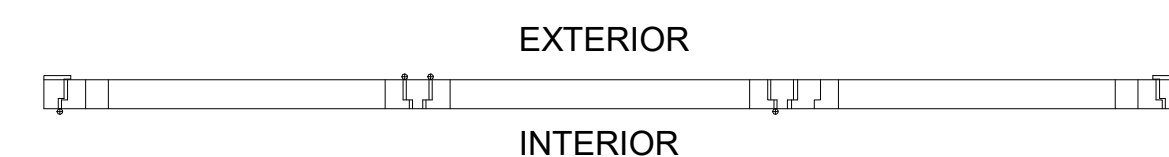
PLAN SECTION - PANELS OPEN



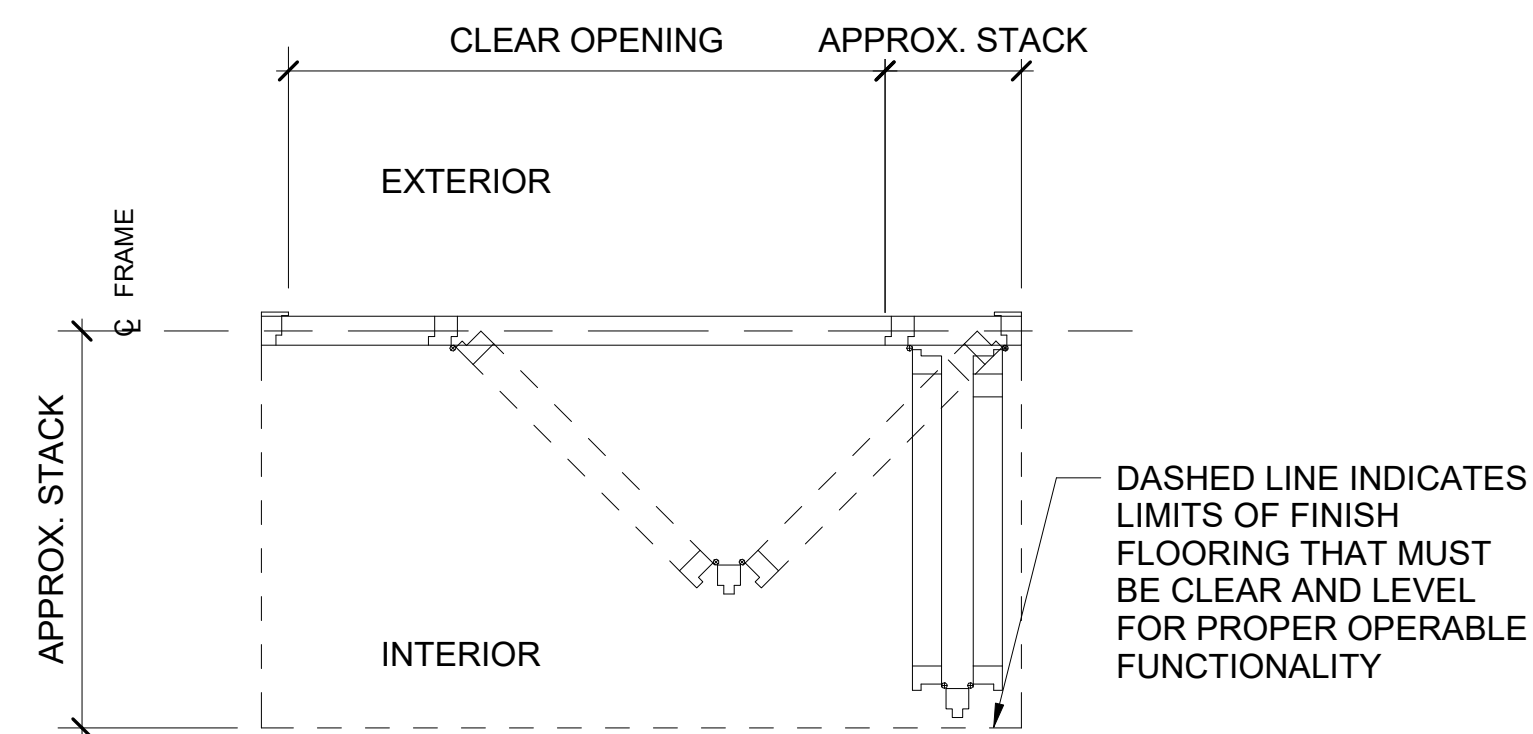
5A- PLAN SECTION - PANELS CLOSED



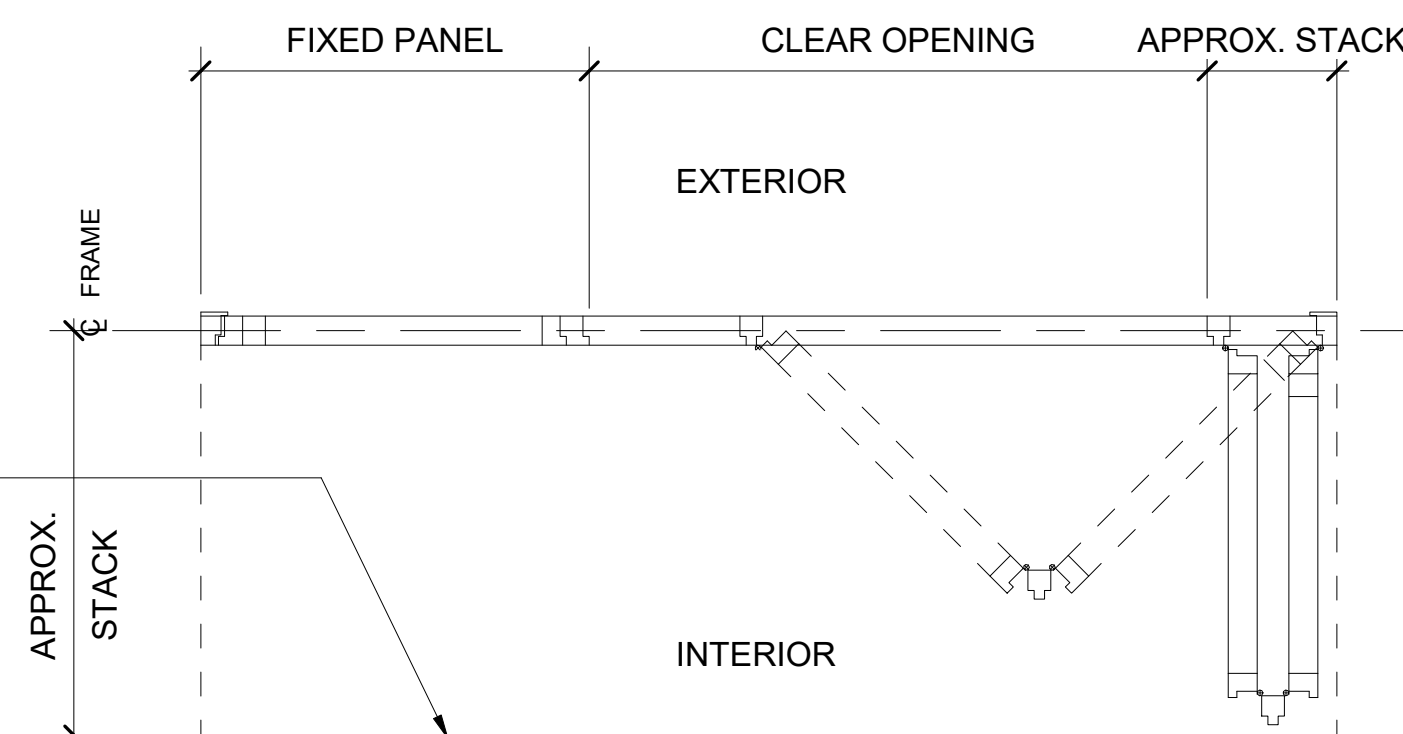
5B - PLAN SECTION - PANELS CLOSED



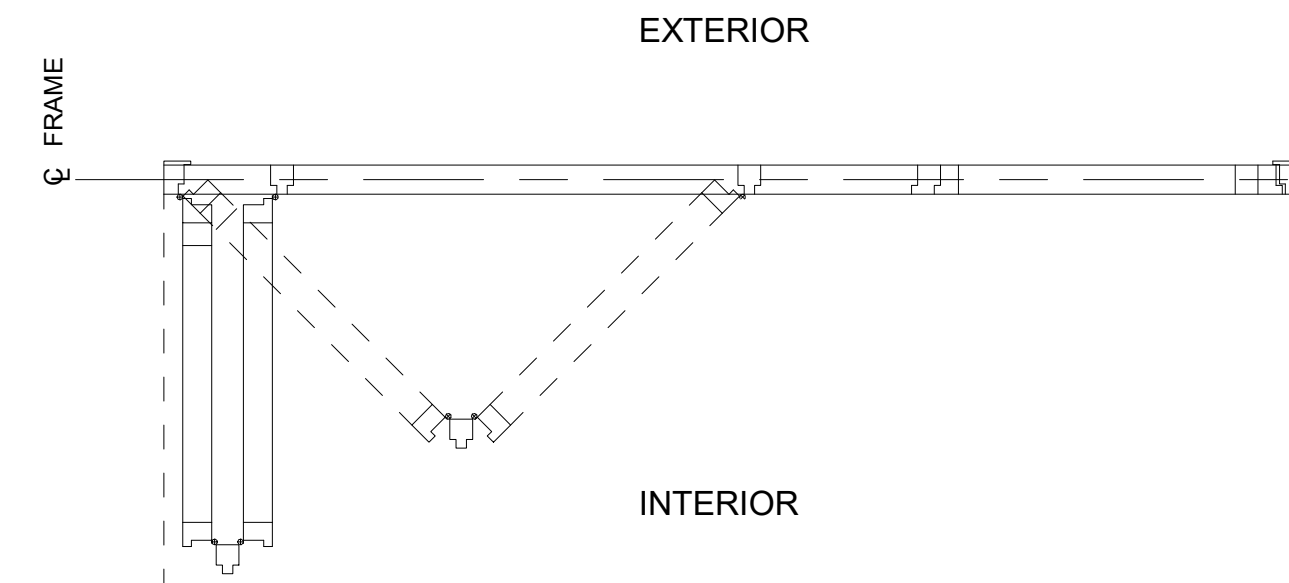
5C - PLAN SECTION - PANELS CLOSED



5A- PLAN SECTION - PANELS OPEN



5B - PLAN SECTION - PANELS OPEN

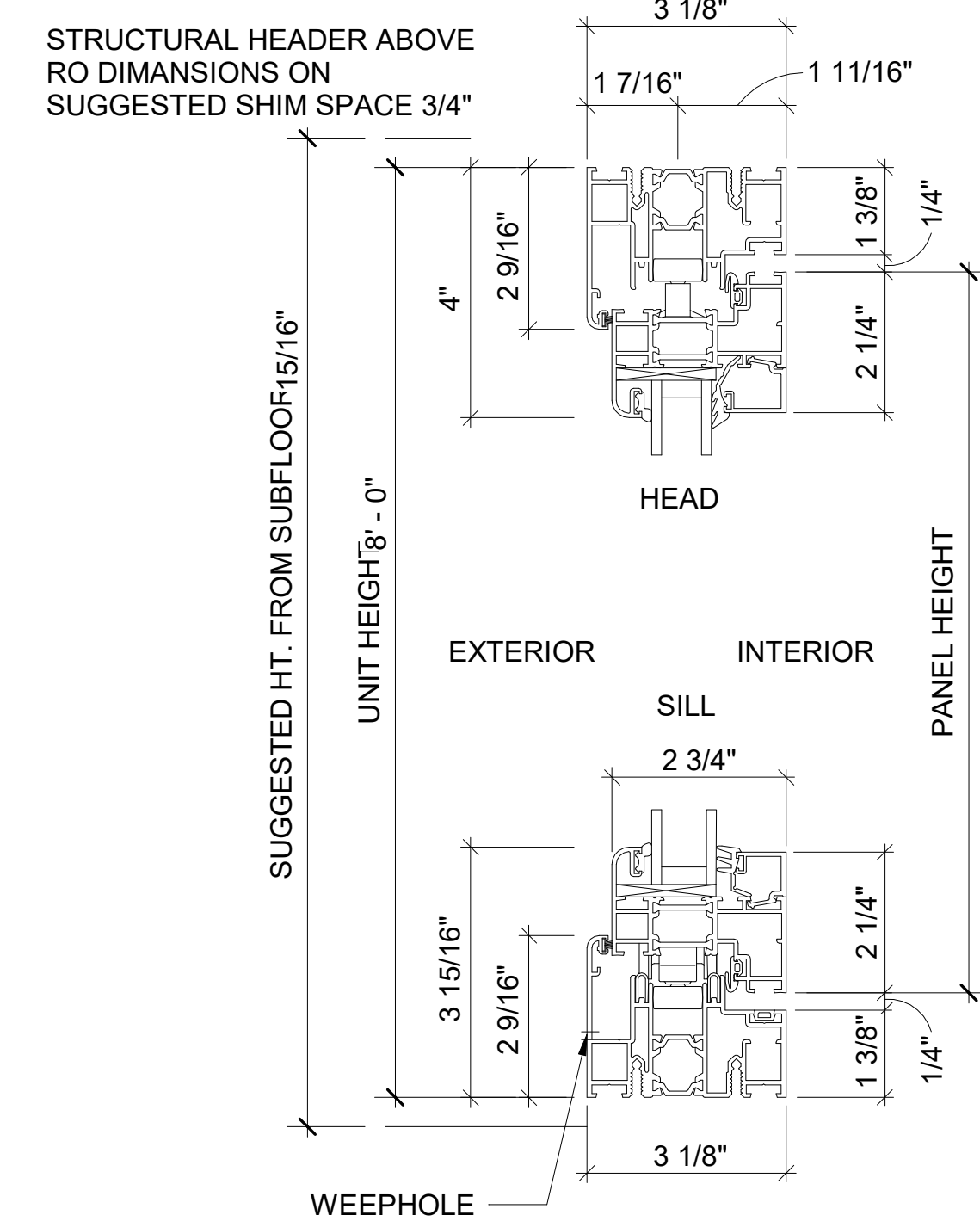


5C - PLAN SECTION - PANELS OPEN

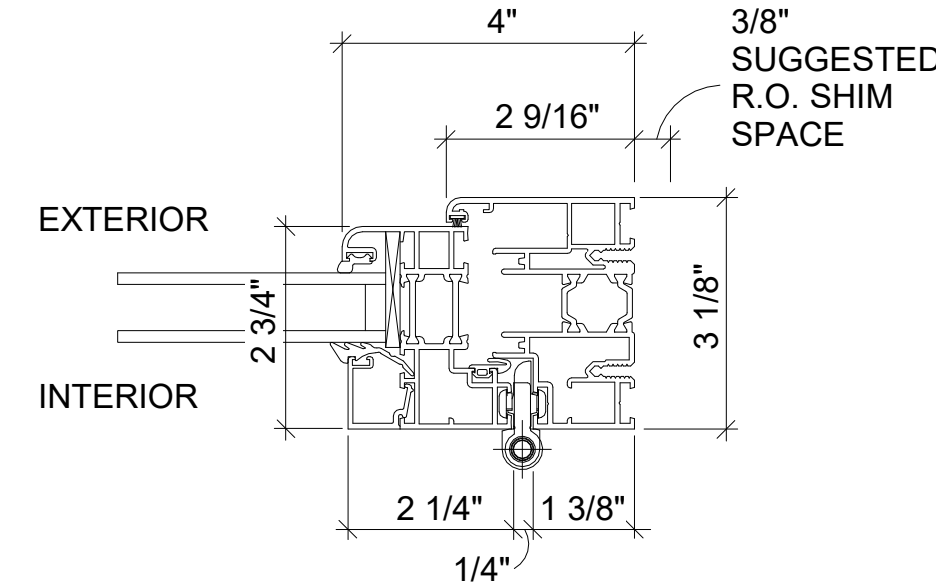
A0.4.7  $1/2'' = 1'-0''$



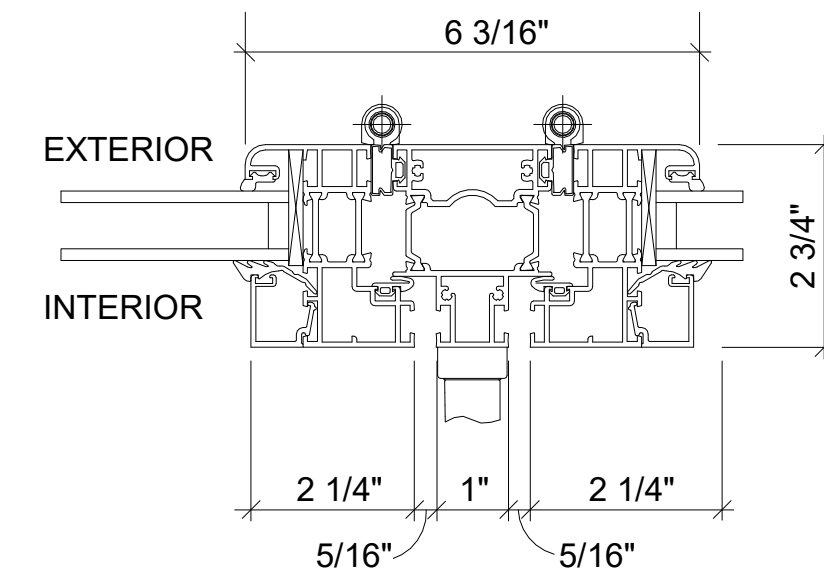
### 3 - TYPICAL JAMB



HEAD



#### 4 - TYPICAL FOLDING WITH HANDLE



\*IN CERTAIN AREAS, MAX ALLOWABLE SHIM SPACE IS 3/8".  
IF THIS IS THE CASE, ADJUST DIMENSION ACCORDINGLY

A0.4.7 Not to Scale



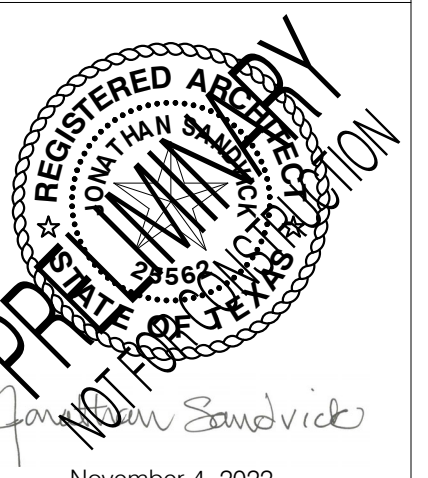
The Historic AB Frank Building  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

ISSUE DATE:

|          |                    |
|----------|--------------------|
| 022-11-4 | Demolition Package |
| 022-12-9 | GMP Issue          |
| 023-2-3  | ARCH-3 DD          |

[illegible]

|                |         |
|----------------|---------|
| Project Number | 0885    |
| Drawn By       | Author  |
| Checked By     | Checker |



## mana Wall Details

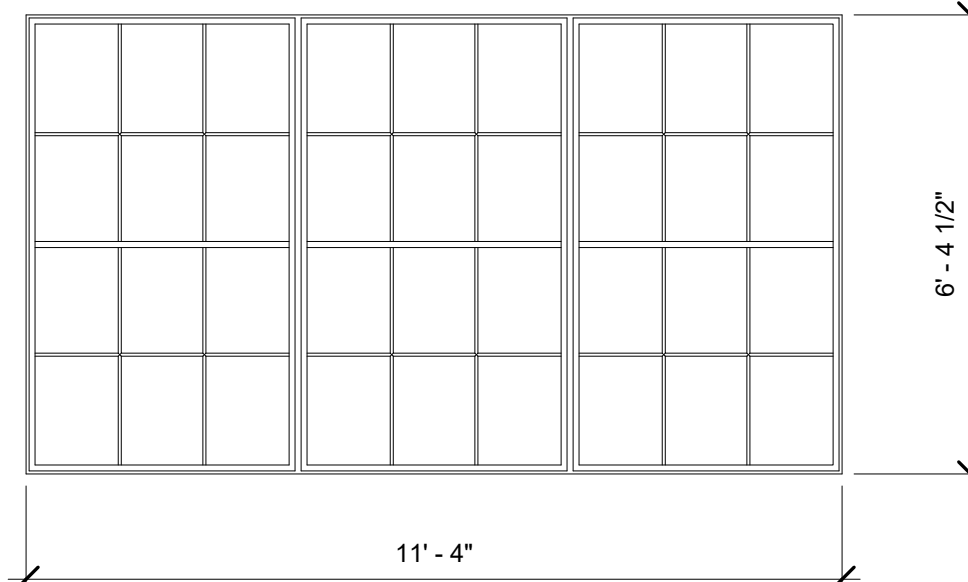
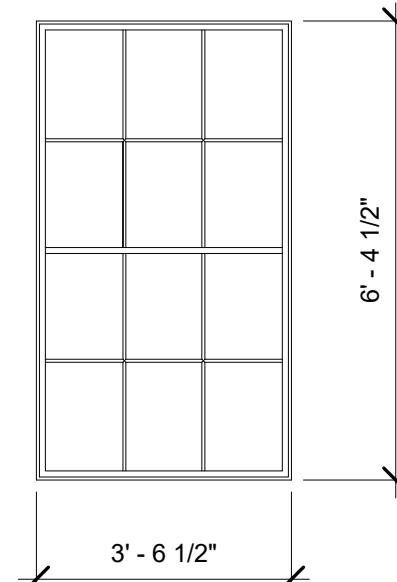
RAWING NUMBER:

A0.4.7

|       |              |
|-------|--------------|
| SALE: | As indicated |
|-------|--------------|



## SAN ANTONIO WINDOW TYPES

|   |   |          |   |  |
|---|---|----------|---|--|
| STEEL INDUSTRIAL SASH<br>WINDOWS                            | TYPE A-1  |          | TYPE B-1  |  |
|   | FIXED GLAZING   |          | FIXED GLAZING   |  |
|   |  |          |  |  |
|   | 189 WINDOWS   |          | 12 WINDOWS  |  |
|   | DETAIL REFERENCES   |          | DETAIL REFERENCES   |  |
| SOUTH: 72   EAST: 27   NORTHEAST: 45   NORTH: 27   WEST: 18 |   | WEST: 12 |   |  |
| WINDOW SECTION  | SHEET A0.7.1  |          | SHEET A0.7.2  |  |
| OPTIONAL HEAD DETAIL  |   |          |   |  |
| JAMB SECTION  |   |          |   |  |
| MULLION DETAIL  |   |          |   |  |

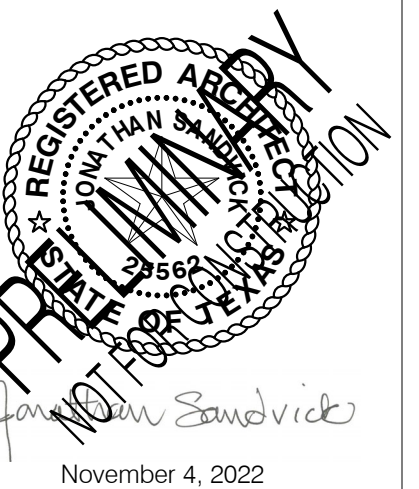


The Historic AB Frank Building  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

| ISSUE DATE: |                    |
|-------------|--------------------|
| 2022-11-4   | Demolition Package |
| 2022-12-9   | GMP Issue          |
| 2023-2-3    | ARCH-3 DD          |
|             |                    |
|             |                    |
|             |                    |

[illegible]

|                |         |
|----------------|---------|
| Project Number | 0885    |
| Drawn By       | SA TEAM |
| Checked By     | TRW     |



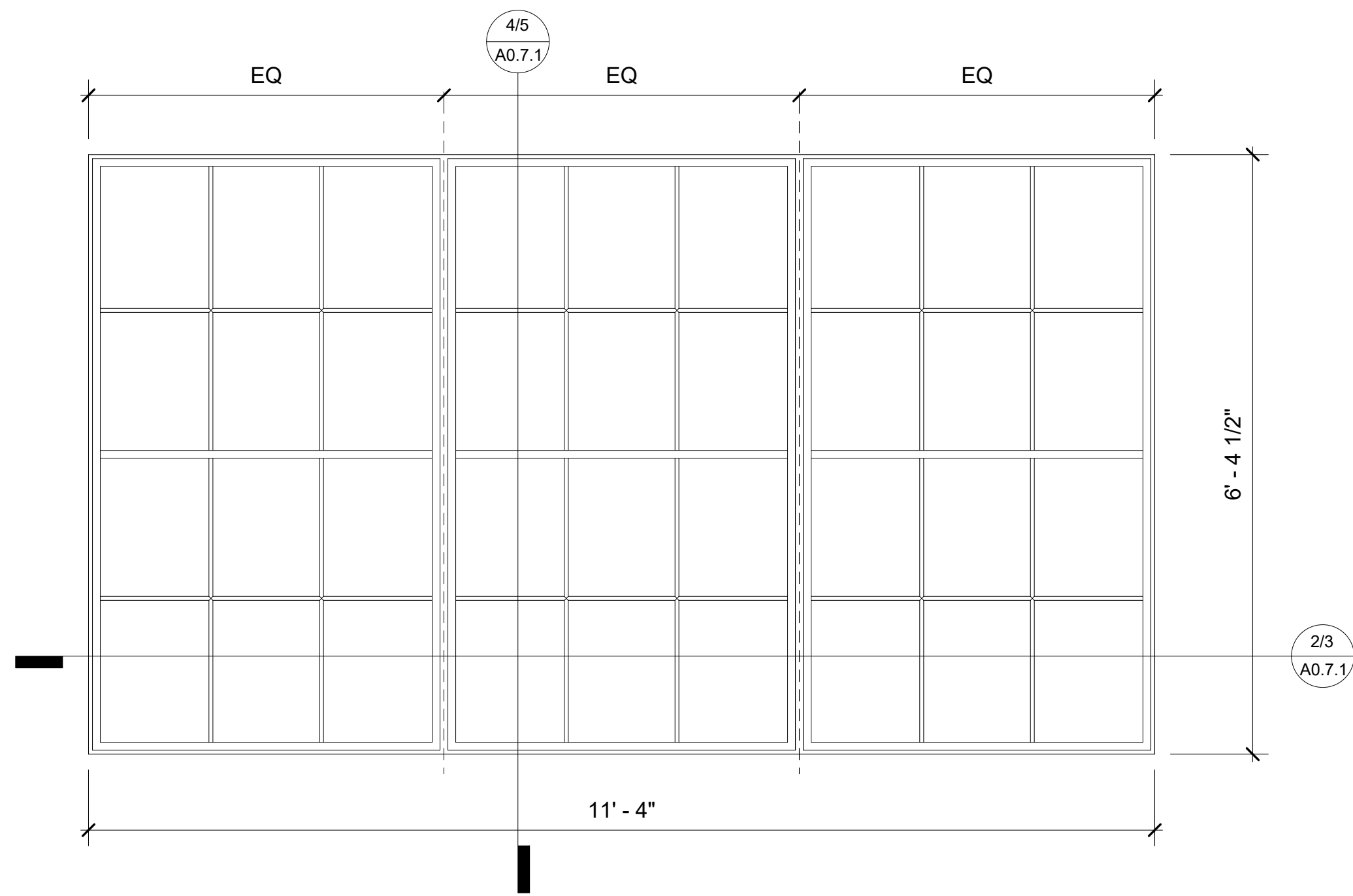
TITLE:

Window Types &  
Schedule

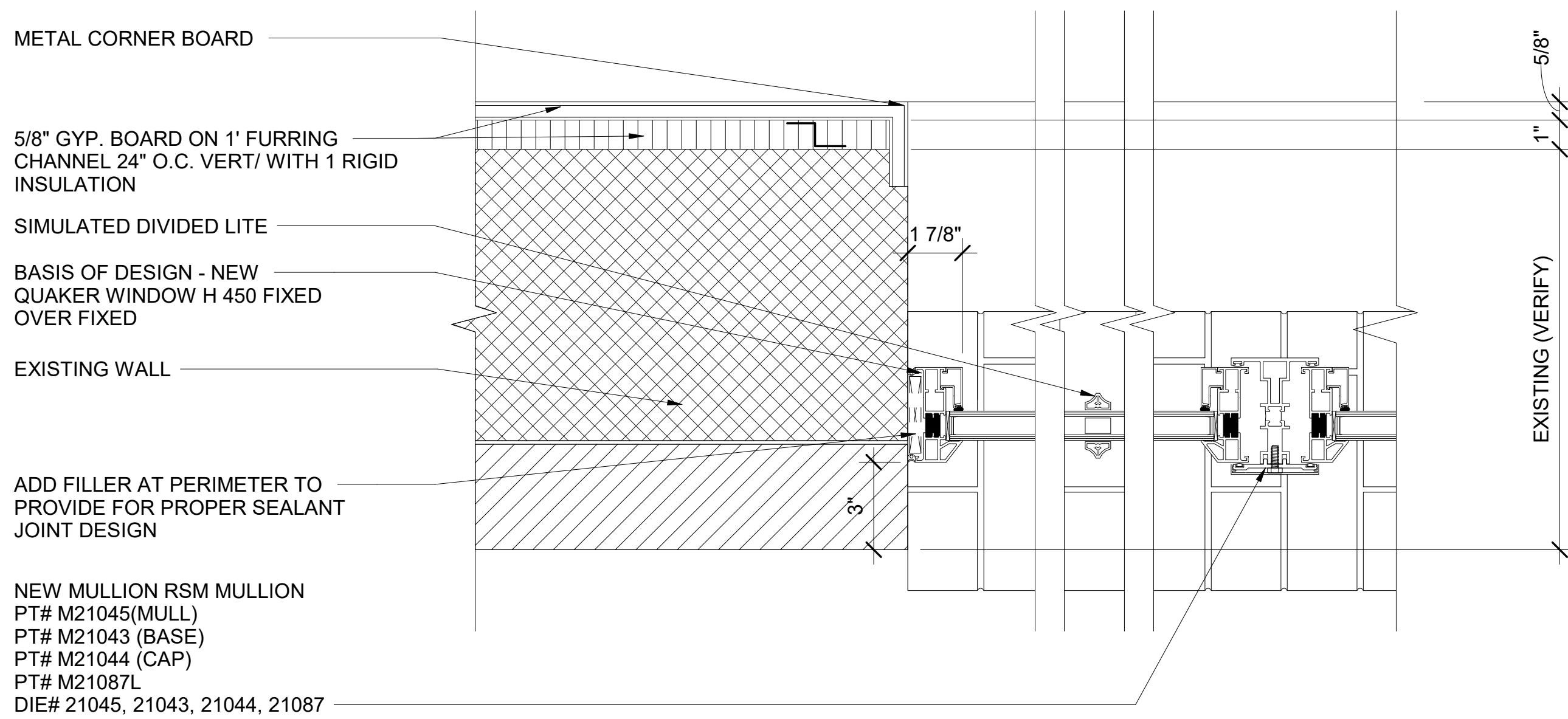
DRAWING NUMBER:  
A0.7.0

SCALE:  $3/8" = 1'-0"$

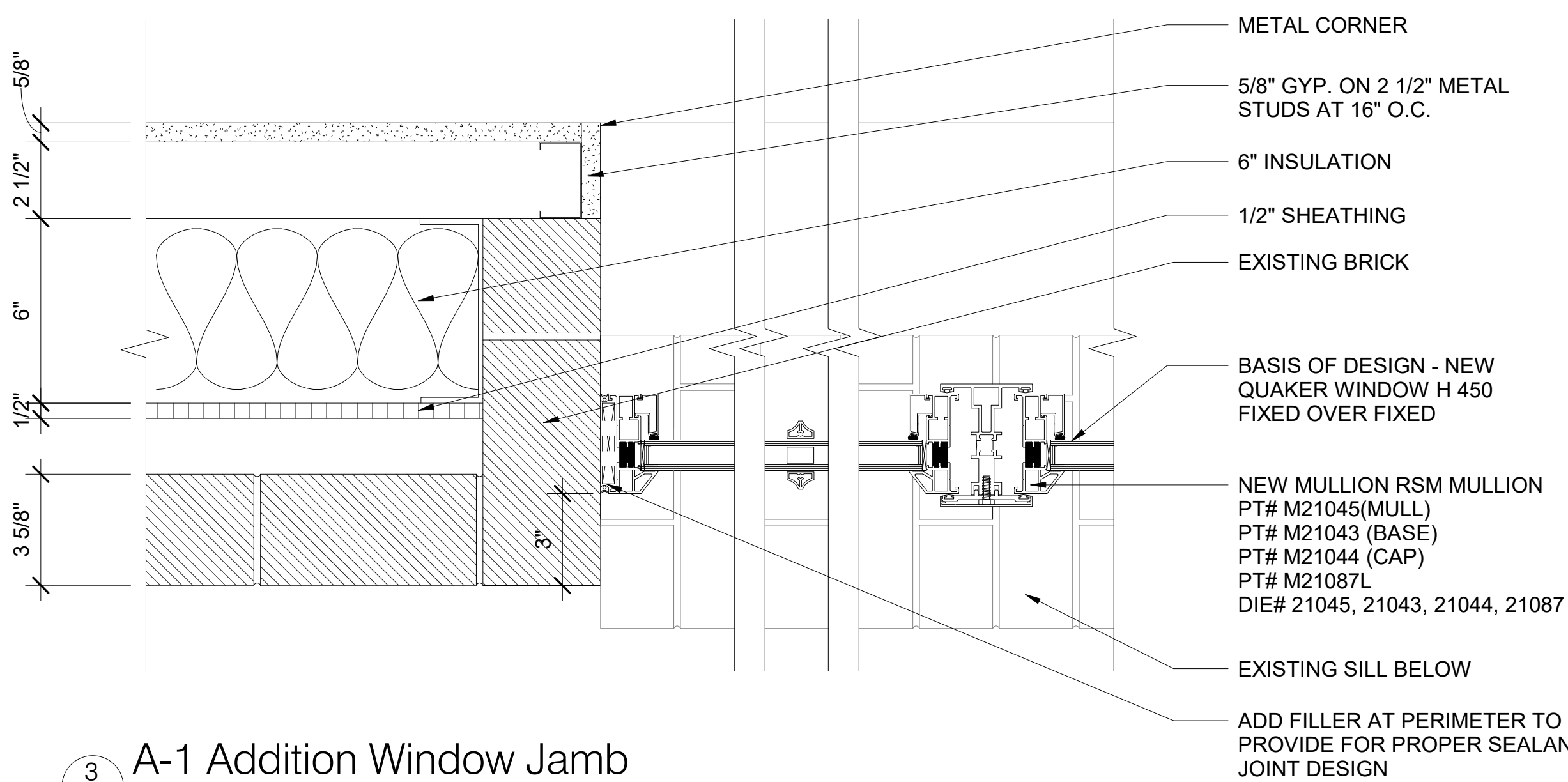




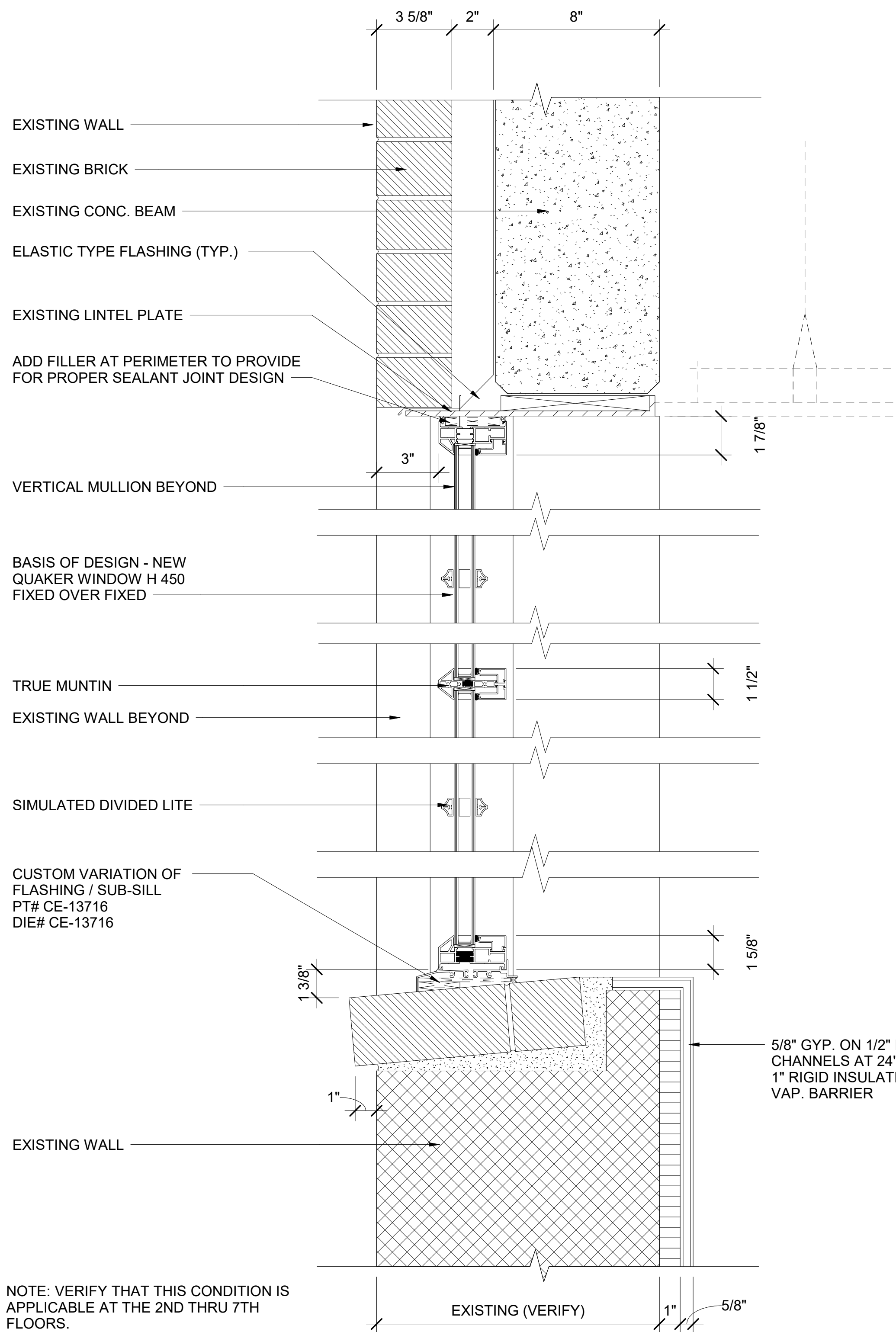
1 A-1 Window Elevation  
3/4" = 1'-0"



2 A-1 Existing Window Jamb  
3" = 1'-0"

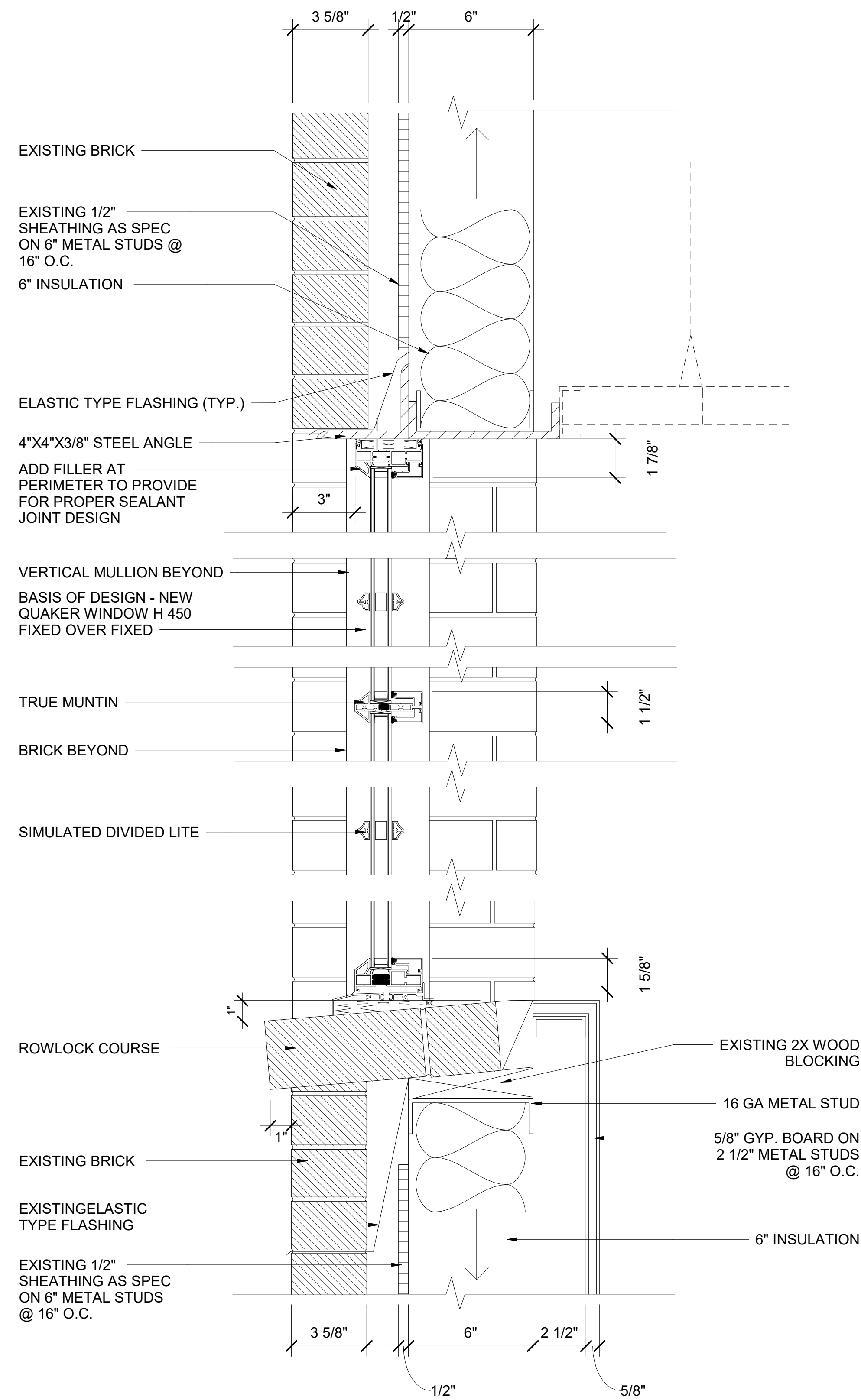


3 A-1 Addition Window Jamb  
3" = 1'-0"



NOTE: VERIFY THAT THIS CONDITION IS APPLICABLE AT THE 2ND THRU 7TH FLOORS.

4 A-1 Existing Window Section  
3" = 1'-0"



5 A-1 Addition Window Section  
3" = 1'-0"

**GENERAL NOTES:**  
1. OPENING DETAILS REFLECT DETAILS SHOWING IN HE 1984 DRAWINGS. OPENING CONDITIONS REFLECT EXISTING CONDITIONS. NEW INTERIOR FINISH DETAILS TO BE DETERMINED.  
2. SILL CONDITION ON 10TH FLOOR VARIES. DETAIL TO COME.  
3. ALL OPENINGS ARE TO BE FIELD VERIFIED

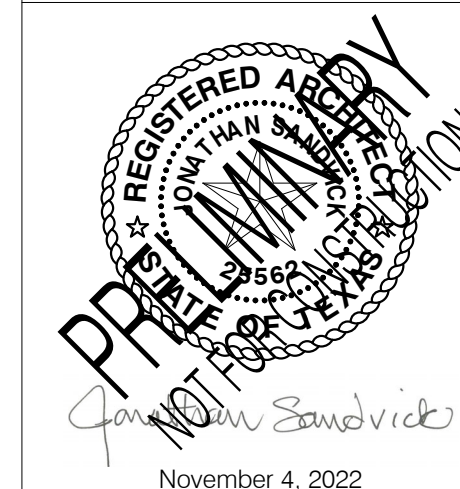
**ADDITIONAL ALTERNATES:**  
1. PROVIDE PERIMETER RECEPTOR SYSTEM IF OPENINGS AR RACKED

**APPROVED EQUALS:**  
1. GRAHAM SR6700 FIXED  
2. KAWNEER NX 380 FIXED

ISSUE DATE:  
2022-11-4 Demolition Package  
2022-12-9 GMP Issue  
2023-2-3 ARCH-3 DD

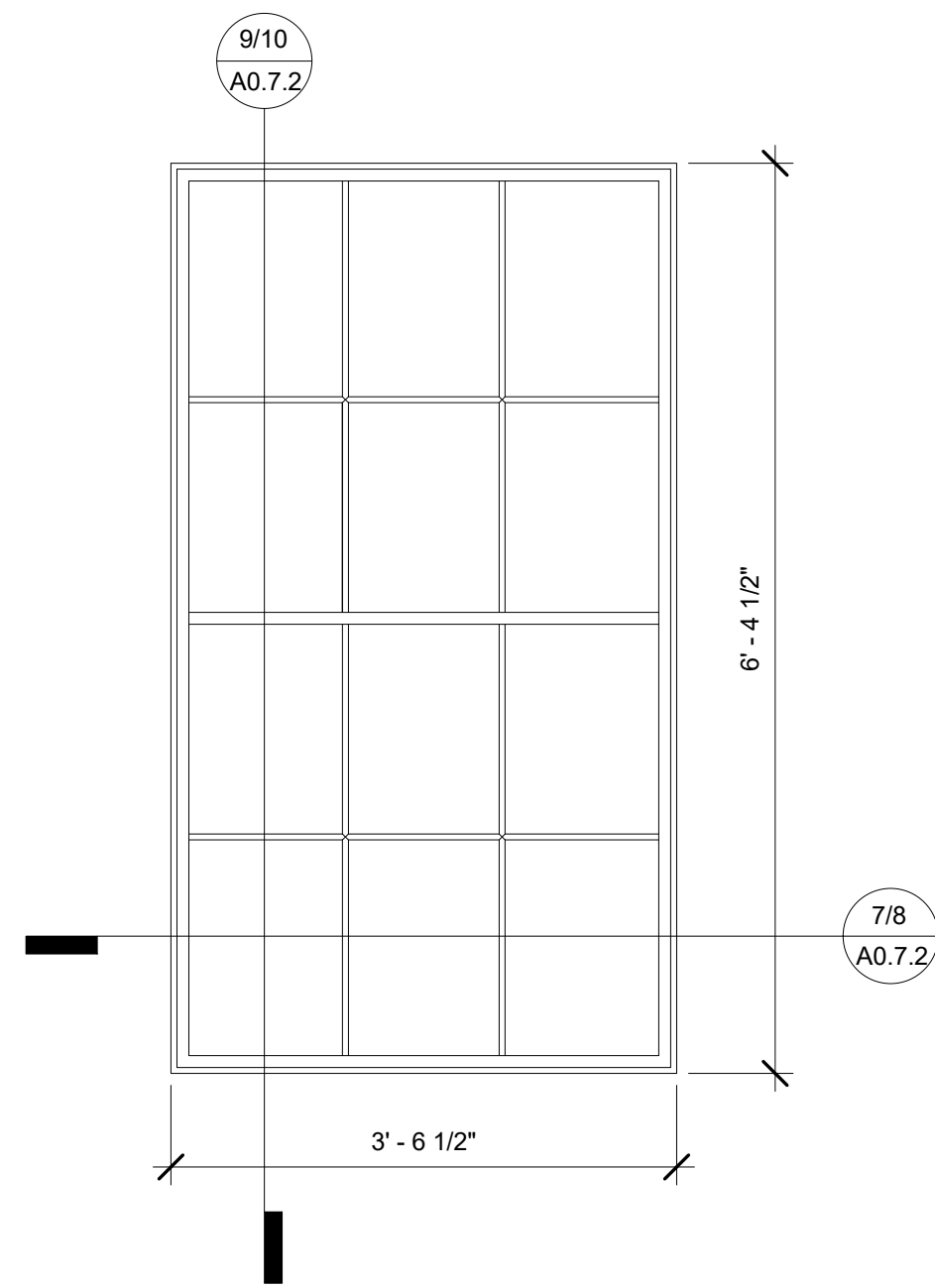
| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

Project Number 0885  
Drawn By SA TEAM  
Checked By TRW

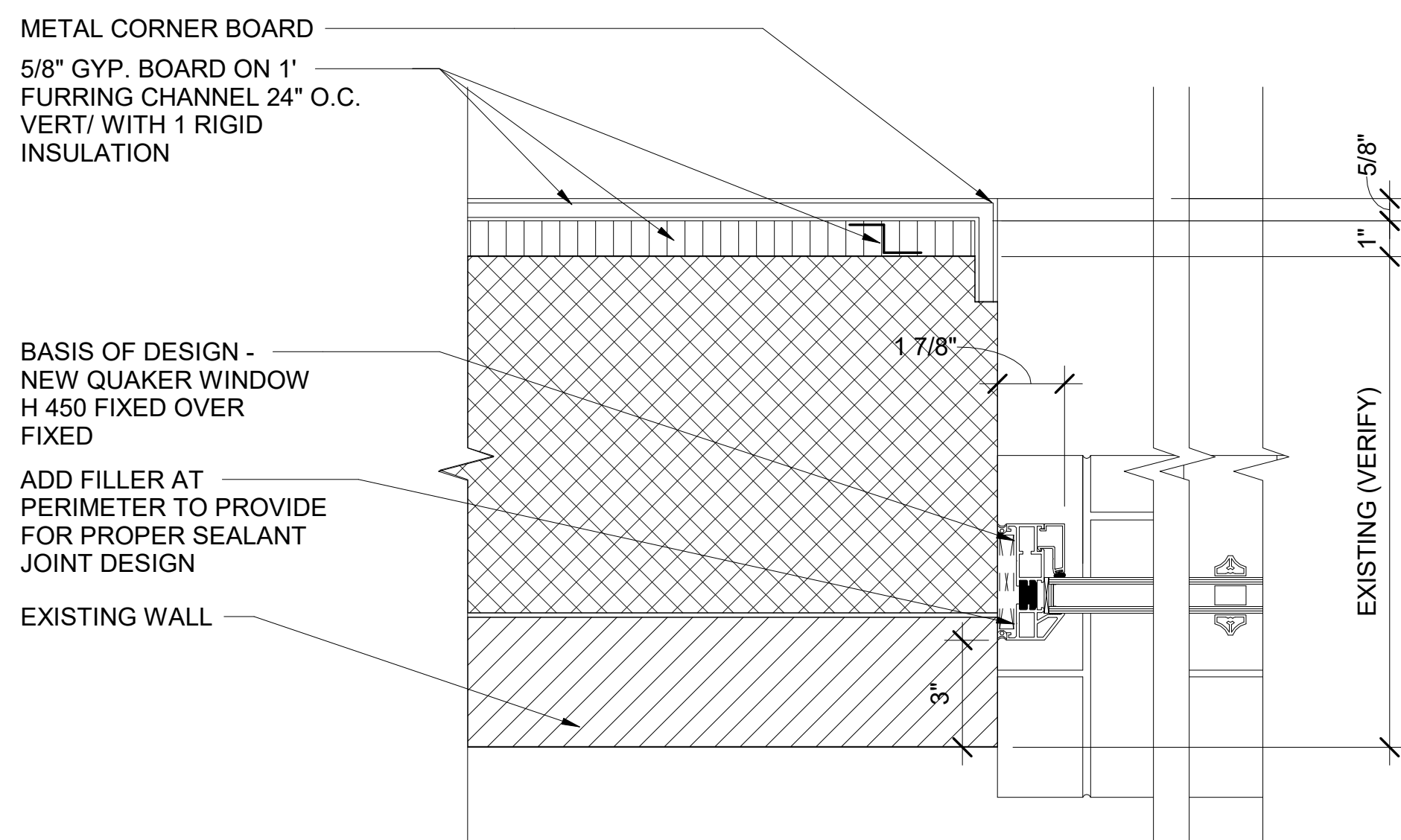


TITLE:  
Existing / Proposed Window Details  
DRAWING NUMBER:  
A0.7.1  
SCALE: As indicated

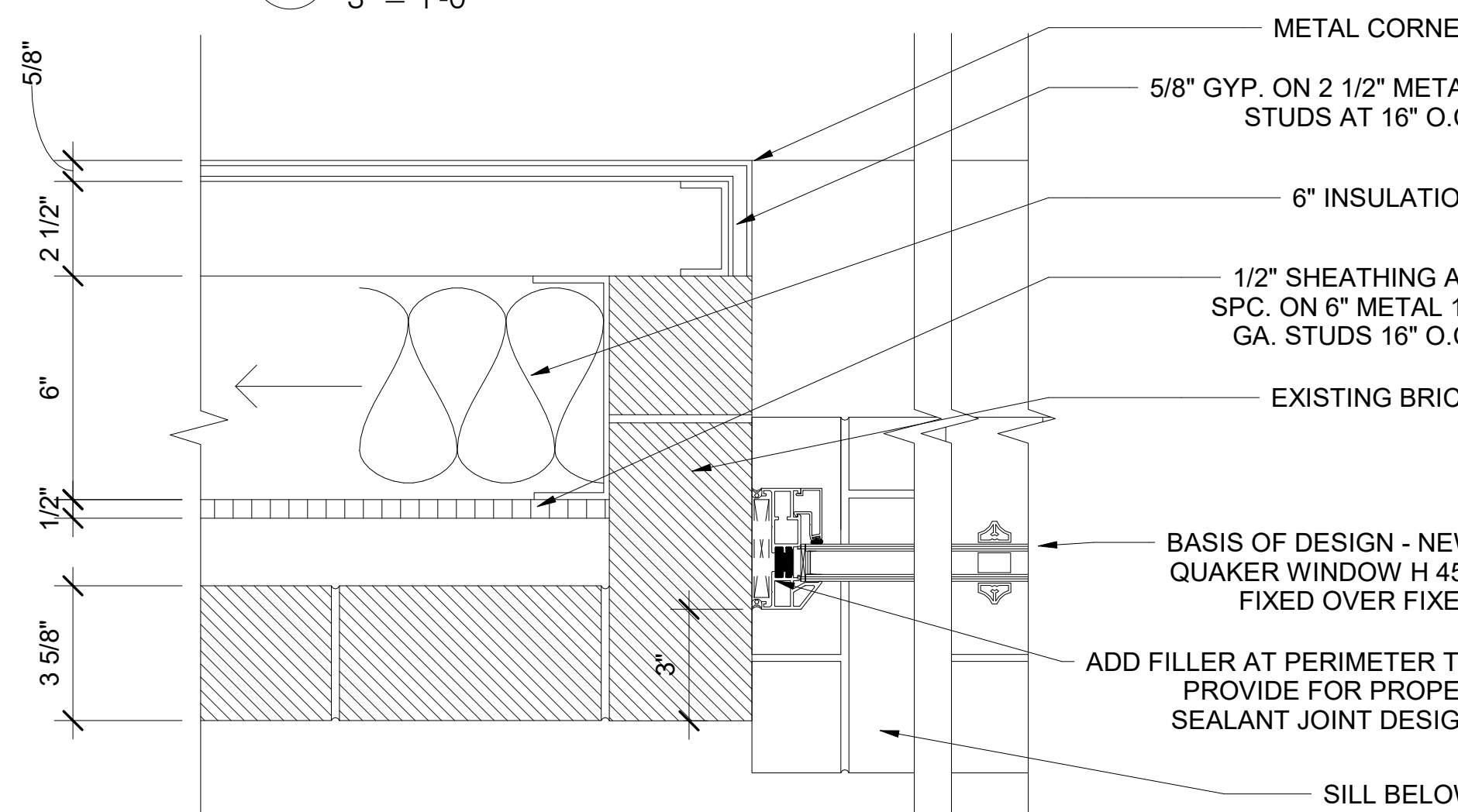




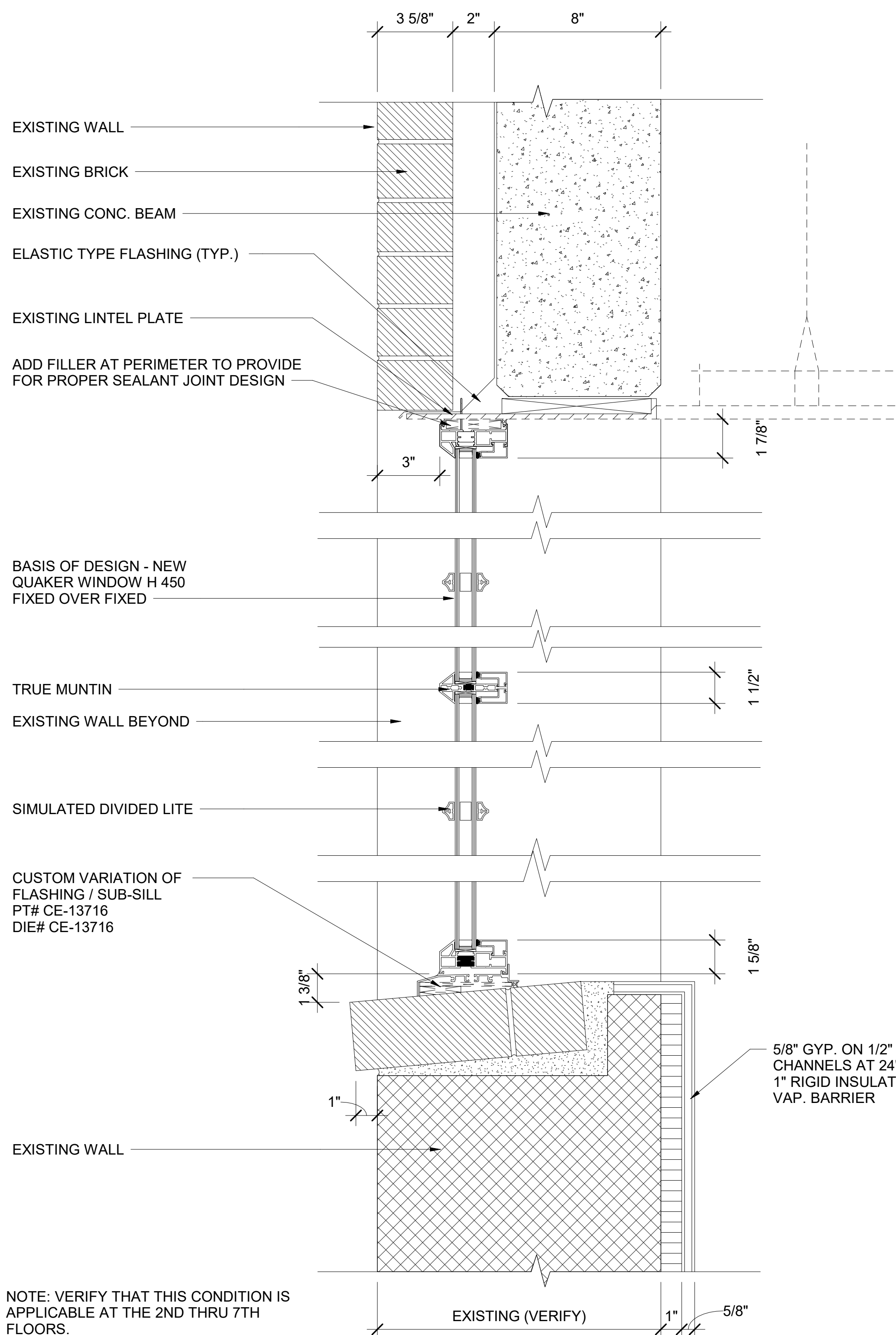
5 B-1 Window Elevation  
3/4" = 1'-0"



3 B-1 Existing Window Jamb  
3" = 1'-0"

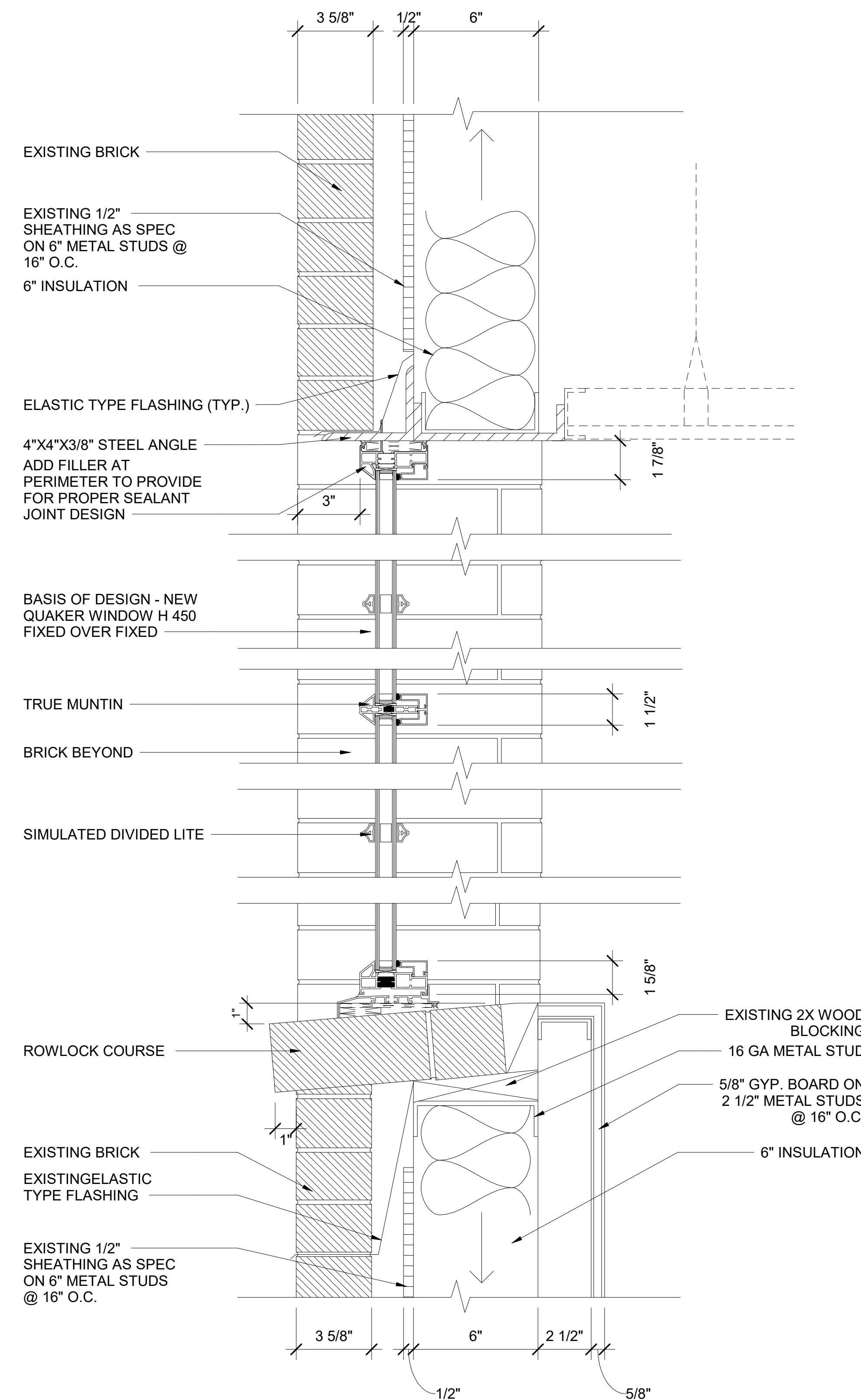


1 B-1 Addition Window Jamb  
3" = 1'-0"



4 B-1 Existing Window Section  
3" = 1'-0"

NOTE: VERIFY THAT THIS CONDITION IS APPLICABLE AT THE 2ND THRU 7TH FLOORS.



2 B-1 Addition Window Section  
3" = 1'-0"

**GENERAL NOTES:**  
1. OPENING DETAILS REFLECT DETAILS SHOWING IN HE 1984 DRAWINGS. OPENING CONDITIONS REFLECT EXISTING CONDITIONS. NEW INTERIOR FINISH DETAILS TO BE DETERMINED.  
2. SILL CONDITION ON 10TH FLOOR VARIES. DETAIL TO COME.  
3. ALL OPENINGS ARE TO BE FIELD VERIFIED

**ADDITIONAL ALTERNATES:**  
1. PROVIDE PERIMETER RECEPTOR SYSTEM IF OPENINGS AR RACKED

**APPROVED EQUALS:**  
1. GRAHAM SR6700 FIXED  
2. KAWNEER NX 380 FIXED

ISSUE DATE:  
2022-11-4 Demolition Package  
2022-12-9 GMP Issue  
2023-2-3 ARCH-3 DD

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

Project Number 0885  
Drawn By SA TEAM  
Checked By TRW

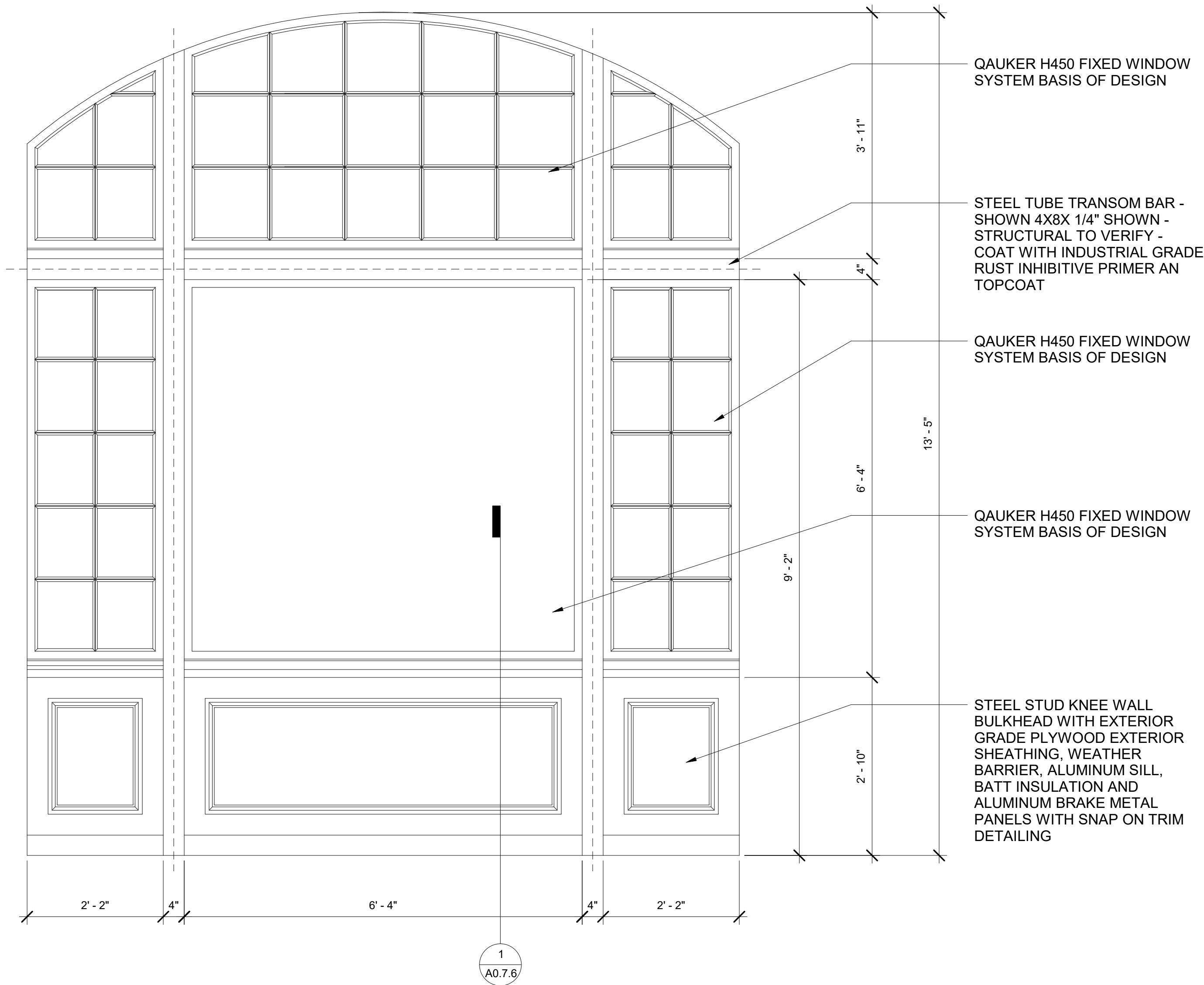
REGISTERED ARCHITECT  
NOVEMBER 4, 2022  
November 4, 2022

TITLE:  
Existing / Proposed  
Window Details

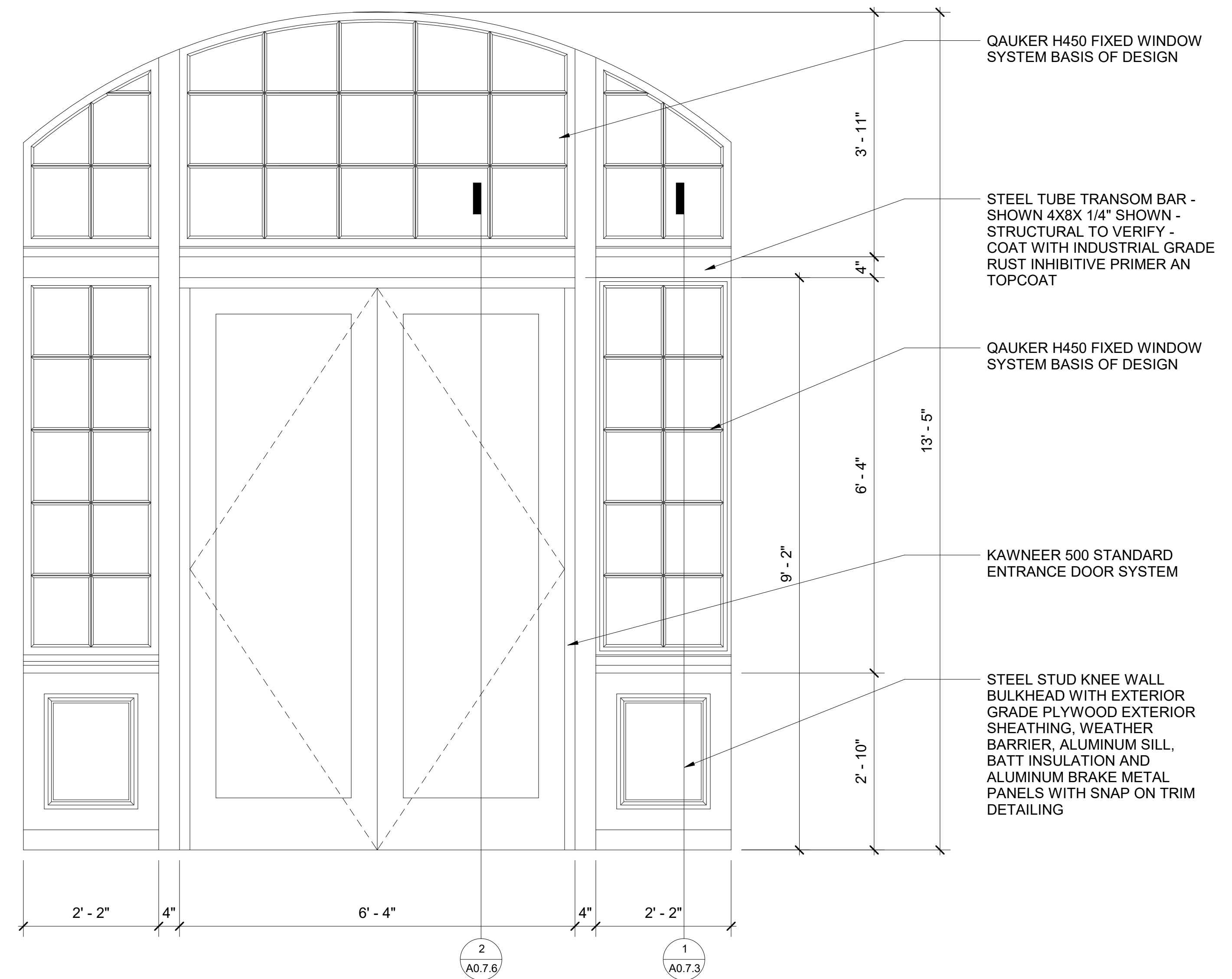
DRAWING NUMBER:  
A0.7.2

SCALE: As indicated

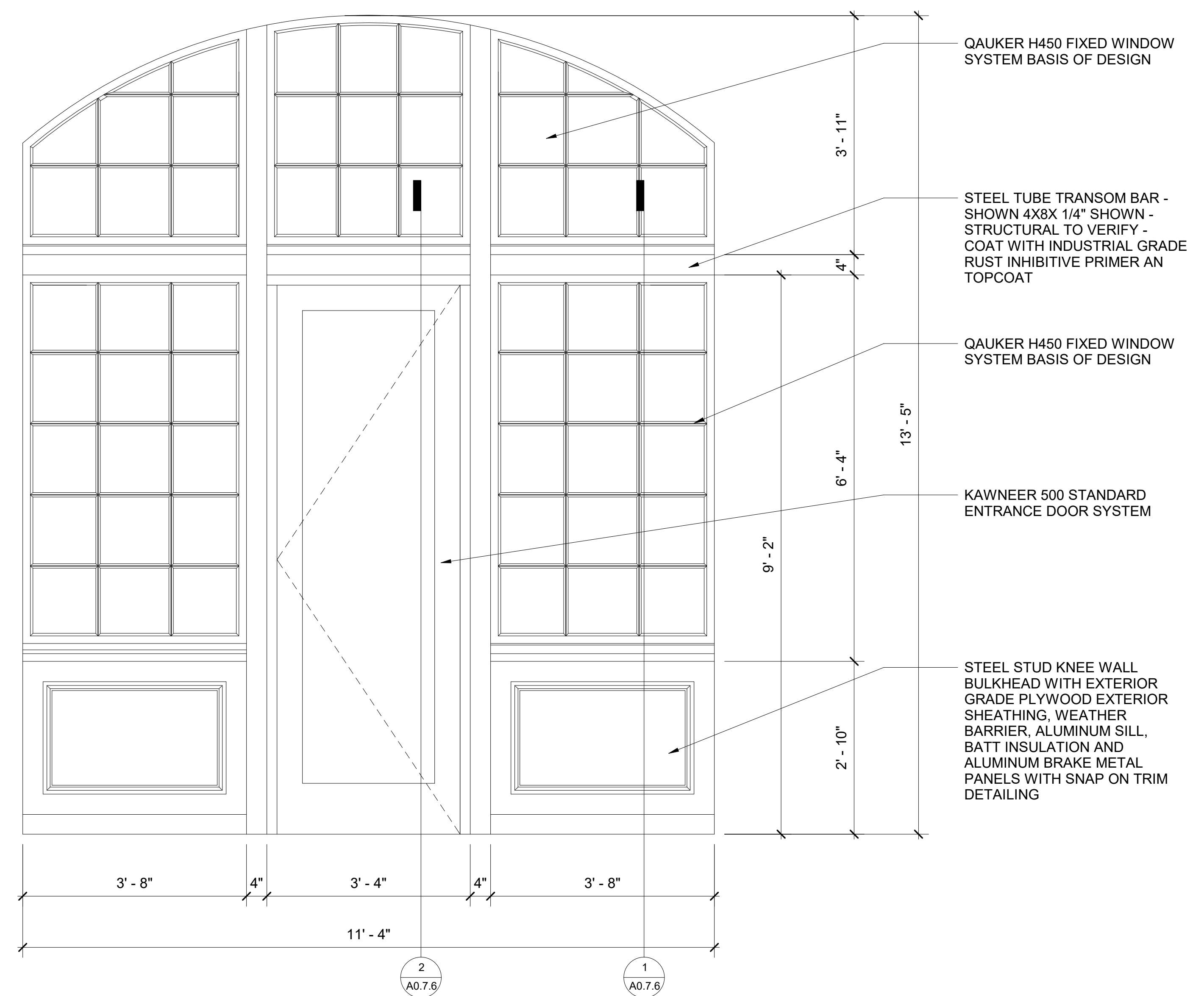




1 Storefront Configuration without Double Door  
3/4" = 1'-0"



2 Storefront Configuration with Double Door  
3/4" = 1'-0"



3 Storefront Configuration with Single Door  
3/4" = 1'-0"

ISSUE DATE:

2022-11-4 Demolition Package  
2022-12-9 GMP Issue  
2023-2-3 ARCH-3 DD

No. Description Date

|  |  |  |
|--|--|--|
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |

Project Number 0885  
Drawn By Author  
Checked By Checker

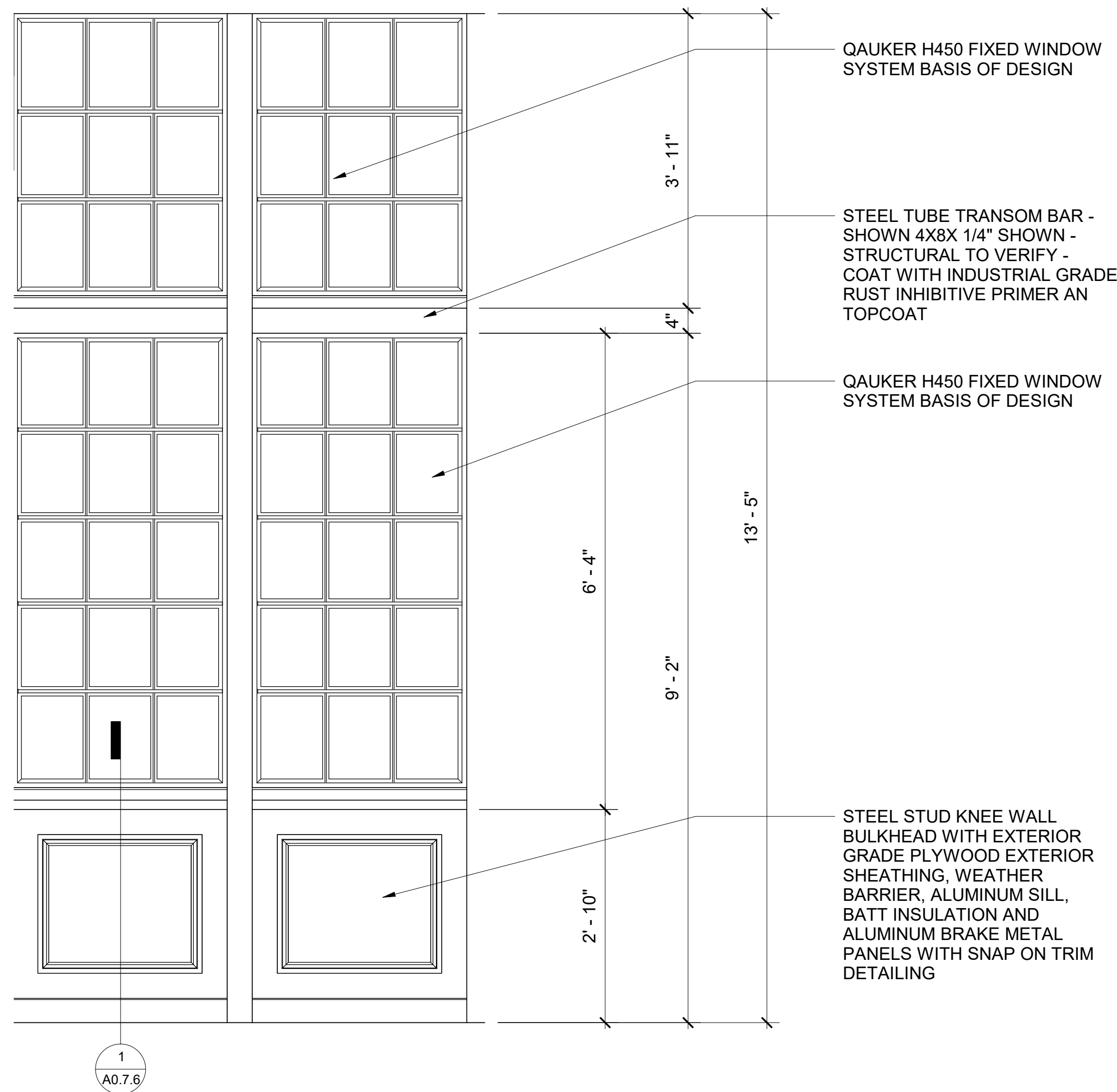
**PRELIMINARY**  
NO FOR CONSTRUCTION  
November 4, 2022

TITLE:  
Storefront Elevations

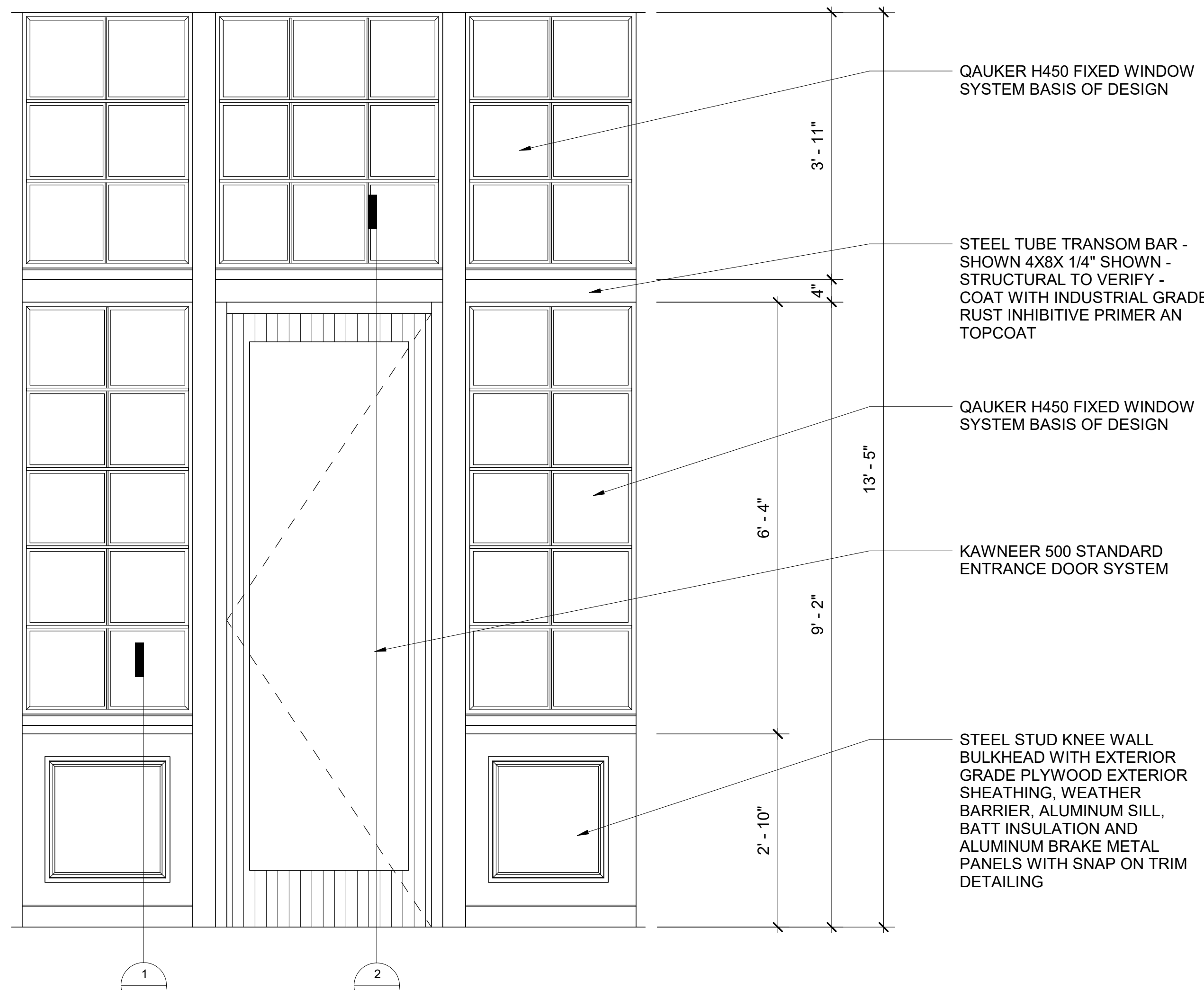
DRAWING NUMBER:  
A0.7.3

SCALE: 3/4" = 1'-0"

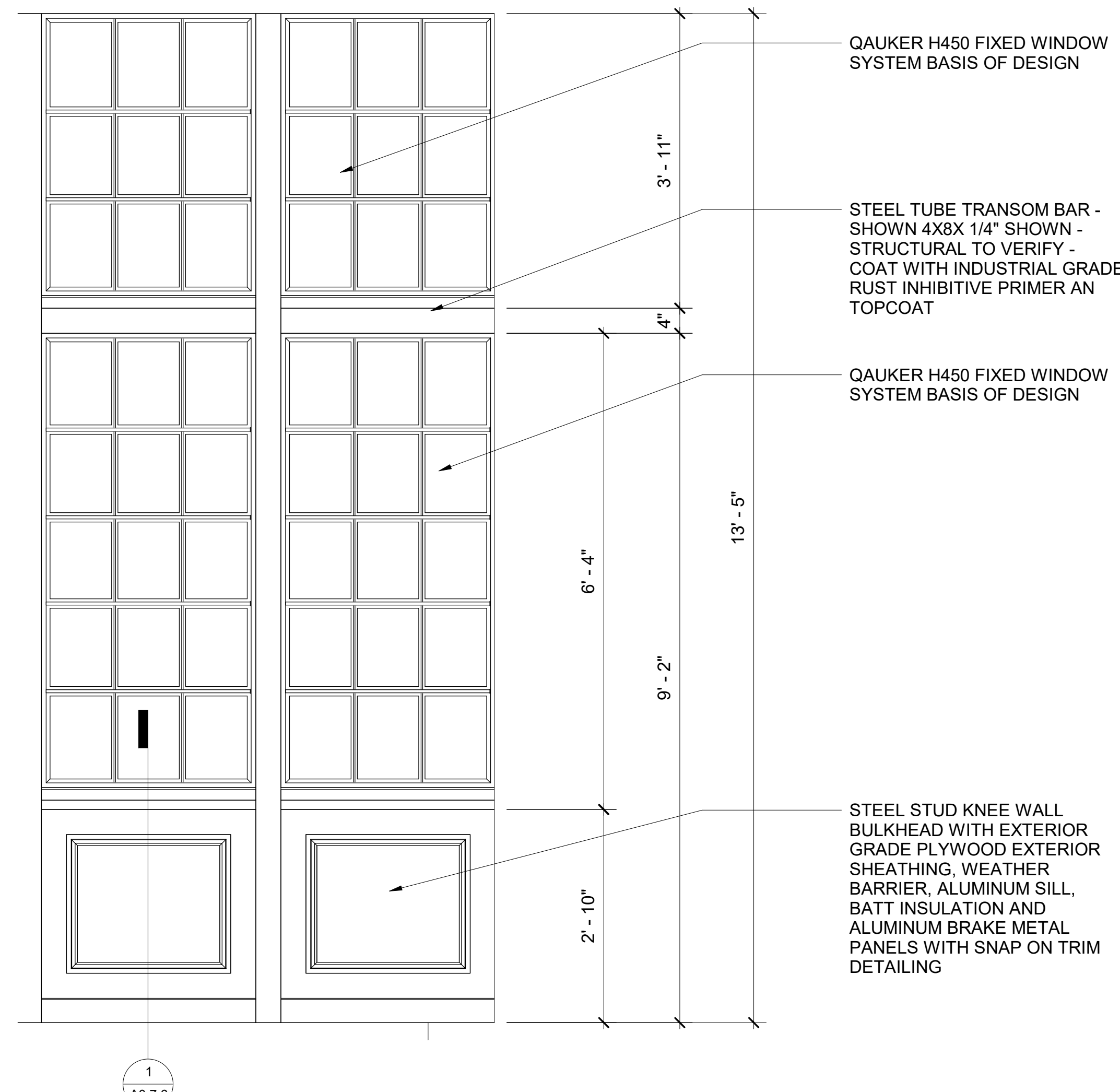




3  
A0.7.4  
Corner Storefront Elevation - West  
3/4" = 1'-0"



2  
A0.7.4  
Corner Storefront Elevation - Center  
3/4" = 1'-0"



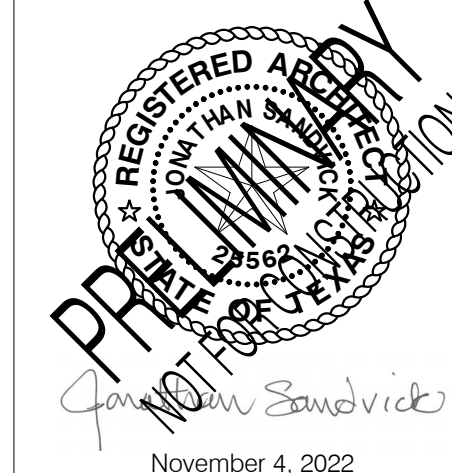
1  
A0.7.4  
Corner Storefront Elevation - North  
3/4" = 1'-0"



| ISSUE DATE: |                    |  |
|-------------|--------------------|--|
| 2022-11-4   | Demolition Package |  |
| 2022-12-9   | GMP Issue          |  |
| 2023-2-3    | ARCH-3 DD          |  |

| REVISIONS |             |      |
|-----------|-------------|------|
| No.       | Description | Date |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |

|                |         |
|----------------|---------|
| Project Number | 0885    |
| Drawn By       | LM      |
| Checked By     | Checker |



|                 |                              |
|-----------------|------------------------------|
| TITLE:          | Storefront Elevations, Cont. |
| DRAWING NUMBER: | A0.7.4                       |
| SCALE:          | 3/4" = 1'-0"                 |

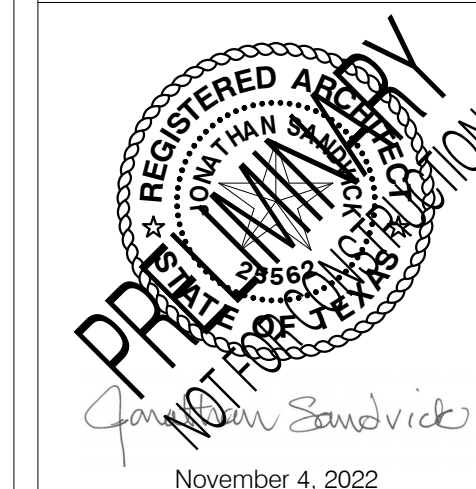


ISSUE DATE:

2022-11-4 Demolition Package  
2022-12-9 GMP Issue  
2023-2-3 ARCH-3 DD

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

Project Number 0885  
Drawn By Author  
Checked By Checker

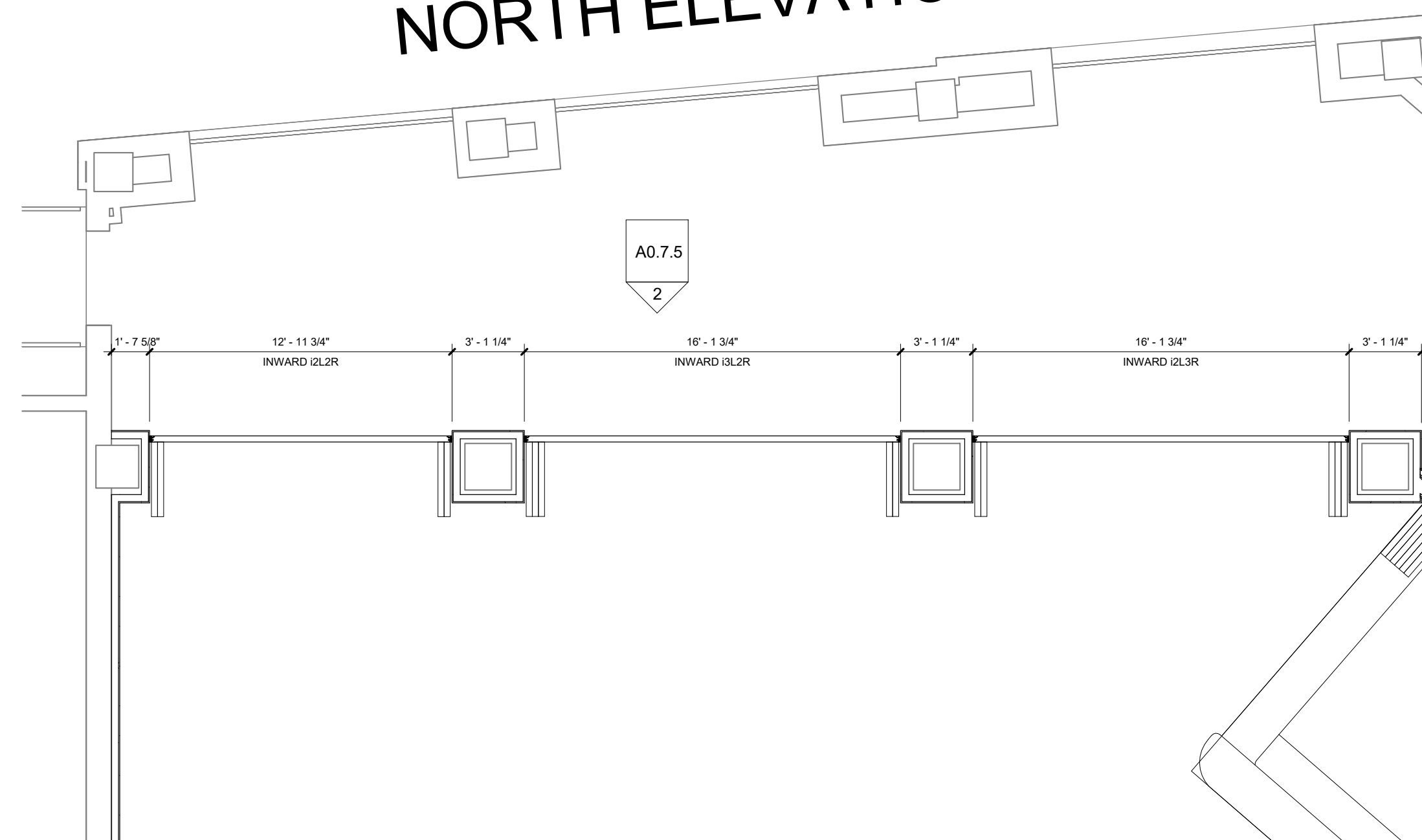


TITLE:  
Storefront  
Elevations, Cont.

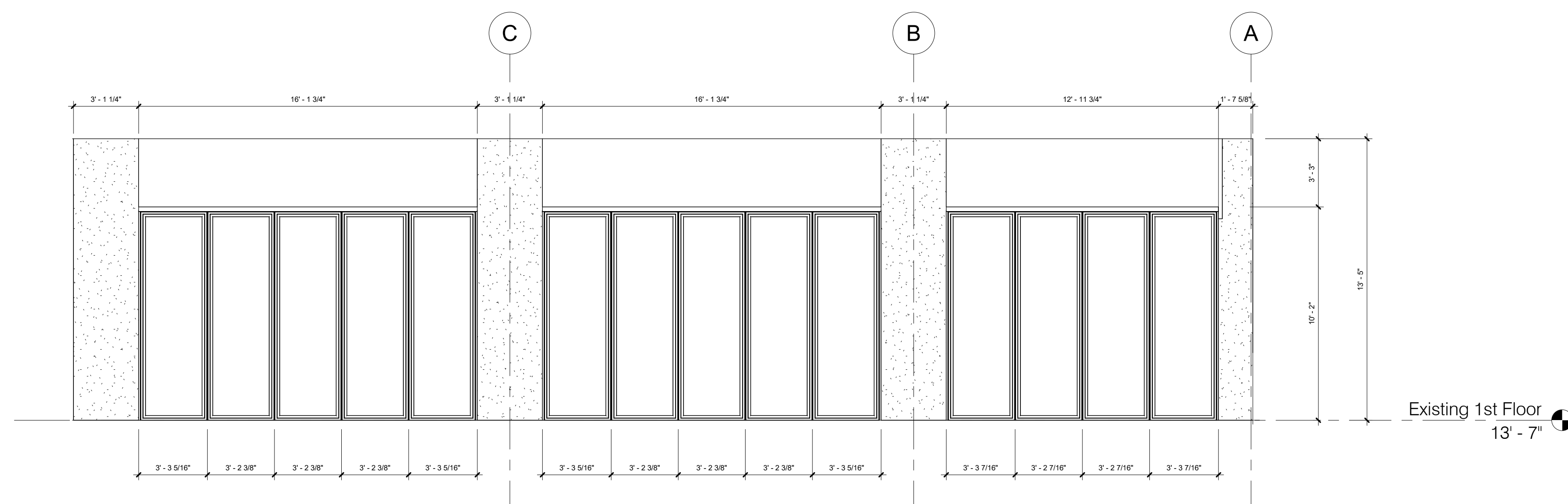
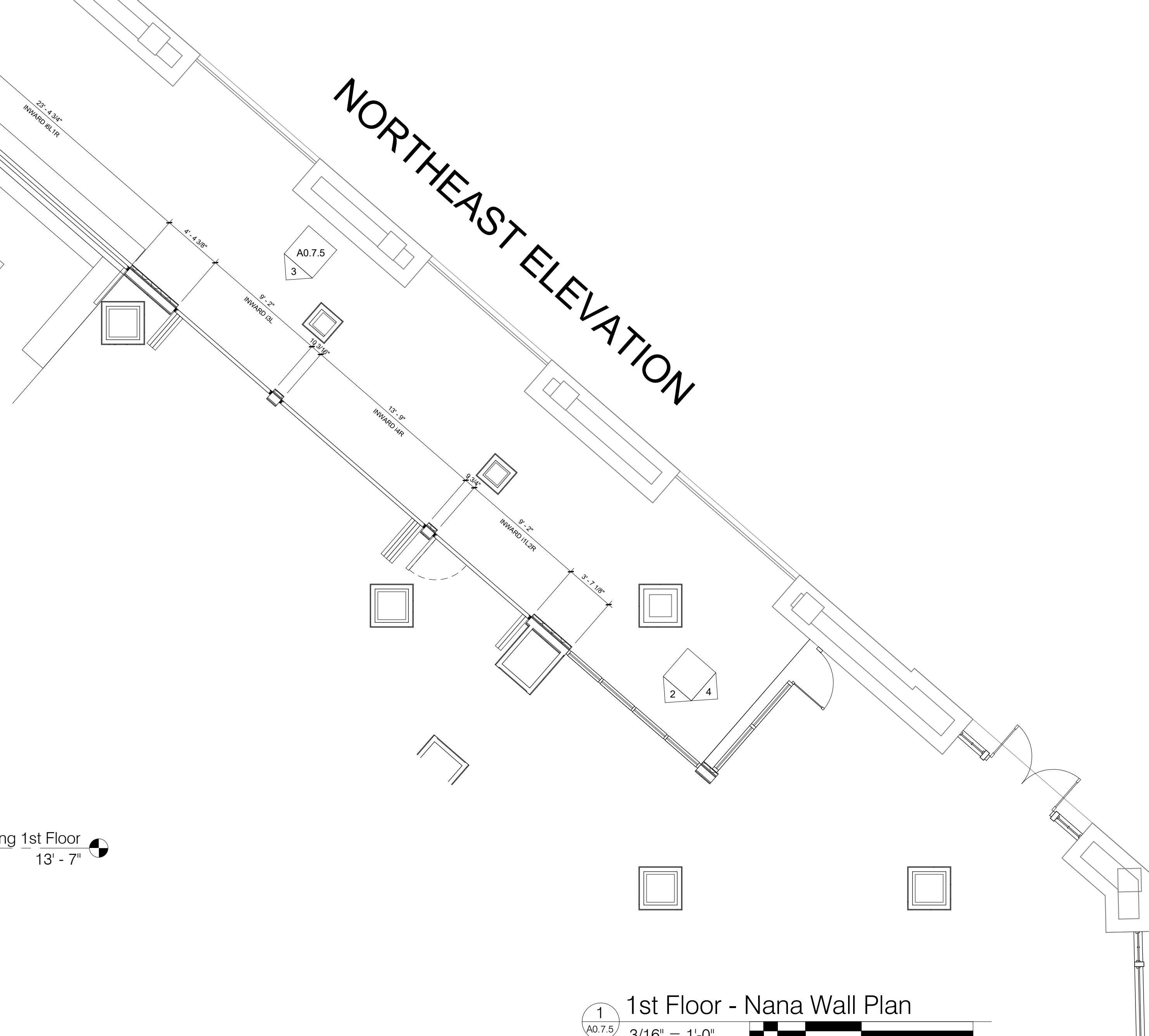
DRAWING NUMBER:  
A0.7.5

SCALE: As indicated

**NORTH ELEVATION**

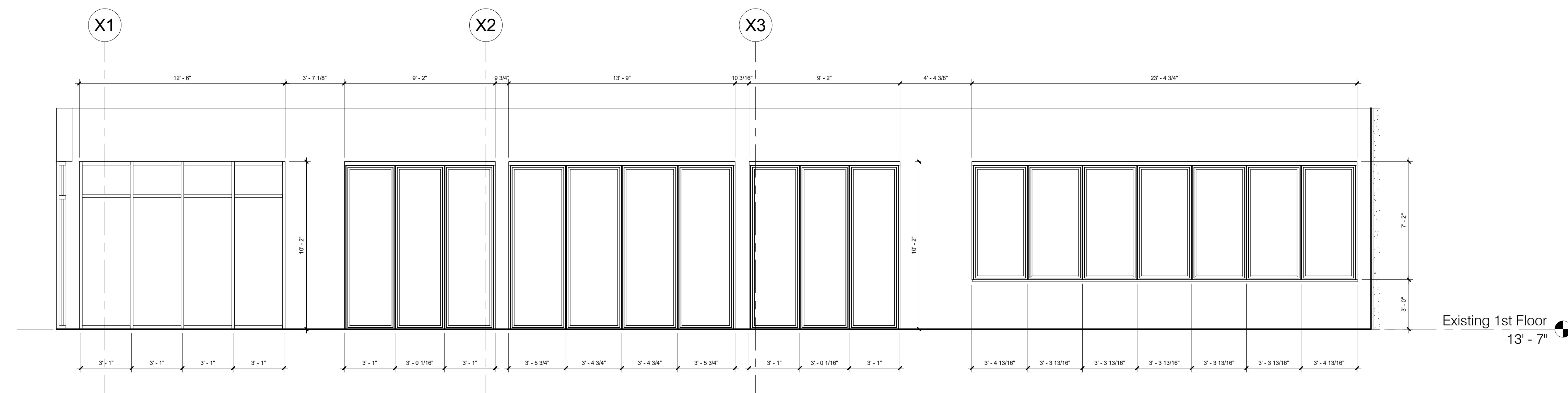


**NORTHEAST ELEVATION**

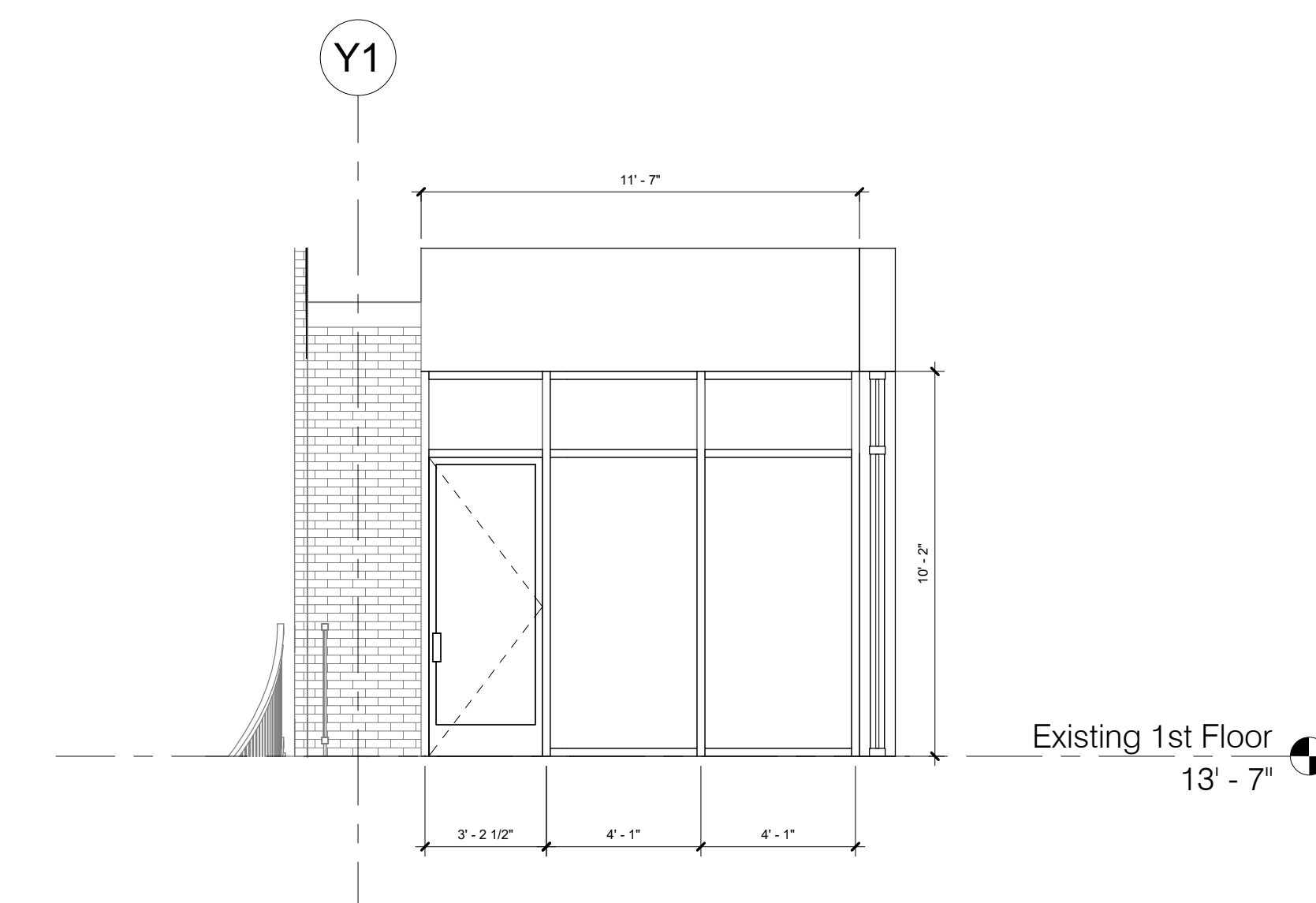


**2** North Nana Wall Elevation - 1st Floor  
1/4" = 1'-0"

**1** 1st Floor - Nana Wall Plan  
3/16" = 1'-0"



**3** Northeast Nana Wall & Storefront Elevation - 1st Floor  
1/4" = 1'-0"



**4** Northeast Exterior Storefront Elevation  
1/4" = 1'-0"

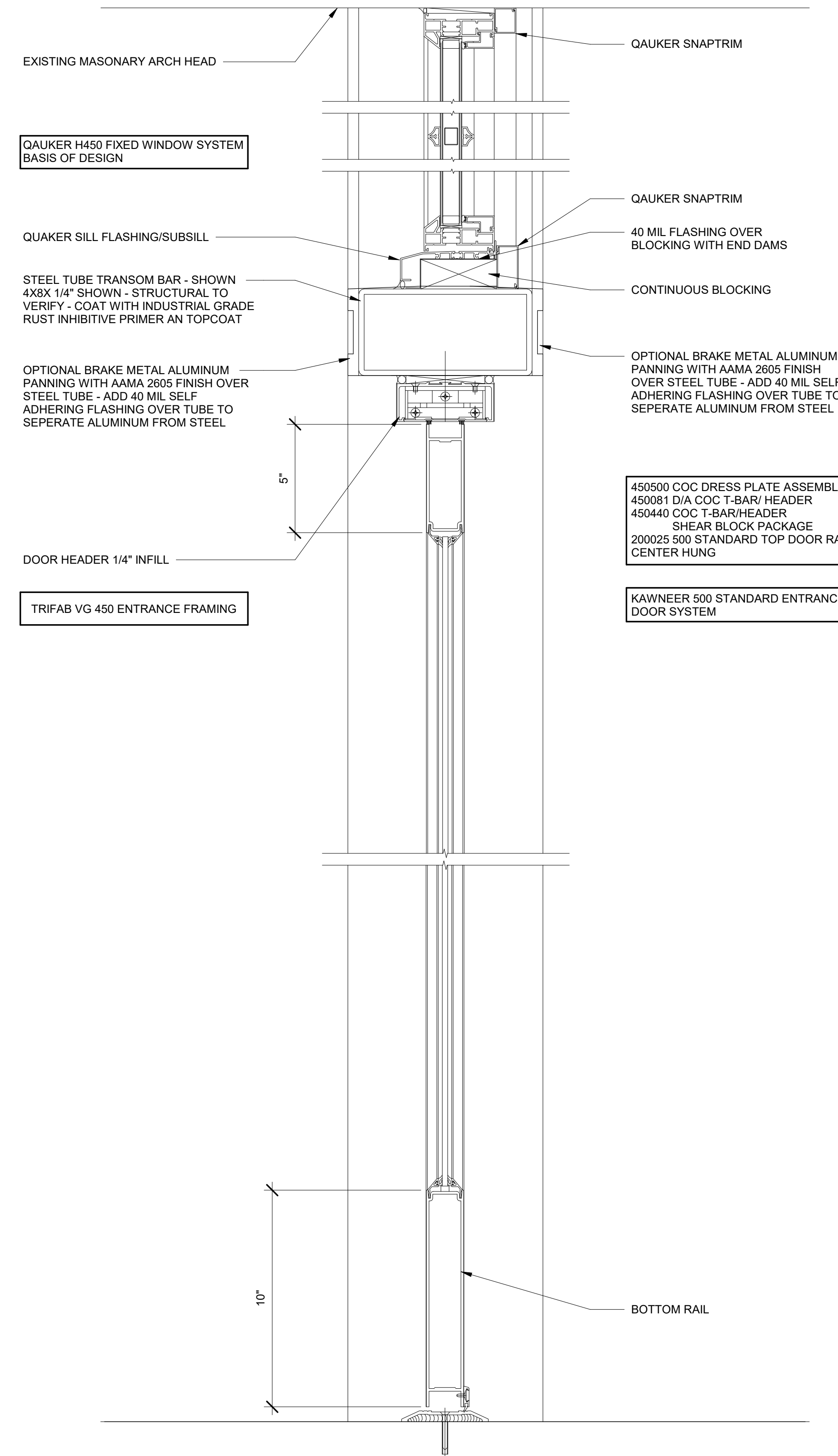


| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

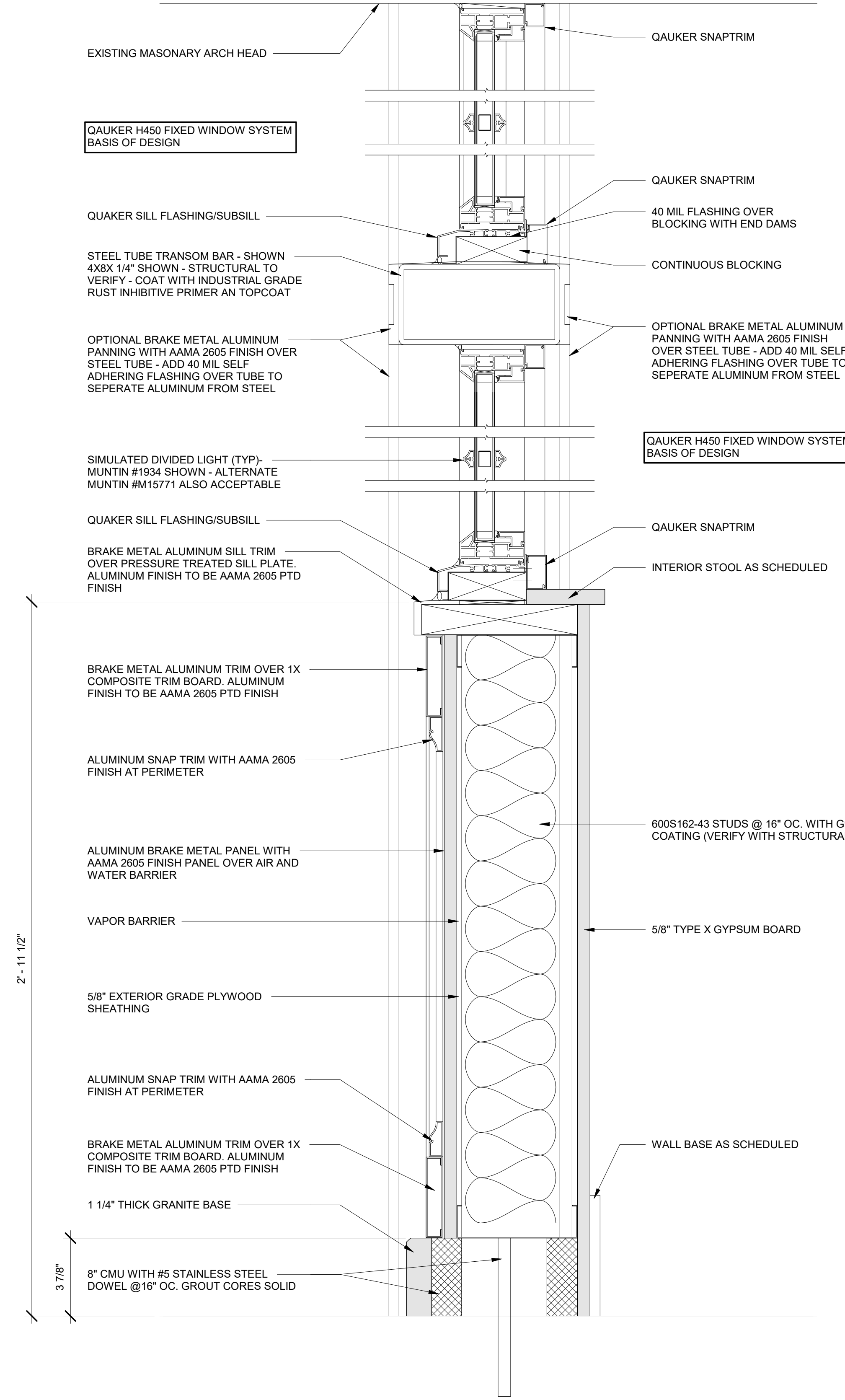
|                |         |
|----------------|---------|
| Project Number | 0885    |
| Drawn By       | SA Team |
| Checked By     | TRW     |



|                 |                    |
|-----------------|--------------------|
| TITLE:          | Storefront Details |
| DRAWING NUMBER: | A0.7.6             |
| SCALE:          | 3" = 1'-0"         |



**2** Storefront With Double Doors - Section  
A0.7.6 3" = 1'-0"



**1** Storefront Without Double Doors - Section  
A0.7.6 3" = 1'-0"





**The Historic AB Frank Building**  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

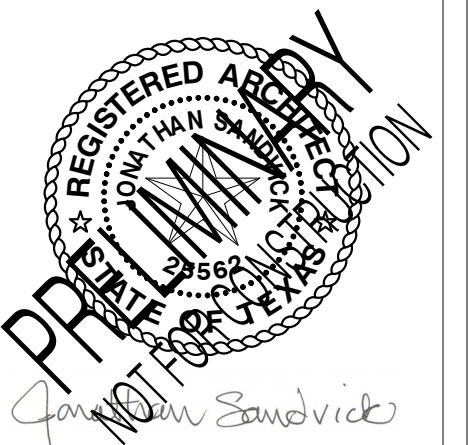
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJ

UE DATE:

|         |                    |
|---------|--------------------|
| 22-11-4 | Demolition Package |
| 22-12-9 | GMP Issue          |
| 23-2-3  | ARCH-3 DD          |

[illegible]

|                |         |
|----------------|---------|
| Project Number | 0885    |
| Drawn By       | SA Team |
| Checked By     | TRW     |



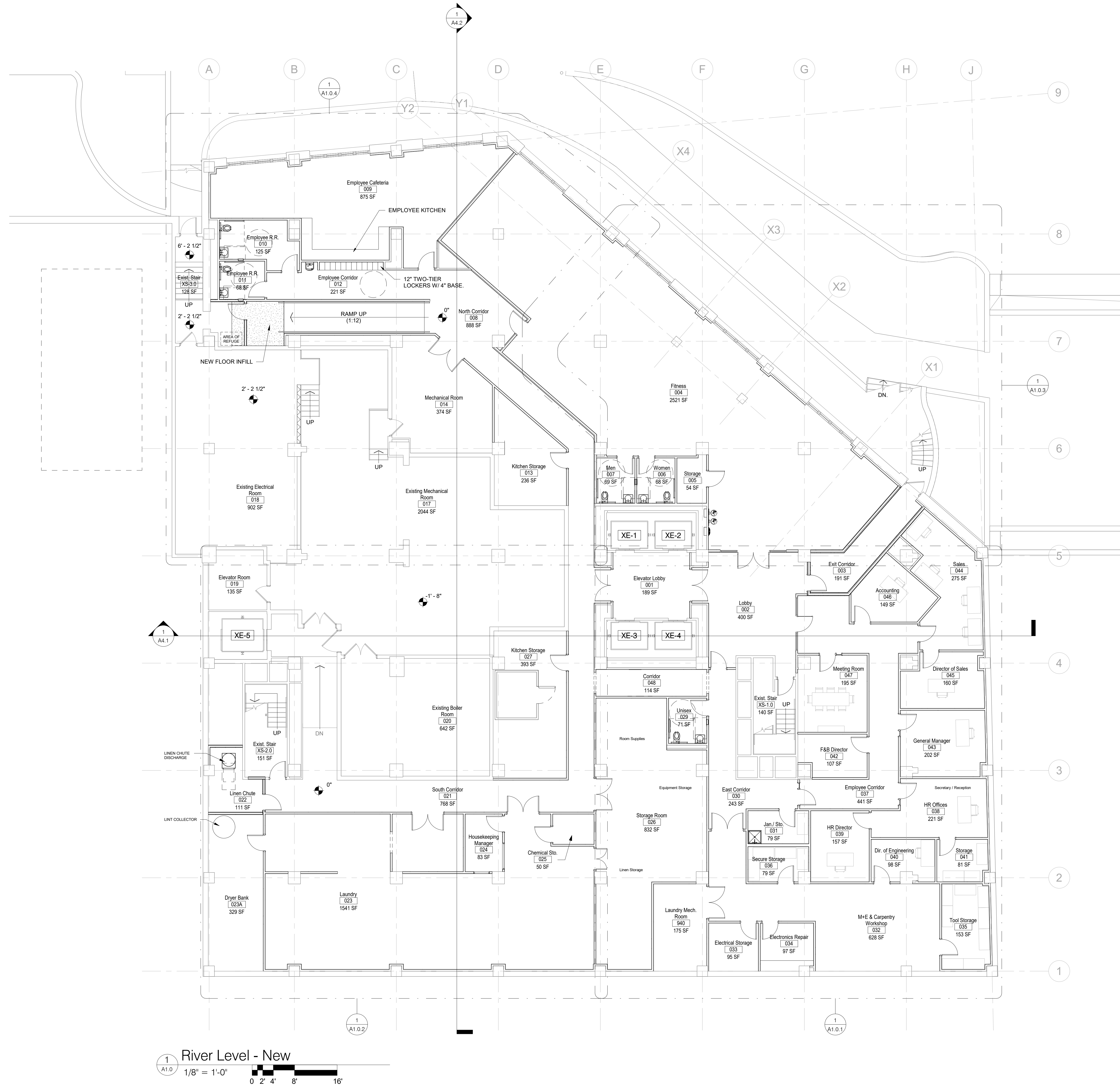
|                  |
|------------------|
| NOVEMBER 4, 2022 |
| TITLE:           |

River Level Plan

DRAWING NUMBER:

A1.0

SCALE:  $1/8" = 1'-0"$

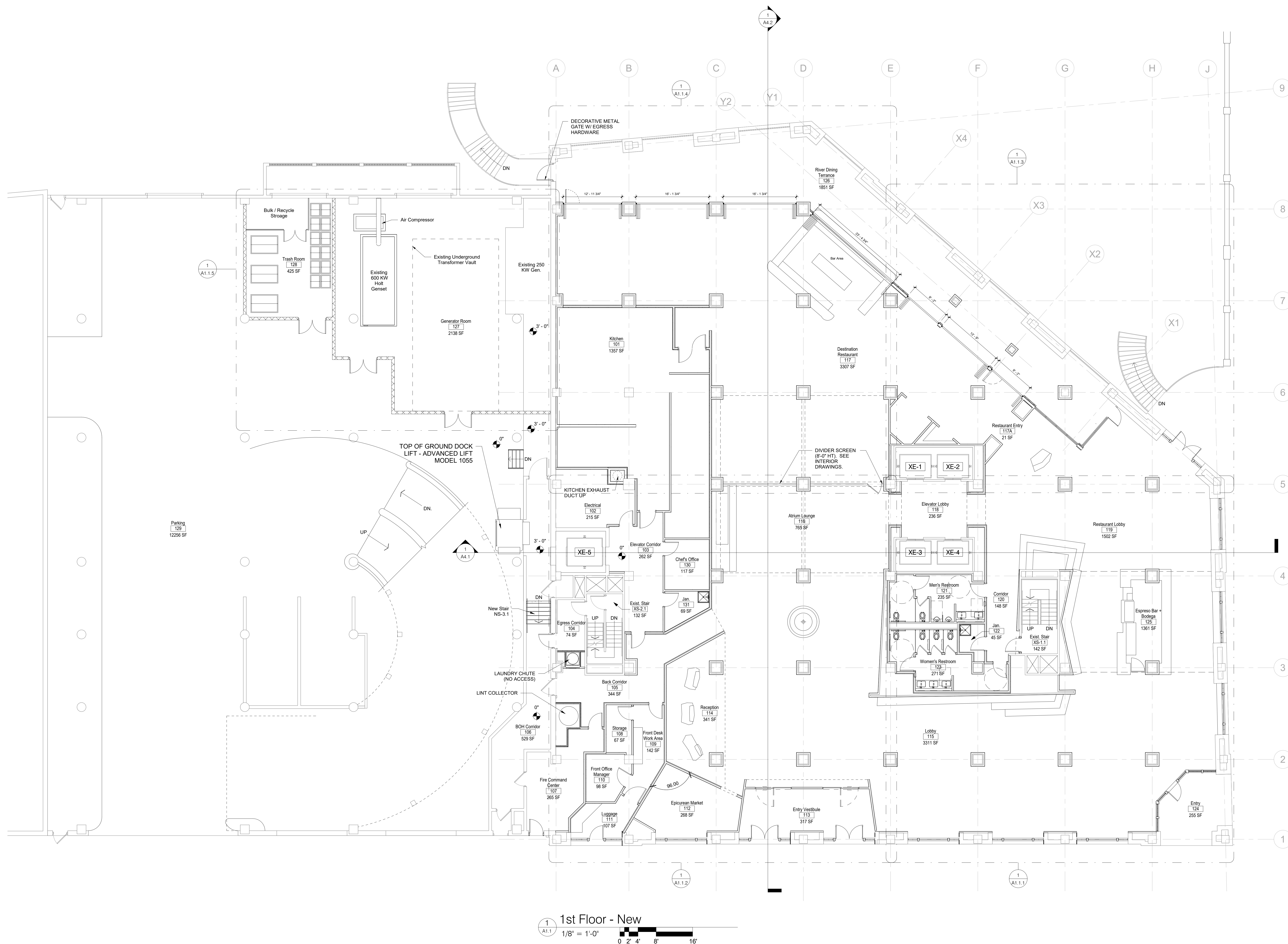






The Historic AB Frank Building  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

SCALE:  $1/8" = 1'-0"$





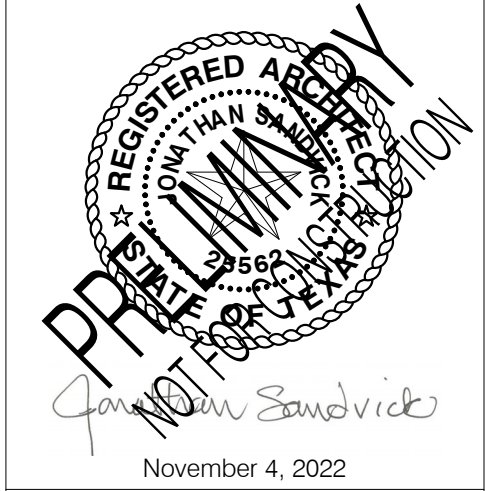
**The Historic AB Frank Building**  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

ISSUE DATE:

|           |                    |
|-----------|--------------------|
| 2022-11-4 | Demolition Package |
| 2022-12-9 | GMP Issue          |
| 2023-2-3  | ARCH-3 DD          |
|           |                    |
|           |                    |
|           |                    |
|           |                    |
|           |                    |
|           |                    |

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

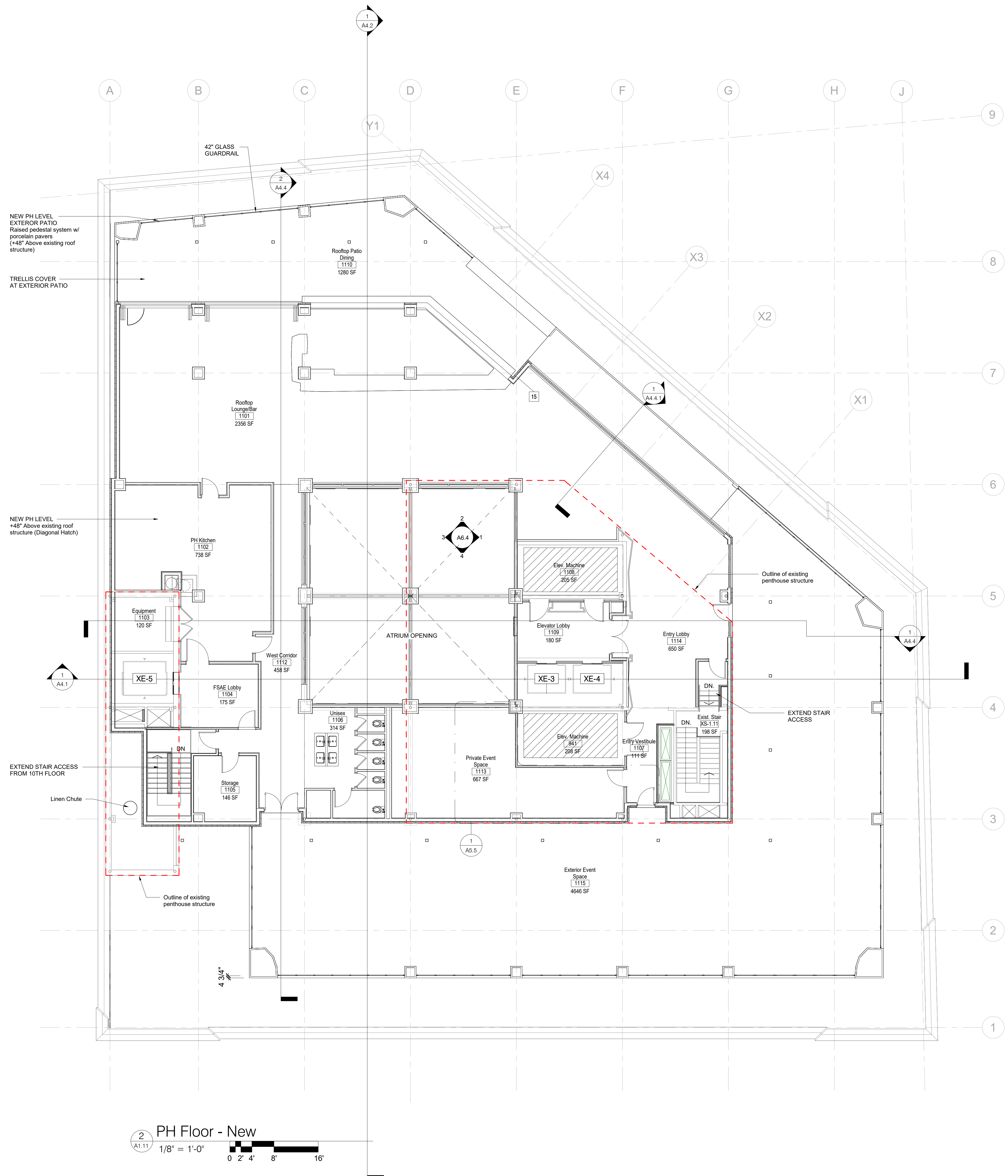
|                |         |
|----------------|---------|
| Project Number | 0885    |
| Drawn By       | Author  |
| Checked By     | Checker |



TITLE:  
**Penthouse Floor Plan**

DRAWING NUMBER:  
**A1.11**

SCALE: 1/8" = 1'-0"



**2 PH Floor - New**  
A1.11  
1/8" = 1'-0"  
0 2' 4' 8' 16'



**The Historic AB Frank Building**  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

ISSUE DATE:

|           |                    |
|-----------|--------------------|
| 2022-11-4 | Demolition Package |
| 2022-12-9 | GMP Issue          |
| 2023-2-3  | ARCH-3 DD          |
|           |                    |
|           |                    |
|           |                    |
|           |                    |
|           |                    |

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

|                |         |
|----------------|---------|
| Project Number | 0885    |
| Drawn By       | Author  |
| Checked By     | Checker |

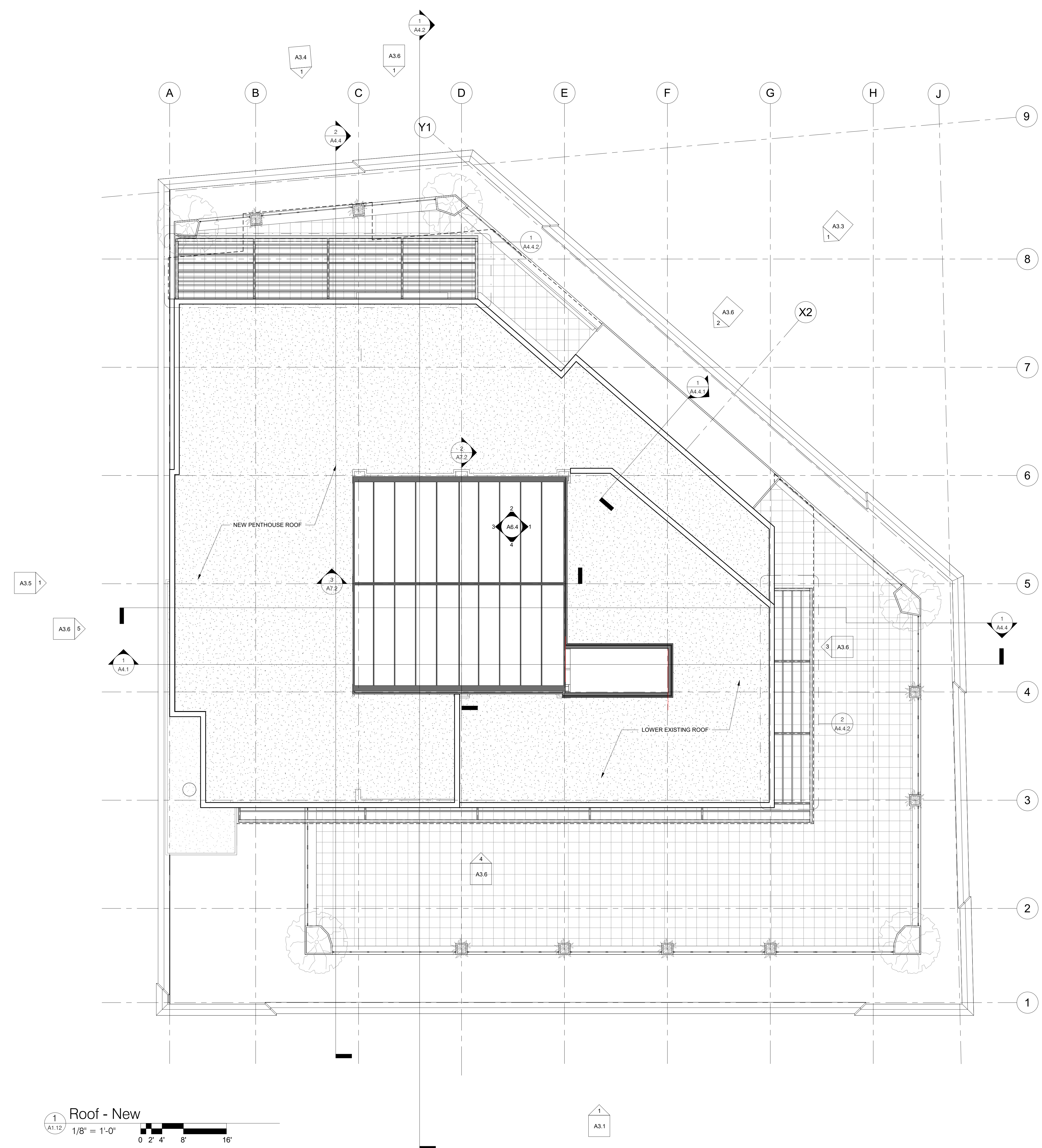
**PRELIMINARY**

*[Signature]*  
November 4, 2022

TITLE:  
**Roof Plan**

DRAWING NUMBER:  
**A1.12**

SCALE:  
1/8" = 1'-0"



**Roof - New**  
1/8" = 1'-0"  
0 2' 4' 8' 16'



GENERAL EXTERIOR RESTORATION AND REPAIR NOTATIONS

NOTE: CLOSE UP INSPECTIONS VIA SWINGSTAGE ACCESS IS NEEDED TO MORE CLOSELY IDENTIFY EXTERIOR CONDITIONS. ALL CONDITION OBSERVATIONS HAVE BEEN MADE VISUALLY FROM GRADE AND AVAILABLE NEARBY BUILDINGS WITH ASSISTANCE OF TELEPHOTOGRAPHY.

IT IS RECOMMENDED THAT REPRESENTATIVE INSPECTION DROPS BE CONDUCTED ON EACH ELEVATION TO REFINE THE EXTERIOR ENVELOPE RESTORATION SCOPE.

1. BRICK CLEANING:

- A. ALL EXTERIOR BRICK ELEMENTS ARE TO BE CLEANED USING GENTLEST MEANS POSSIBLE TO BE DETERMINED VIA FIELD TRIALS.
- B. FEILDS TRIALS TO INCLUDE MULTIPLE TESTS USING VARYING METHODS AND MATERIALS, STARTING WITH GENRLEST METHOD FIRST.
- C. PROVIDE ARCHITECT WITH FIELD TRIAL PROGRAM AND PROPOSED BUFFERED CHEMICAL DETERGENT PRODUCT DATA TO BE USED IN FEILD TRIALS.
- D. SEE SPECIFICATIONS FOR SUBMITTAL AND MOCKUP REQUIREMENTS.

2. BRICK ROWLOCK SILL REPOINTING:

- A. REPOINT ROWLOCK SILL JOINTS THAT WILL REMAIN EXPOSED AFTER WINDOW INSTALLATION.
- B. WINDOWS WILL BE MOVED OUT TOWARD THE EXTERIOR FACE OF THE BUILDING TO MATCH THEIR HISTORIC LOCATION.
- C. REPOINT 100% OF ROWLOACK SILLS HORIZONTAL SKYWARD SURFACES APPROXIMATELY 7" BACK FROM EXTERIOR FACE.
- D. REPOINT ROWLOACK VERTICAL FACE JOINTS 100%.
- E. WORK TO COMPLY WITH GENERAL EXTERIOR RESTORATION NOTATIONS AND SPECIFICATIONS.
- F. PROVIDE IN WALL MOCKUP FOR APPROVAL.

3. BRICK SPANDREL REPOINTING - FLOORS 2-7:

- A. REPOINT JOINT DIRECTLY UNDER ROWLOCK SILLS.
- B. REVIEW BRICK AREAS UNDER ROWLOCK SILLS AND REPOINT WEAK, ERODED, DEBONDED JOINTS IN SPANDREL BRICK.
- C. NUMBER OF AFFECTED COURSES VARIES PER SPANDREL.
- D. WORK TO COMPLY WITH GENERAL EXTERIOR RESTORATION NOTATIONS AND SPECIFICATIONS.
- E. PROVIDE MOCKUP FOR APPROVAL.

4. BRICK SECOND FLOOR BELT COURSE ROWLOCK COURSE/SILL REPOINTING AND MORTAR WASH REPLACEMENT:

- A. REPOINT ROWLOCK SILL JOINTS THAT WILL REMAIN EXPOSED AFTER WINDOW INSTALLATION.
- B. WINDOWS WILL BE MOVED OUT TOWARD THE EXTERIOR FACE OF THE BUILDING TO MATCH THEIR HISTORIC LACATION.
- C. REPOINT 100% OF ROWLOCK SILLS HORIZONTAL SKYWARD SURFACES APPROXIMATELY 7" BACK FROM EXTERIOR FACE.
- D. REPOINT ROWLOACK VERTICAL FACE JINTS 100%.
- E. REMOVE EXISTING DETERIORATED MORTAR WASH AT ALL BRICK PIERS AND REPLACE WITH NEW MORTAR WASH. PROVIDE MOCKUP FOR APPROVAL.
- F. WORK TO COMPLY WITH GENERAL EXTERIOR RESTORATION NOTATIONS AND SPECIFICATIONS.
- G. PROVIDE MOCKUP FOR APPROVAL.

5. BRICK 10TH FLOOR BELT COURSE SOLDIER COURSE/SILL REPOINTING AND MORTOR WASH REPLACEMENT:

- A. REPOINT EXPOSED SILL JOINTS IN ACCORDANCE WITH NOTE 2 ABOVE.
- B. ROUTE AND SEAL SKYWARD JOINT BETWEEN SOLDIER COURSE AND HORIZONTAL SILL BRICK. RAKE BACK JOINT 3/4" AND INSTALL BACKER ROD AND APPROVED SILICONE SEALANT.

6. BRICK PARAPET ROTATED SOLDIER COURSE INSPECTION AND REPOINTING:

- A. INSPECT AND REPOINT EXISTING ROTATED SOLDIER COURSE DETAILS AS NEEDED.
- B. WORK TO COMPLY WITH GENERAL EXTERIOR RESTORATION NOTATIONS AND SPECIFICATIONS.

7. BRICK REPOINTING BELOW EXISTING SCUPPERS :

- A. ASSUME 100% REPOINTING OF BRICK JOINTS BELOW EXISTING ROOF SCUPPERS IN AREAS OUTLINED ON DRAWINGS.
- B. WORK TO COMPLY WITH GENERAL EXTERIOR RESTORATION NOTATIONS AND SPECIFICATIONS.

8. SPALLED CORNER BRICK REPLACEMENT - NORTHEAST ELEVATION - 8TH 9TH AND 10TH FLOORS:

- A. OBTUSE ANGLE CORNERS ON THE NORTHEAST ELEVATION APPEAR TO HAVE A NUMBER OF SPALLED AND CRACKED BRICK. PROVIDE ACCESS TO ARCHITECT FOR CLOSE UP INSPECTION.
- B. REMOVE SPALLED AND CRACKED BRICK UNITS OF BOTH FACES OF THE OBTUSE ANGLE OF BOTH CORNERS AND REPLCE WITH NEW BRICK TO MATCH EXISTING.
- C. WORK TO COMPLY WITH GENERAL EXTERIOR RESTORATION NOTATIONS AND SPECIFICATIONS.
- D. PROVIDE SAMPLES FOR INITIAL SELECTION AND IN WALL MOCKUPS FOR FINAL APPROVAL.

9. REPOINTING OF VERTICAL JOINTS BETWEEN DIFFERING COLORED BRICK AT CORNERS AND PROJECTED BAY LOCATIONS:

- A. ROUTE JOINT BETWEEN BROWN COLORED VERTICAL BRICK BANDING AND SALT GLAZED ORANGE FIELD BRICK AND INSTALL SEALANT JOINT SYSTEM PER DETAIL.
- B. COLOR OF SEALANT TO MATCH MORTAR.
- C. PROVIDE IN WALL MOCKUP FOR FINAL APPROVAL.

10. REPAIR OF EXISTING VOIDS CREATED BY EQUIPMENT, DUCT WORK, CONDUIT AND PIPING REMOVAL:

- A. VOIDS CREATED BY REMOVAL OF EQUIPMENT, DUCTWORK, CONDUIT, PIPING AND OTHER MISCELLANEOUS ITEMS ARE TO BE REPAIRED TO MATCH ADJACENT WALL AREA.
- B. MATCH EXISTING BRICK COURSINGS, DETAILING, COLOR, SIZE AND TEXTURE.
- C. PROVIDE IN WALL MOCKUP FOR FINAL APPROVAL.

11. BRICK PARAPET REPOINTING:

- A. REVIEW ALL EXISTING STREET FACING MORTAR JOINTS AND REPOINT ALL OPEN, SEPERATED, SOFT AND ERODED JOINTS IN ACCORDANCE WITH SPECIFICATION SECTION 040120.
- B. REPOINTING MORTAR TO MATCH UNWEATHERED ORIGINAL MORTAR SAMPLE IN COLOR, TEXTURE, COMPRESSIVE STRENGTH AND COMPOSITION. PROVIDE JOINT REPOINTING MOCKUPS FOR APPROVAL BY ARCHITECT.
- C. REPOINT ROOF FACING MASONRY JOINTS AFTER ROOF FLASHINGS ARE REMOVED AND CONDITIONS ARE EXPOSED. ASSUME 50% OF ALL JOINTS WILL REQUIRE REPOINTING.
- D. REPLACE ANY SPALLED OR CRACKED BRICK WITH NEW MATCHING EXISTING ON THE STREET FACING SIDE AND WITH NEW BRICK MATCHING EXISTING SIZE ON ROOF FACING SIDE.

12. CAST STONE COPING REPOINTING AND SKYWARD JOINT TREATMENT:

- A. REPOINT ALL EXISTING CAST STONE COPING HORIZONTAL AND VERTICAL JOINT 100%.
- B. RAKE BACK SKYWARD JOINT POINTING MORTAR 3/4" AND INSTALL BOND BREAKER AND SILICONE SEALANT IN ALL SKYWARD FACING JOINTS.
- C. SEALANT COLOR TO MATCH MORTAR COLOR.
- D. PROVIDE PONTING AND SKYWARD SEALANT JOINT MOCKUPS FOR APPROVLAL.

13. CAST STONE COPING REMOVAL, SALVAGE AND REINSTALLATION AT NEW PENTHOUSE WALL INTRFACE - WEST ELEVATION:

- A. REMOVE AND SALVAGE DECORATIVE COPING STONES ON THE WEST ELEVATION FOR REINSTALLATION.
- B. INSTALL NEW PENTHOUSE WALL SYSTEM ALONG WEST WALL ELEVATION IN LINE WITH EXISTING STRUCTURE.
- C. REINSTALL SALVAGED CAST STONE COPING UNITS.
- D. PROVIDE NEW STAINLESS STEEL ANCHORAGES.
- E. POINT VERTICAL FACE JOINTS WITH MORTAR AND SEAL SKYWARD FACING JOINTS WITH APPROVED SILICONE SEALANT PER NOTE 12 ABOVE.

14. EXISTING LINTEL STABILIZATION:

- A. LINTEL STABILIZATION WORK IS TO BE CONDUCTED AFTER WINDOWS HAVE BEEN REMOVED FROM THEIR OPENINGS.
- B. REMOVE EXISTING SURFACE CORROSION AND LOOSE PAINT USING SSPC-SP3 POWER TOOL METHOD DOWN TO SOUND WELL ADHERED CONDITIONS.
- C. REMOVE SEALANT BETWEEN LINTEL AND BRICK COURSINGS ABOVE LINTEL.
- D. IF BEARING END CORROSION EXISTS, REMOVE CONCEALING BRICK, REMOVE CORROSION.
- E. COAT LINTELS WITH SHERWIN WILLIAMS DURA PLATE 235 AND TOP COAT EXPOSED PORTION OF LINTEL THAT WILL BE EXPOSED AFTER WINDOW INSTALLATION WITH APPROVED TOPCOAT SYSTEM. COLOR TO BE SELECTED BY ARCHITECT.
- F. PROVIDE MOCKUP FOR APPROVAL.

15. EXISTING LINTEL REPLACEMENT ALLOWNACE:

- A. CLOSE UP SWING STAGE ACCESS IS NEEDED TO VERIFY LINTEL CONDITIONS, THOUGH NO OBSERVED OPENINGS TO REMAIN APPEAR TO EXHIBIT SEVERE DISTRESS WHEN OBSERVED FROM GRADE.
- B. PROVIDE AN ALLOWANCE COST TO REPLACE 5% OF ALL EXTERIOR OPENING LINTELS.

16. NEW METAL RAILING IN OPENING ALONG RIVERWALK:

- A. REPLACE EXISTING RAILING SYSTEM WITH NEW STEEL OR ALUMINUM RAILING AND PICKET SYSTEM.
- B. RAILING DESIGN SHALL MEET CODE REQUIRED STRUCTURAL LOADING REQUIREMENTS.
- C. FINISH TO BE CLASS AAMA 2605 PAINTED FINISH, COLOR TO BE SELECTED BY ARCHITECT.
- D. PROVIDE NEW STAINLESS STEEL ANCHORAGES FOR TOP AND BOTTOM RAILING.
- E. PROVIDE SHOP DRAWINGS, PRODUCT DATA AND FINISH SAMPLES FOR REVIEW AND APPROVAL.
- F. SEE REFERENCED DETAILS.

17. NEW STEEL REPLICA ALUMINUM REPLACEMENT WINDOWS WITH SIMULATED DIVIDED LITES:

- A. REMOVE EXISTING ALUMINUM FRAME WINDOW SYSTEM WITH CARE TO PREVENT DAMAGE TO OPENING MASONRY.
- B. REVIEW OPENINGS WITH MASONRY RESTORATION CONTRACTOR TO IDENTIFY CONDITIONS THAT REQUIRE REPAIR PRIOR TO NEW WINDOW INSTALLATION AND MAKE REPAIRS REQUIRED.
- C. INSTALL NEW THERMALLY BROKEN, ALUMINUM FRAME STEEL REPLICA WINDOW SYSTEM WITH SIMULATED DIVIDED LITES AND INSULATED GLASS WITH SOLARBAN 90 ON #2 SURFACE (SHGC 0.25 REQUIRED)
- D. FINISH TO BE AAMA 2605 FACTORY APPLIED PAINTED FINISH. COLOR SELECTED BY ARCHITECT.
- E. PROVIDE SUBSILL/ FLASHING SYSTEM FOR ALL OPENINGS.
- F. BASIS OF DESIGN - QUAKER H450 FIXED WINDOW.
- G. APPROVED EQUAL PRODUCT SERIES:
  - 1. GRAHAM SR6700
  - 2. KAWNEER NX-380 FIXED
- H. SEAL PERIMETER USING APPROVED SILICONE SEALANT AND BACKER ROD.

18. NEW STREET FACING STOREFRONT OPENING INFILL CONSTRUCTION:

- A. INFILL CONSTRUCTION IS INTENDED TO MIMIC HISTORIC STEEL MULTILITE CONFIGURATION.
- B. INSTALL WELDED TUBE 'H' FRAME INTO OPENING. ASSUME GALVANIZED 3X6X3/8" STEEL TUBE FRAME WITH PAINTED FINISH.
- C. ASSUME FRAME IS POCKETED INTO MASONRY.
- D. INSTALL NEW QUAKER H450 FIXED WINDOWS WITH SIMULATED DIVIDED LITES INTO STRUCTURAL TUBE FRAME IN TRANSON AND SIDELITE AREAS (SEE NOTE 17 ABOVE) ALL GLASS TO BE TEMPERED.
- E. INSTALL NEW QUAKER H450 FIXED PICTURE WINDOW IN CENTER DISPLAY PANE. ALL GLASS TO BE TEMPERED.
- F. INSTALL STEEL STUD KNEE WALL BULKHEAD WITH EXTERIOR GRADE PLYWOOD EXTERIOR SHEATHING, WEATHER BARRIER, ALUMINUM SILL, BATT INSULATION AND ALUMINUM BRAKE METAL PANELS WITH SNAP ON TRIM DETAILING.
- G. SEAL PERIMETERS OF ALL WINDOWS AND BULKHEAD CONSTRUCTION WITH APPROVED SILICONE SEALANT SYSTEM.

19. NEW ALUMINUM AND GLASS STOREFRONT SYSTEMS WITH SIMULATED DIVIDED LITES AND ENTRY SYSTEMS:

- A. SEE NOTE 18.A-D, F&G ABOVE FOR STOREFRONT CONSTRUCTION.
- B. PROVIDE PAIR OF NEW WIDE STILE ALUMINUM AND GLASS DOORS WITH FULL VISION PANELS AND TRANSON WINDOWS IN CENTER LOWER OPENING IN TUBE FRAME.
- C. ENTRY SYSTEM BASIS OF DESIGN KAWNEER 500 STANDARD ENTRANCE DOOR SYSTEM.

20. NEW FOLDING GLASS DOOR SYSTEM IN NEW RECESSED EXTERIOR WALL - NORTHEAST ELEVATION ALONG RIVERWALK:

- A. NEW ENCLOSURE WALL TO BE CONSTRUCTED RECESSED FROM EXISTING RIVERWALK OPENINGS.
- B. GLAZED OPENINGS TO BE COMPRISED OF ALUMINUM FRAME FOLDING GLASS DOOR SYSTEMS.
- C. BASIS OF DESIGN NANA WALL SL 70.
- D. GLAZING TO BE 1" TEMPERED INSULATED IGU'S WITH LOW-E SOLAR BAN 90 COATING ON #2 SURFACE.
- E. FRAME FINISH SHALL BE AAMA 2605 PAINTED FINISH. COLOR SELECTED BY ARCHITECT.
- F. SEAL ALL OPENING PERIMETERS WITH APPROVED NON STAINING SILICONE SEALANT.

21. ALUMINUM REPLACEMENT GROUND FLOOR STOREFRONT SYSTEM - NORTHEAST ELEVATION EASTERN MOST OPENING IN NEW ENCLOSURE WALL:

- A. NEW ALUMINUM FRAME AND GLASS STOREFRONT SYSTEM (BASIS OF DESIGN) KAWNEER VERSA GLAZE TRIFAB 451T.
- B. GLAZING TO BE 1" TEMPERED INSULATED IGU'S WITH SOLAR BAN 90 LOW - E COATING ON #2 SURFACE.
- C. FRAME FINISH SHALL BE AAMA 2605 PAINTED FINISH. COLOR TO BE SELECTED BY ARCHITECT.
- D. SEAL ALL STOREFRONT PERIMETERS WITH APPROVED NON STAINING SILICONE SEALANT.

22. NEW ALUMINUM FRAME AND GLASS HIPPED SKYLIGHT SYSTEM:

- A. PROVIDE NEW ALUMINUM FRAME HIPPED SKYLIGHT SYSTEM OVER NEW ATRIUM SPACE.
- B. FINISH TO BE AAMA 2605 PAINTED FINISH. COLOR TO BE SELECTED BY ARCHITECT.
- C. GLAZING TO BE INSULATED LAMINATED GLAZING WITH SOLARBAN 90 ON THE #2 SURFACE AND GREY TINTED TEMPERED GLAZING.
- D. SEE REFERENCED DETAILS.

23. REPAIR OF EXISTING FLOOD RATED WINDOWS GROUND FLOOR:

- A. INSPECT EXISTING WINDOWS WITH STRUCTURAL CONSULTANT AND ARCHITECT TO REVIEW CONDITION AND SCOPE.
- B. REMOVE CORRODED, DISPLACED CAULK COVERS AT GLAZING PERIMETER.
- C. REMOVE ALL LOOSE PAINT AND CORROSION DOWN TO SOUND SURFACE USING SSPC-SP3 POWER TOOL METHODS.
- D. REPLACE ALL DAMAGED LAMINATED GLASS PANELS- NOTE -GLASS IS A MONOLITHIC 1 1/2" LAMINATED GLASS PANEL.
- E. INSPECT ALL STRUCTURAL GLAZING SEALANT AT GLASS PANELS AND REPLACE DETERIORATED SEALANT.
- F. INSPECT ALL WELDS AND CONNECTIONS WITH STRUCTURAL CONSULTANT AND MAKE REPAIRS REQUIRED.
- G. INSPECT GLAZING STOPS FOR DETERIORATED CONNECTIONS AND MAKE REPAIRS AS REQUIRED.
- H. INSTALL NEW GLAZING SEALANT STRAP STEEL COVERS, COMPONENTS ARE TO BE SHOP PRIMED AND PAINTED. SECURE WITH PAN HEAD TEK SCRI.
- I. REMOVE AND REPLACE ALL PERIMETER SEALANT WITH APPROVED BACKER ROD AND SILICONE SEALANT SYSTEM.
- J. PRIME AND COAT FRAME WITH APPROVED INDUSTRIAL GRADE, RUST INHIBITIVE COATING SYSTEM. COLOR SELECTED BY ARCHITECT.

24. NEW MAIN ENTRY CANOPY AND SIGNAGE - WEST ELEVATION:

- A. NEW ENTRANCE CANOPY COMPRISED OF PAINTED EXPOSED STRUCTURAL STEEL FRAMING AND LAMINATED GLASS ROOF.
- B. CANOPY TO BE BUILDING SUPPORTED.
- C. SEE REFERENCED DRAWINGS FOR MORE INFORMATION.

25. NEW PENTHOUSE ROOF ADDITION:

- A. NEW ROOFTOP PENTHOUSE ADDITION CLAD IN APPROVED EXTERIOR CONTINUOUS INSULATION AND FINISH SYSTEM.
- B. NEW ALUMINUM FRAME AND GLASS STOREFRONT AND STOREFRONT AND ENTRY SYSTEMS FRAME FINISH SHALL BE AAMA 2605 PAINTED FINISH COLOR TO BE SELECTED BY ARCHITECT. GLAZING TO BE 1" TEMPERED INSULATED IGU'S WITH SOLAR BAN 90 LOW-E COATING ON #2 SURFACE.
- C. WHERE NOTED PROVIDE NEW ALUMINUM FRAME FOLDING GLASS DOOR SYSTEM- BASIS OF DESIGN NANA WALL SL 70. GLAZING TO BE 1" TEMPERED INSULATED IGU'S WITH LOW-E COATING ON #2 SURFACE. FRAME FINISH SHALL BE CLASS 1 CLEAR ANODIZED FINISH OR AAMA 2605 PAINTED FINISH THAT MATCHES A CLEAR ANODIZED FINISH.
- D. SEAL ALL OPENING PERIMETERS WITH APPROVED NON STAINING SILICONE SEALANT.
- E. NEW ALUMINUM COPING WITH AAMA 2605 FINISH.
- F. PASS THROUGH OPENING WITH ALUMINUM FRAME FOLD UP WINDOW.

26. NEW TEMPERED GLASS RAILING SYSTEM:

- A. ROOF TOP PATIO RAILING SYSTEM TO BE TEMPERED GLASS FRAMELESS RAILING SYSTEM WITH STAINLESS STEEL TOP RAIL.

27. PENTHOUSE ROOF ADDITION ACCESS LADDER:

- A. NEW FIXED ALUMINUM ROOF ACCESS LADDER WITH PARAPET PLATFORM AND ROOFSIDE RETURN. PROVIDE SECURITY DOOR AT BASE WITH LOCK.
- B. FINISH - MILL FINISH.

28. NEW ALUMINUM COPING:

- A. NEW AAMA 2605 PREFINISHED ALUMINUM PARAPET COPING WITH CONTINUOUS HOLD DOWN CLEATS ON NEW PENTHOUSE STRUCTURES AND EXISTING ELEVATOR PENTHOUSE STRUCTURE.
- B. COPING SYSTEM SHALL MEET ANSI/SPRI ES-1 REQUIREMENTS.

29. REPLACEMENT HOLLOW METAL DOOR AND FRAME:

- A. REMOVE EXISTING HOLLOW METAL DOOR AND FRAME.
- B. INSTALL NEW HOLLOW METAL DOOR AND FRAME.
- C. COAT WITH APPROVED COATING SYSTEM. COLOR TO BE SELECTED BY ARCHITECT.

30. NEW EXTERIOR LIGHT FIXTURES:

- A. NEW NARROW SPOT LED FLOOD LIGHT FIXTURES.
- B. MOUNT FIXTURE TO BRICK PIER BETWEEN WINDOWS.
- C. COLOR TO MATCH EXISTING BRICK COLOR CLOSELY.

31. EXISTING OR NEW ROOF MOUNTED DAVIT SYSTEM BASE AND TIE OFF RELOCATION: ALONG WEST WALL:

- A. NEW PENTHOUSE WILL REQUIRE EXISTING DAVIT SYSTEMS AND TIE OFFS TO BE REPLACED WITH NEW ON NEW PENTHOUSE ROOF ALONG THE WEST WALL WHERE NEW PENTHOUSE STRUCTURE WILL BE CONSTRUCTED.
- B. SEE REFERENCED DETAILS.

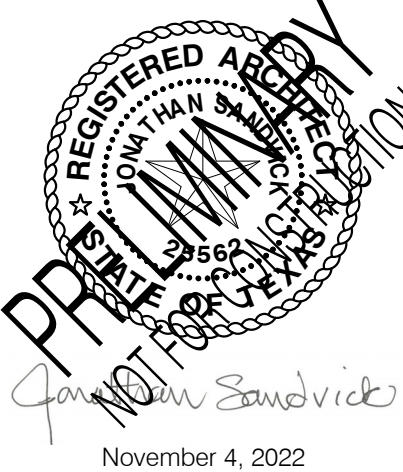
32. TREATMENT OF EXISTING ROOF MOUNTED DAVIT SYSTEMS TO REMAIN:

- A. MAKE REPAIRS TO EXISTING TIE OFF AND DAVIT ARM BASES TO REMAIN AS INSTRUCTED BY STRUCTURAL ENGINEER.
- B. SEE REFERENCE DETAILS.

| ISSUE DATE: |                    |  |
|-------------|--------------------|--|
| 2022-11-4   | Demolition Package |  |
| 2022-12-9   | GMP Issue          |  |
| 2023-2-3    | ARCH-3 DD          |  |

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

|                |         |
|----------------|---------|
| Project Number | 0885    |
| Drawn By       | Author  |
| Checked By     | Checker |



|                 |                                       |
|-----------------|---------------------------------------|
| TITLE:          | Exterior Repair and Restoration Notes |
| DRAWING NUMBER: | A3.0.1                                |
| SCALE:          | 12" = 1'-0"                           |





## 145 Navarro Street

San Antonio, TX 78205

AN HISTORIC TAX CREDIT PROJECT

|           |                    |
|-----------|--------------------|
| 2022-11-4 | Demolition Package |
| 2022-12-9 | GMP Issue          |
| 2023-2-3  | ARCH-3 DD          |

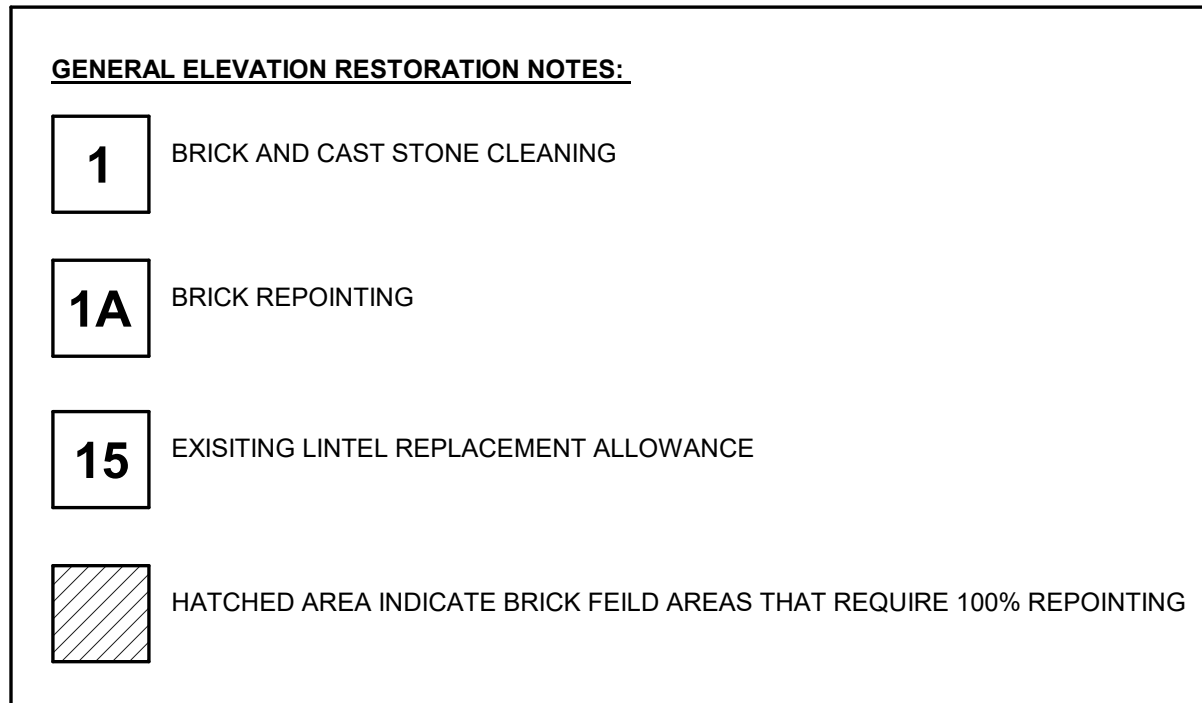
[illegible]

NOT FOR PUBLICATION

South Elevation

### A3.1

CALE: As indicated






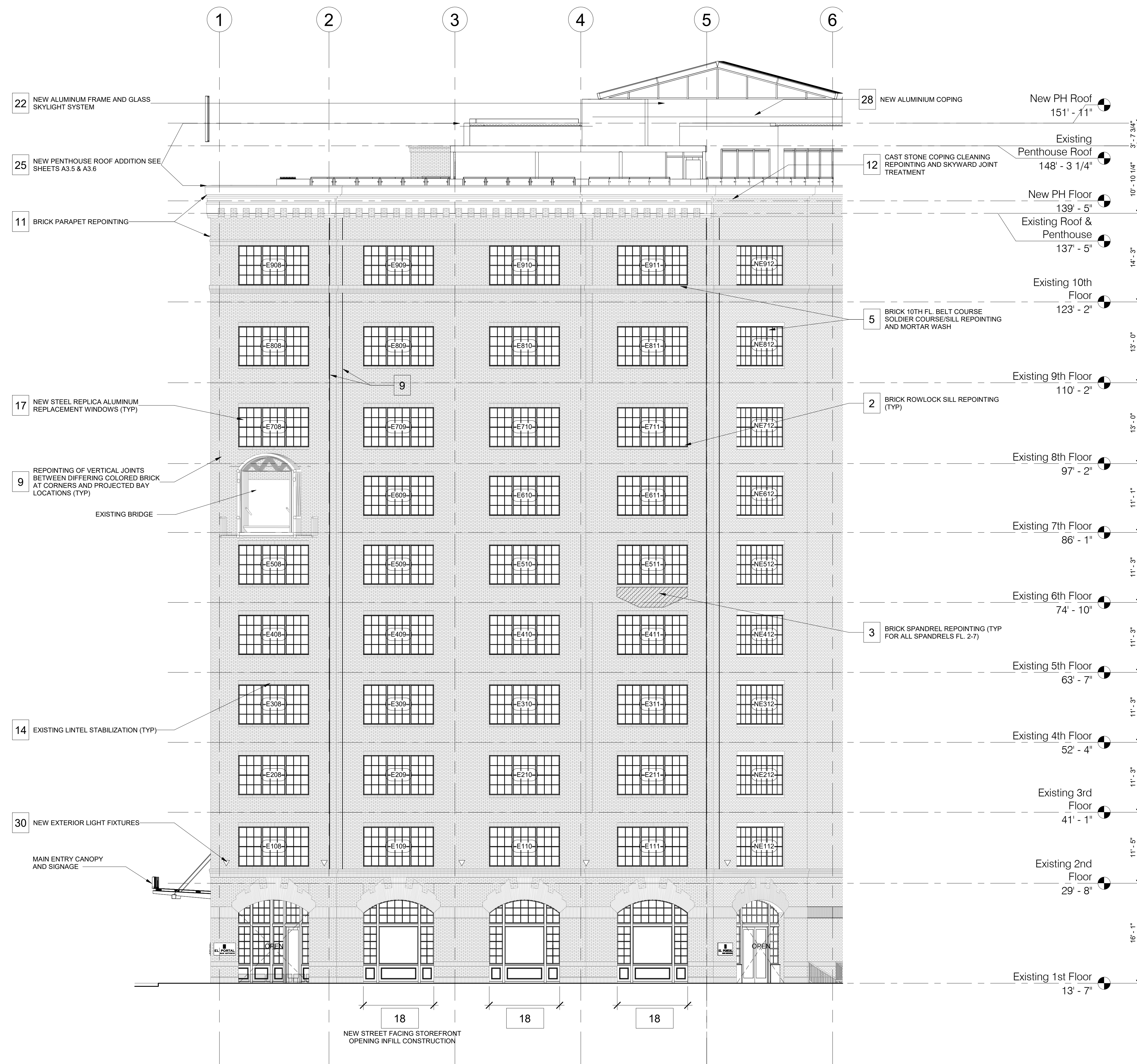


The Historic AB Frank Building  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

[illegible]



 JONATHAN SANDVICK  
 29562  
 STATE OF MARYLAND  
 Department of Transportation  
 Jonathan Sandvick  
 November 4, 2022

SCALE: As indicated



1 East Elevation  
A3.2  $1/8" = 1'-0"$

- GENERAL ELEVATION RESTORATION NOTES:**

  - 1** BRICK AND CAST STONE CLEANING
  - 1A** BRICK REPOINTING
  - 15** EXISTING LINTEL REPLACEMENT ALLOWANCE
  -  HATCHED AREA INDICATE BRICK FIELD AREAS THAT REQUIRE 100% REPOINTING



**The Historic AB Frank Building**  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

**ISSUE DATE:**  
2022-11-4 Demolition Package  
2022-12-9 GMP Issue  
2023-2-3 ARCH-3 DD

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

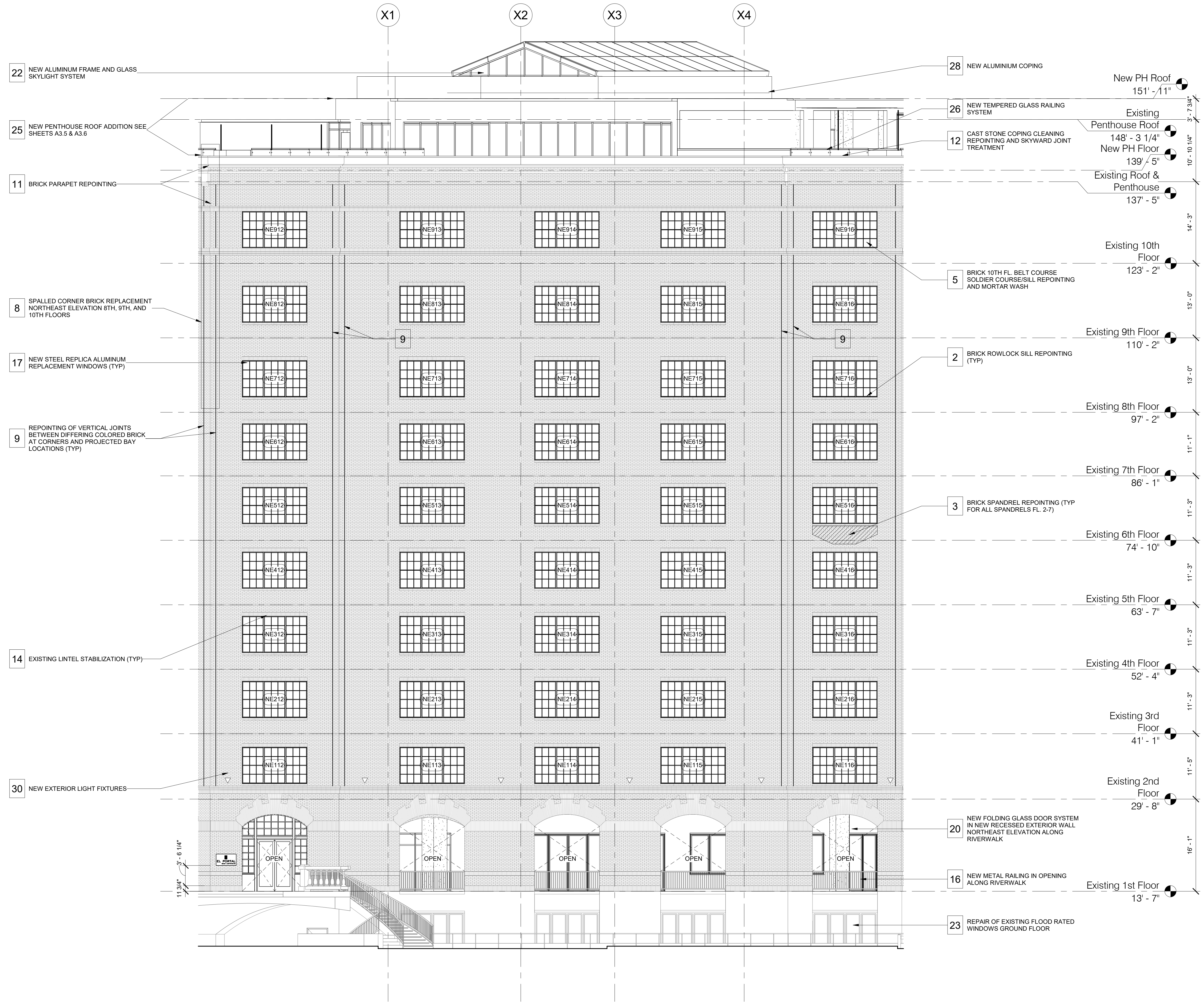
Project Number 0885  
Drawn By SA Team  
Checked By TRW

**PROFESSIONAL SEAL**  
REGISTERED ARCHITECT  
NOVEMBER 4, 2022  
November 4, 2022

TITLE:  
**Northeast Elevation**

DRAWING NUMBER:  
**A3.3**

SCALE: As indicated



**1** Northeast Elevation  
A3.3  
1/8" = 1'-0"  
0 2' 4' 8' 16"

- GENERAL ELEVATION RESTORATION NOTES:**
- 1** BRICK AND CAST STONE CLEANING
  - 1A** BRICK REPOINTING
  - 15** EXISTING LINTEL REPLACEMENT ALLOWANCE
  - HATCHED AREA INDICATE BRICK FIELD AREAS THAT REQUIRE 100% REPOINTING

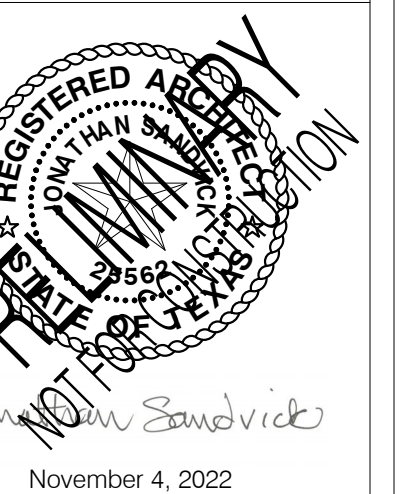


**The Historic AB Frank Building**  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

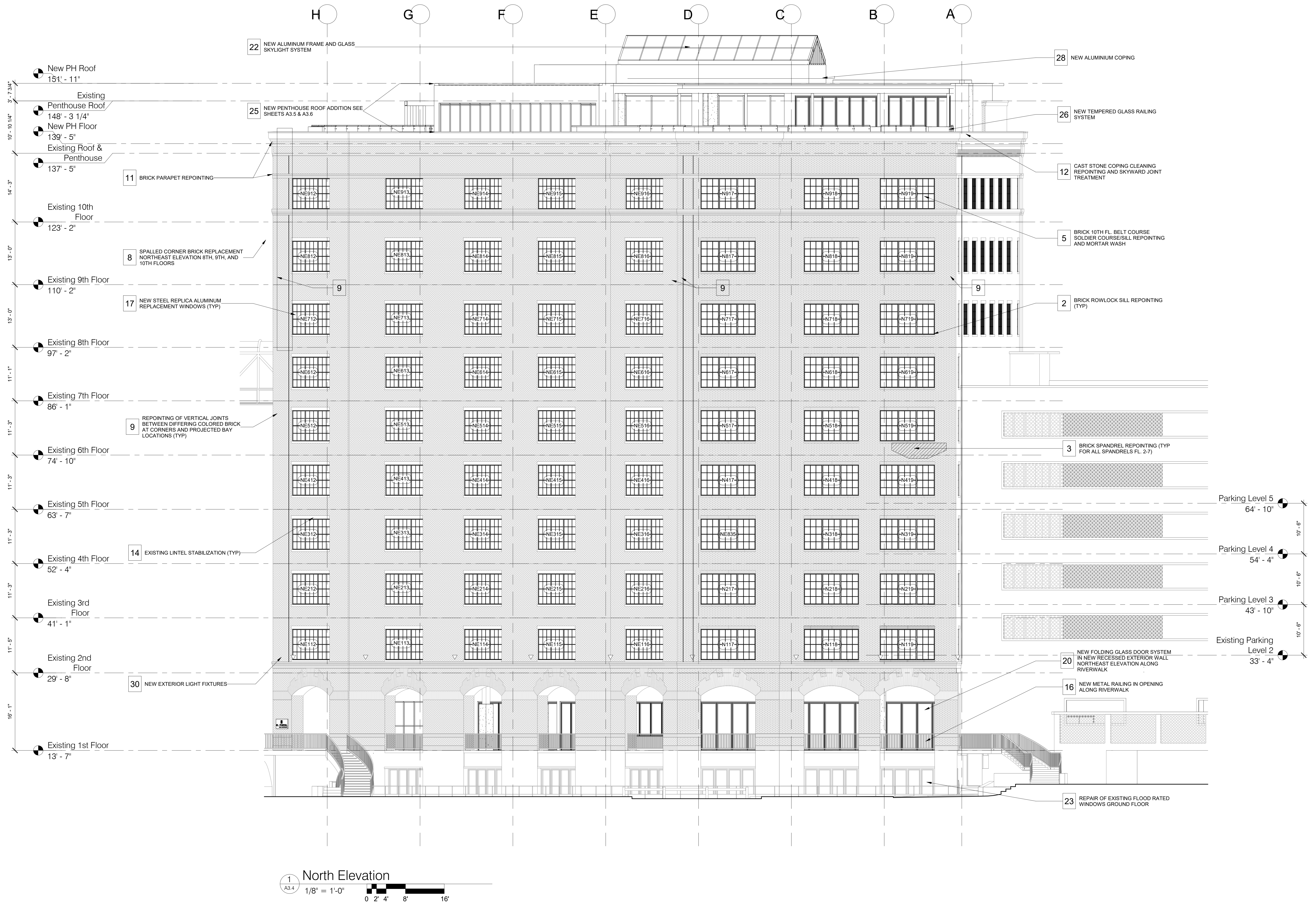
ISSUE DATE:  
2022-11-4 Demolition Package  
2022-12-9 GMP Issue  
2023-2-3 ARCH-3 DD

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

Project Number 0885  
Drawn By SA Team  
Checked By TRW



TITLE:  
North Elevation  
DRAWING NUMBER:  
A3.4  
SCALE: As indicated



- GENERAL ELEVATION RESTORATION NOTES:**
- 1 BRICK AND CAST STONE CLEANING
  - 1A BRICK REPOINTING
  - 15 EXISTING LINTEL REPLACEMENT ALLOWANCE
  - HATCHED AREA INDICATE BRICK FIELD AREAS THAT REQUIRE 100% REPOINTING



**The Historic AB Frank Building**  
145 Navarro Street  
San Antonio, TX 78205  
AN HISTORIC TAX CREDIT PROJECT

ISSUE DATE:

|           |                    |
|-----------|--------------------|
| 2022-11-4 | Demolition Package |
| 2022-12-9 | GMP Issue          |
| 2023-2-3  | ARCH-3 DD          |
|           |                    |
|           |                    |
|           |                    |
|           |                    |

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

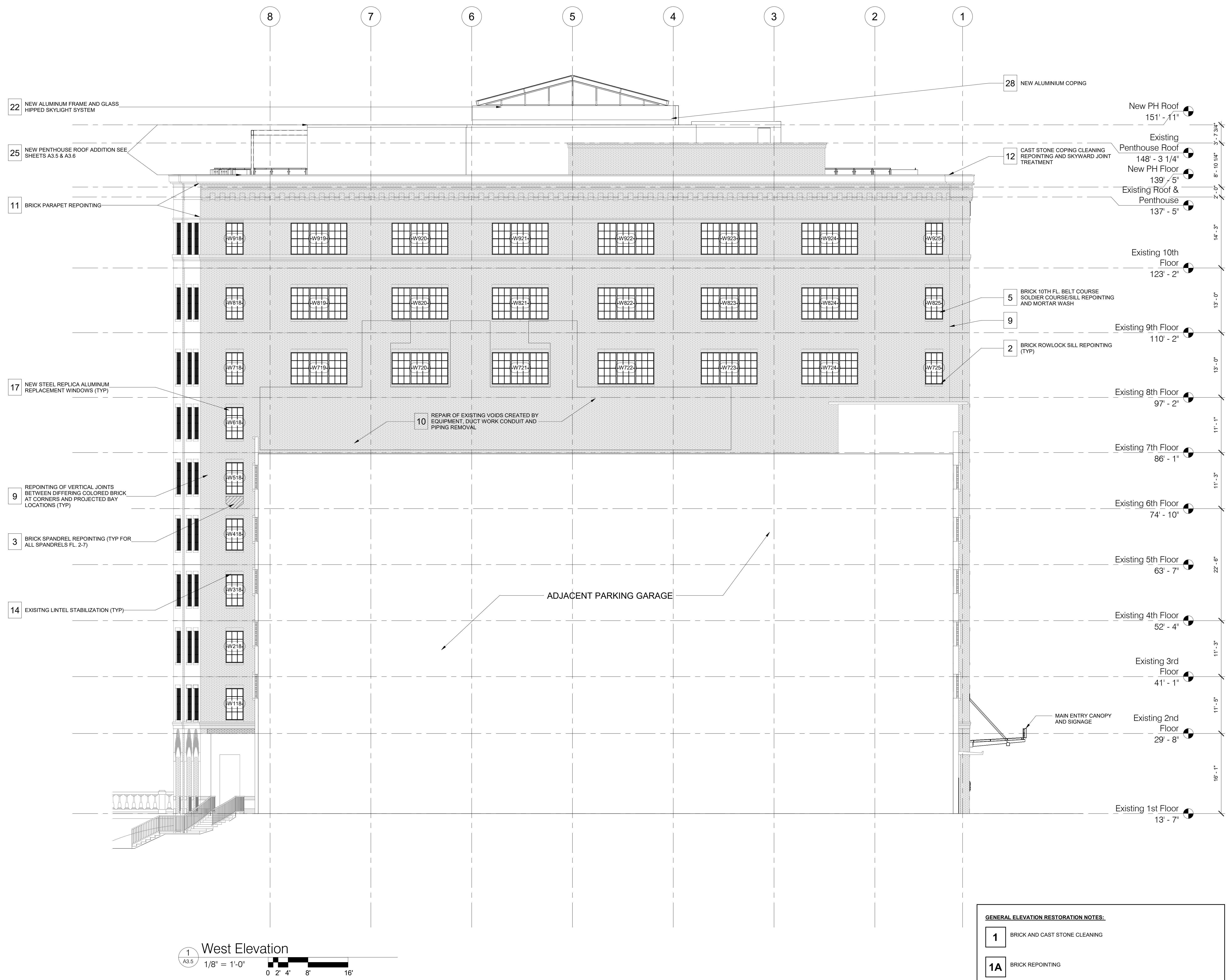
|                |         |
|----------------|---------|
| Project Number | 0885    |
| Drawn By       | SA Team |
| Checked By     | TRW     |

**PROFESSIONAL SEAL**  
REGISTERED ARCHITECT  
JAMES M. SANDVICK  
NOVEMBER 4, 2022

TITLE:  
**West Elevation**

DRAWING NUMBER:  
**A3.5**

SCALE: As indicated



**West Elevation**  
1/8" = 1'-0"  
0 2' 4' 8' 16'

- GENERAL ELEVATION RESTORATION NOTES:**
- 1** BRICK AND CAST STONE CLEANING
  - 1A** BRICK REPOINTING
  - 15** EXISTING LINTEL REPLACEMENT ALLOWANCE
  - HATCHED AREA INDICATE BRICK FIELD AREAS THAT REQUIRE 100% REPOINTING



ISSUE DATE:

2022-11-4 Demolition Package  
2022-12-9 GMP Issue  
2023-2-3 ARCH-3 DD

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

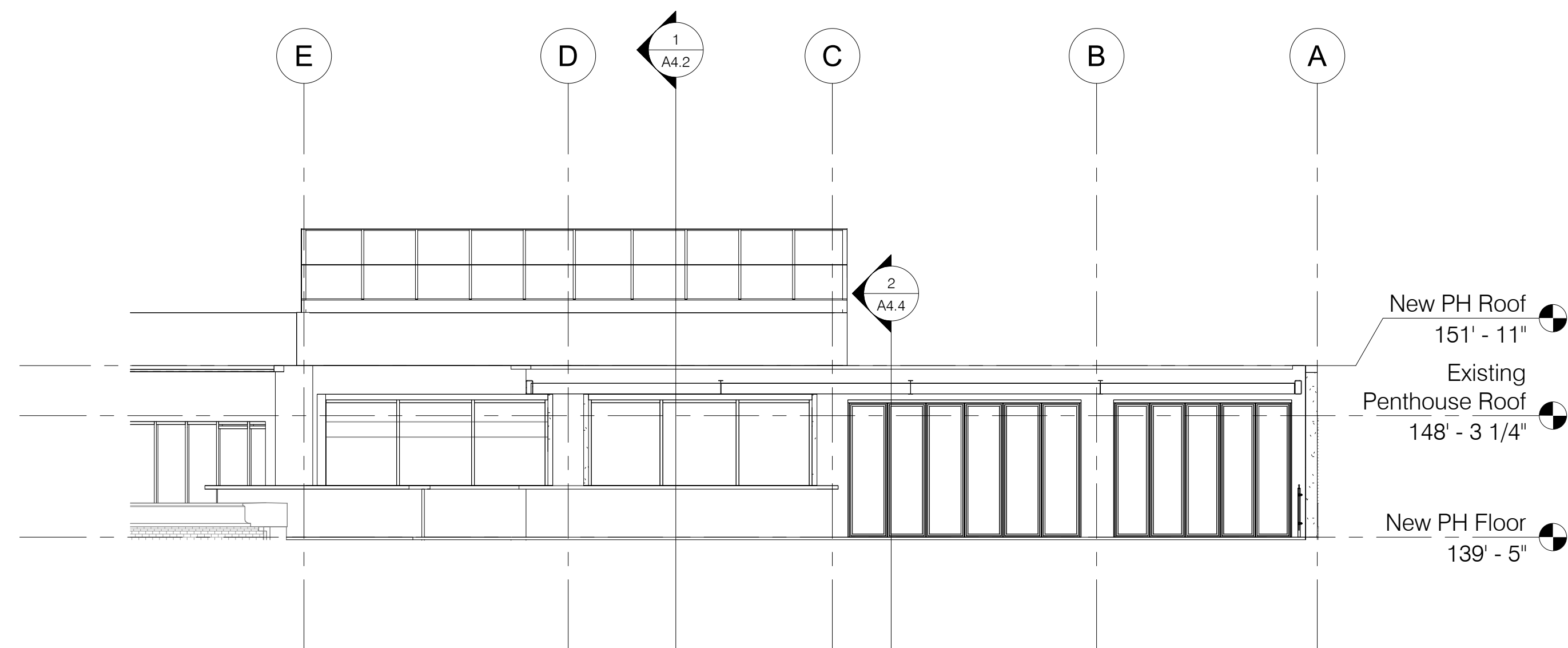
Project Number 0885  
Drawn By SA Team  
Checked By TRW

**PRELIMINARY**  
NO FOR CONSTRUCTION  
November 4, 2022

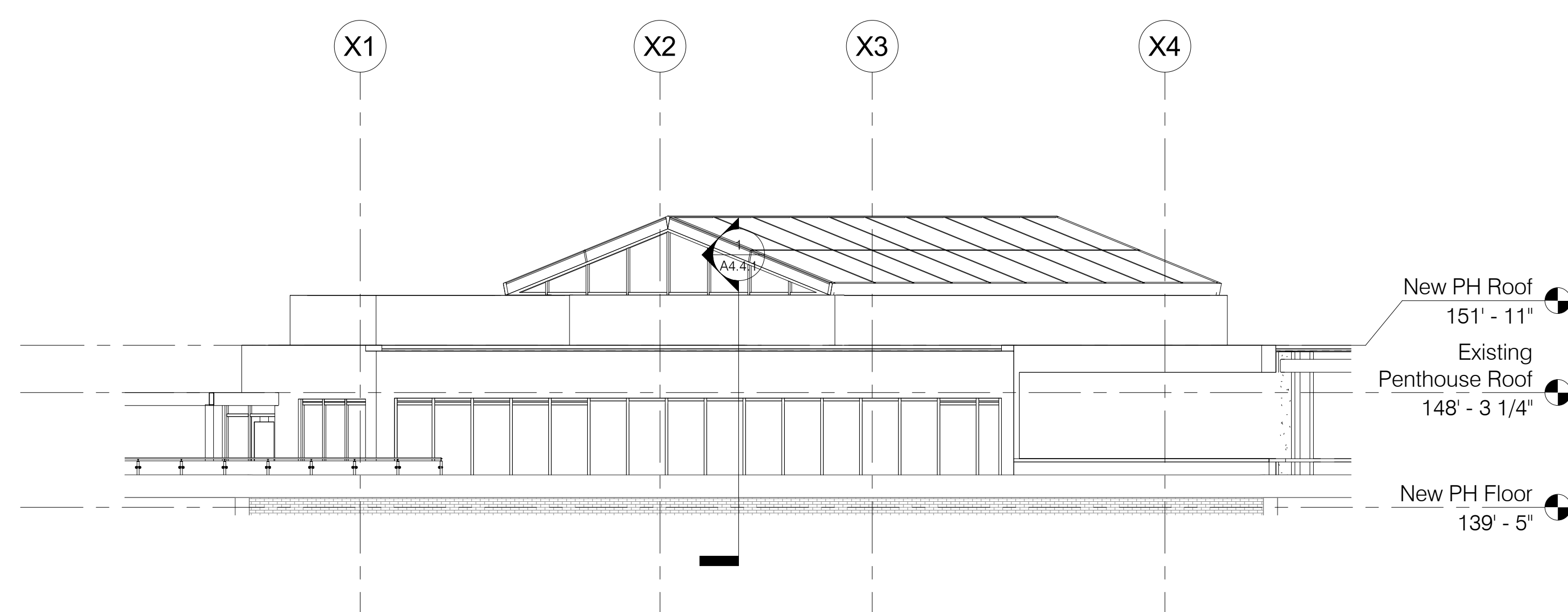
TITLE:  
Penthouse &  
Lightwell Elevations

DRAWING NUMBER:  
A3.6

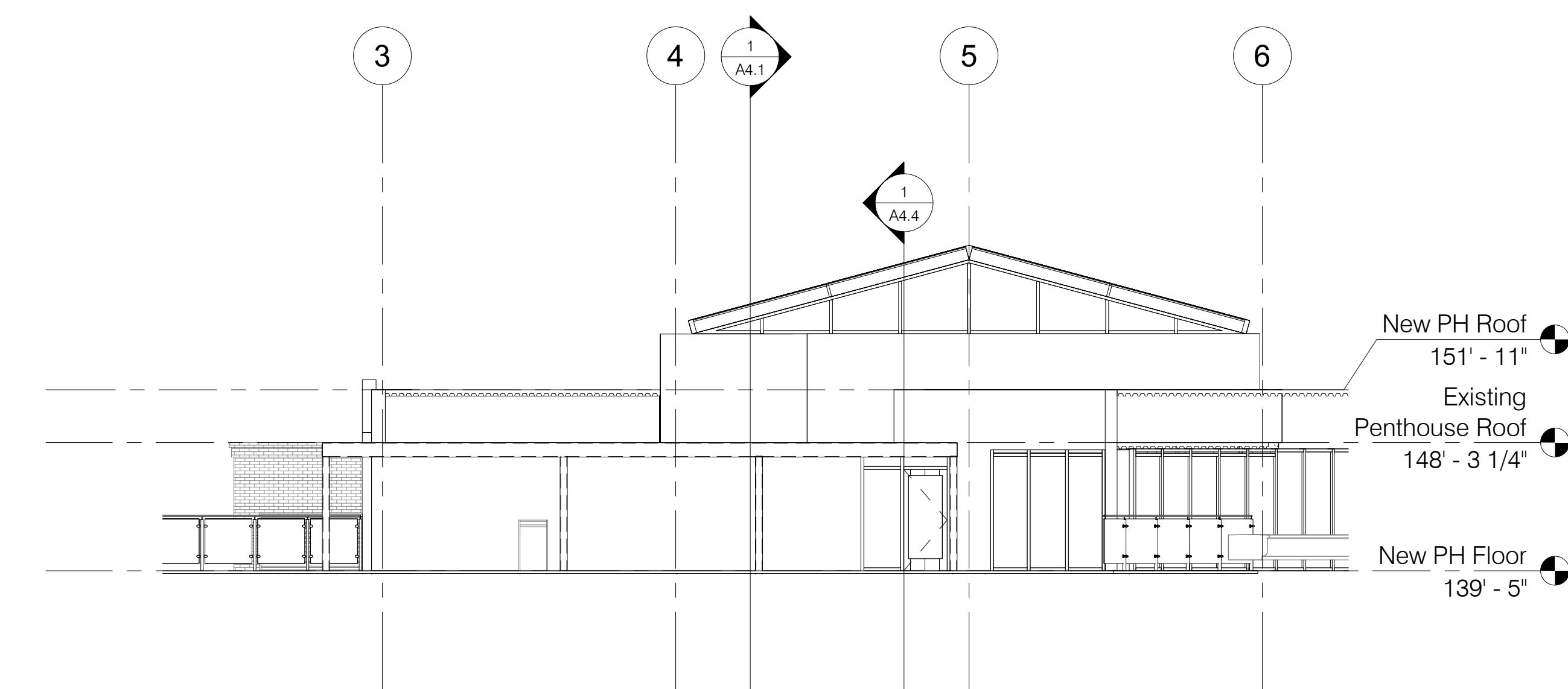
SCALE: 1/8" = 1'-0"



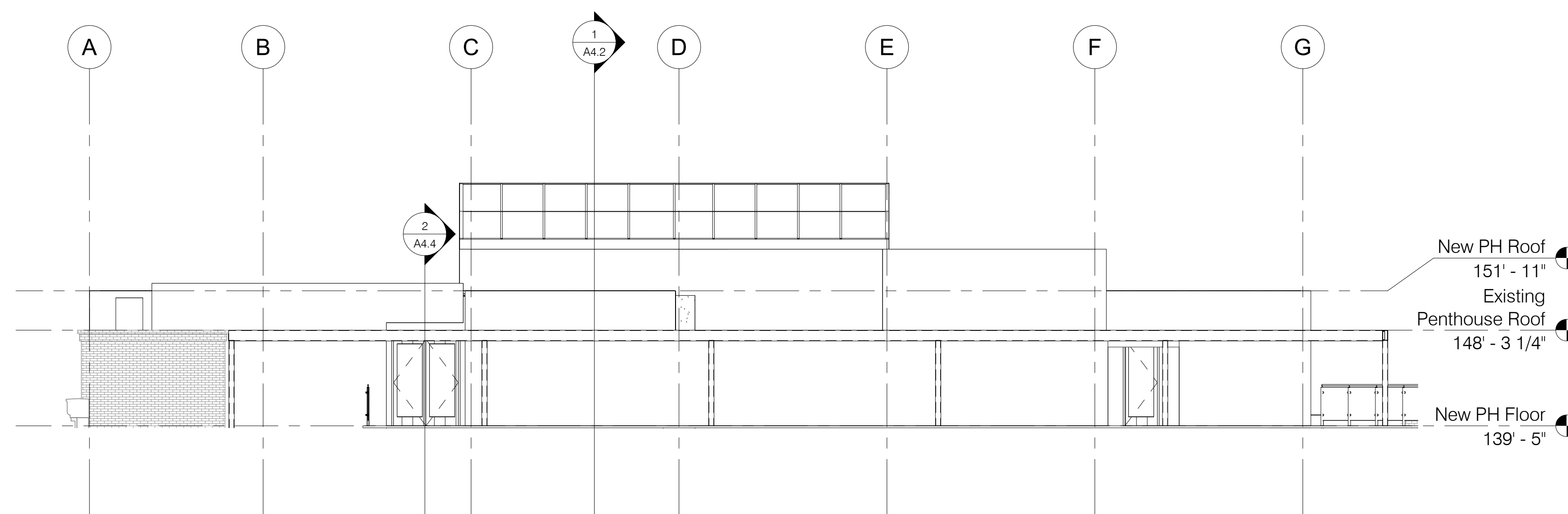
1 North Elevation - Penthouse  
1/8" = 1'-0"  
0 2' 4' 8' 16'



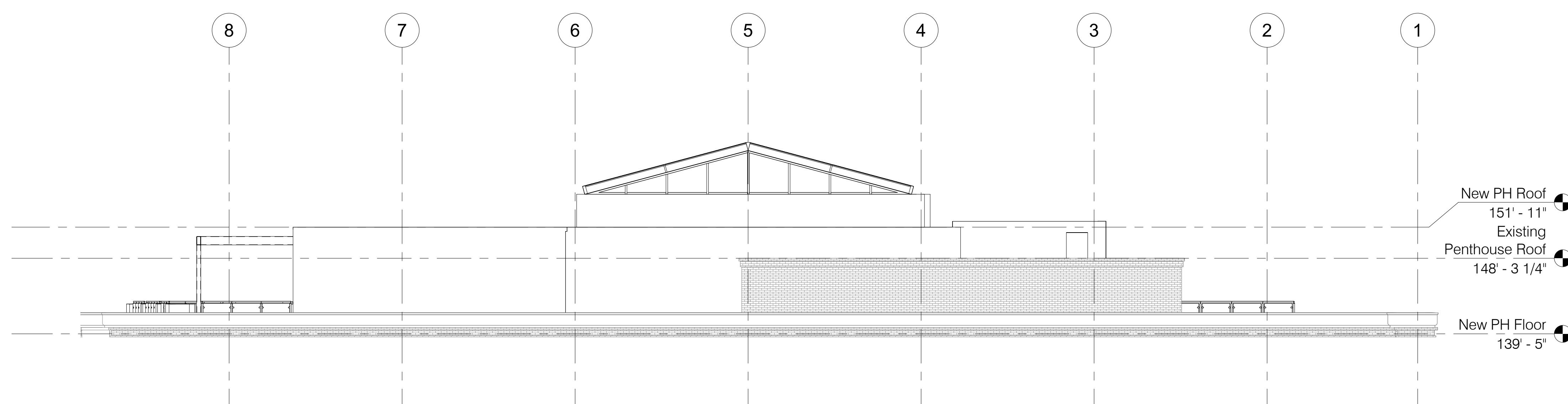
2 Northeast Elevation - Penthouse  
1/8" = 1'-0"  
0 2' 4' 8' 16'



3 East Elevation - Penthouse  
1/8" = 1'-0"  
0 2' 4' 8' 16'

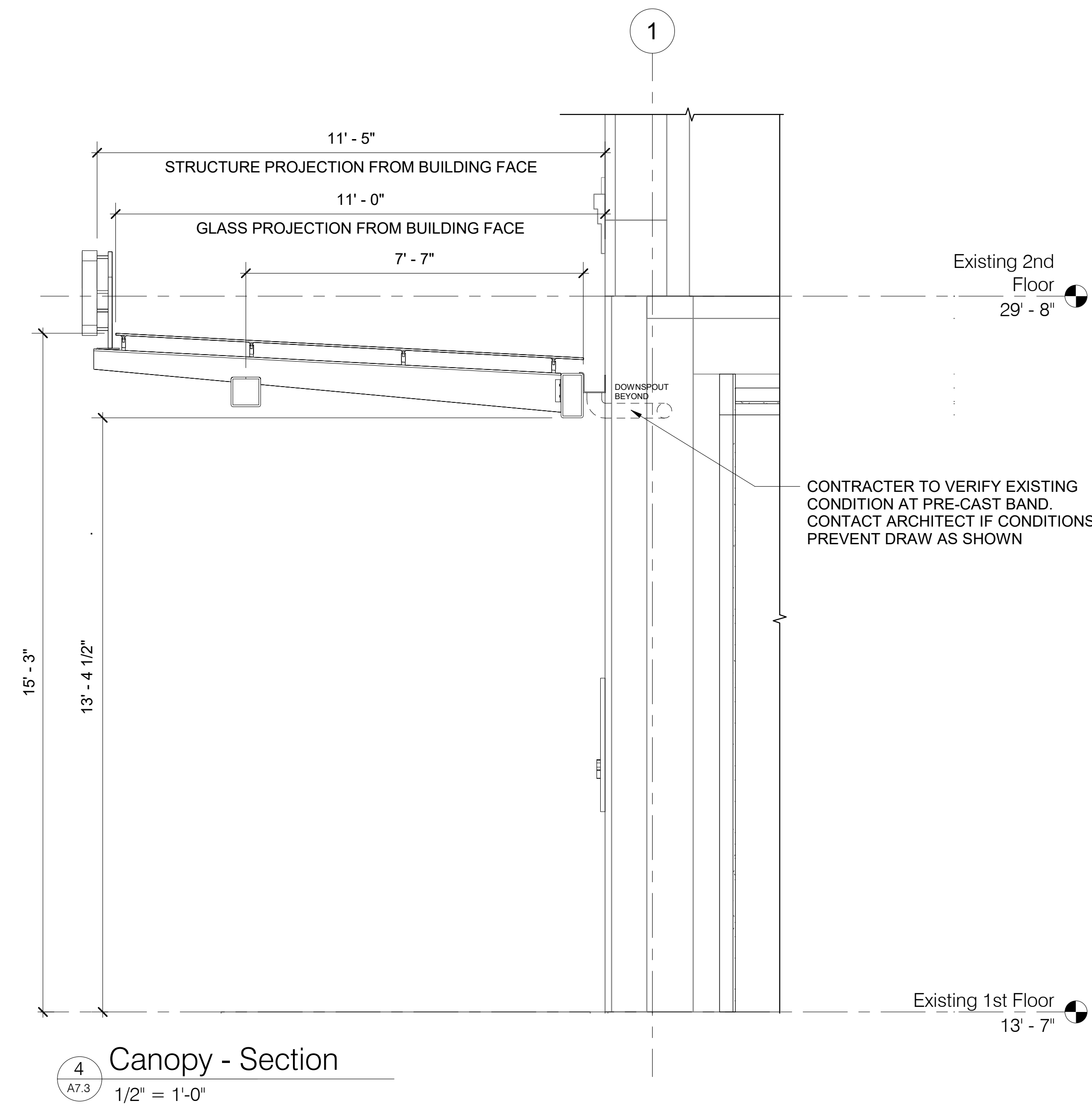
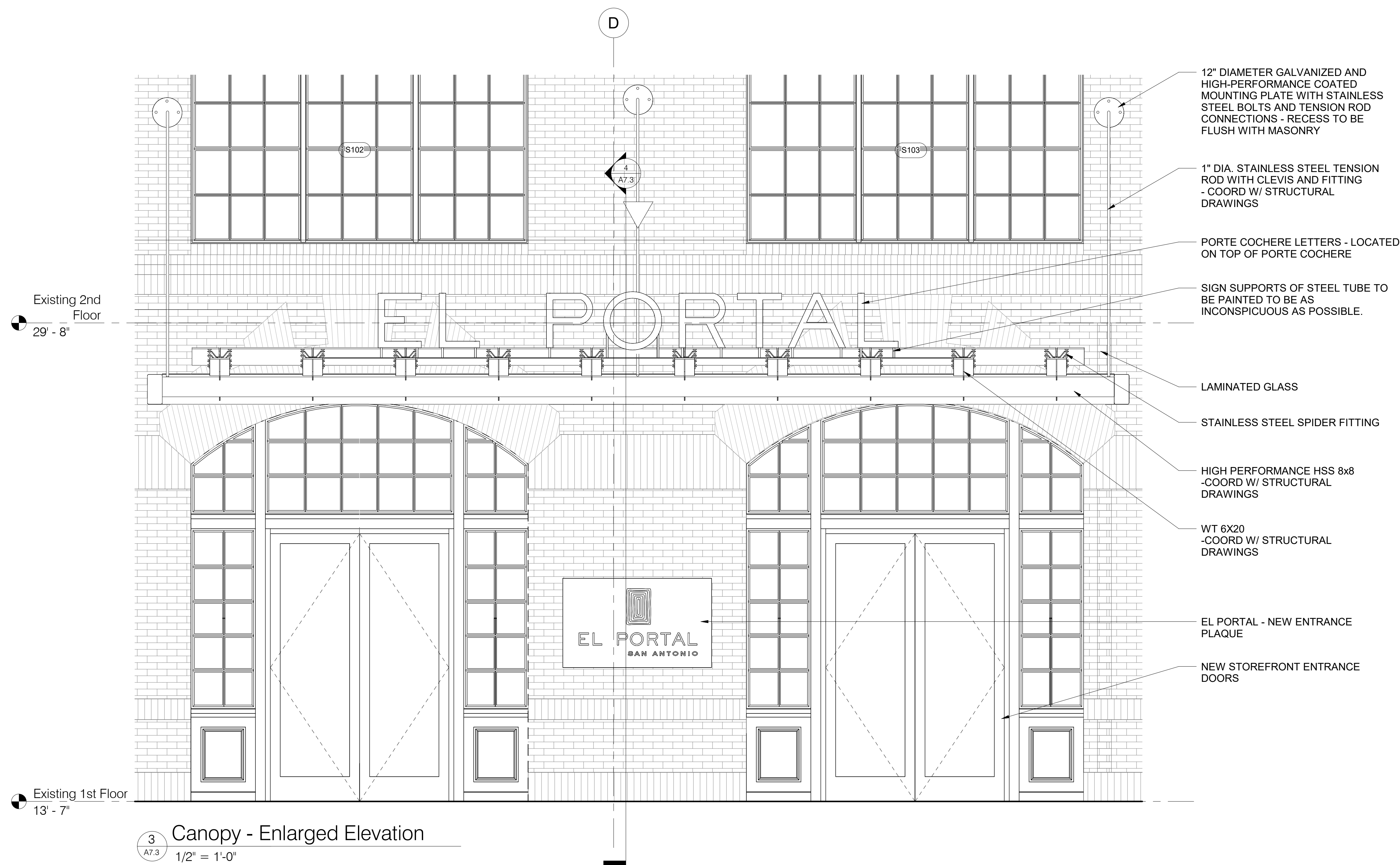
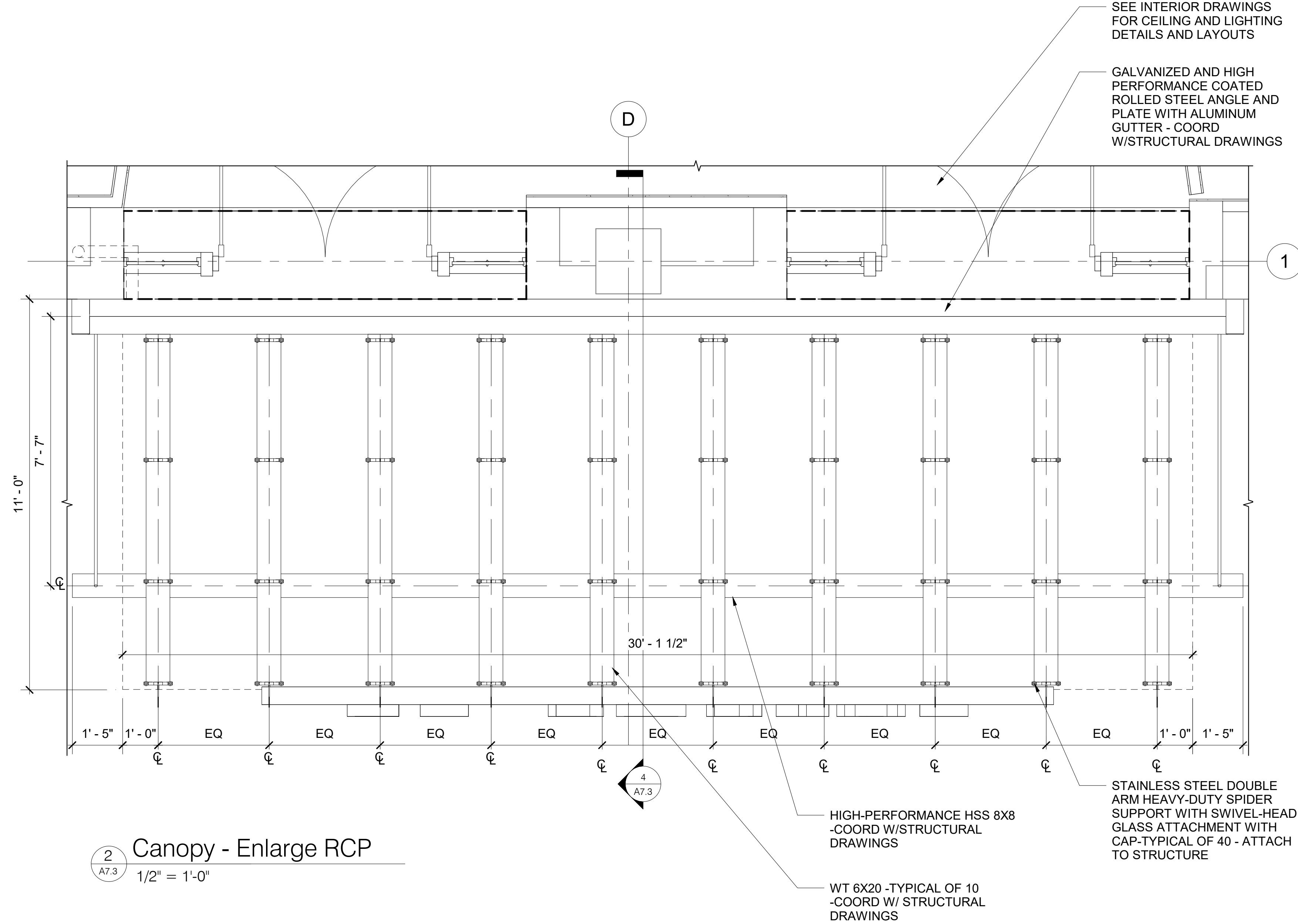
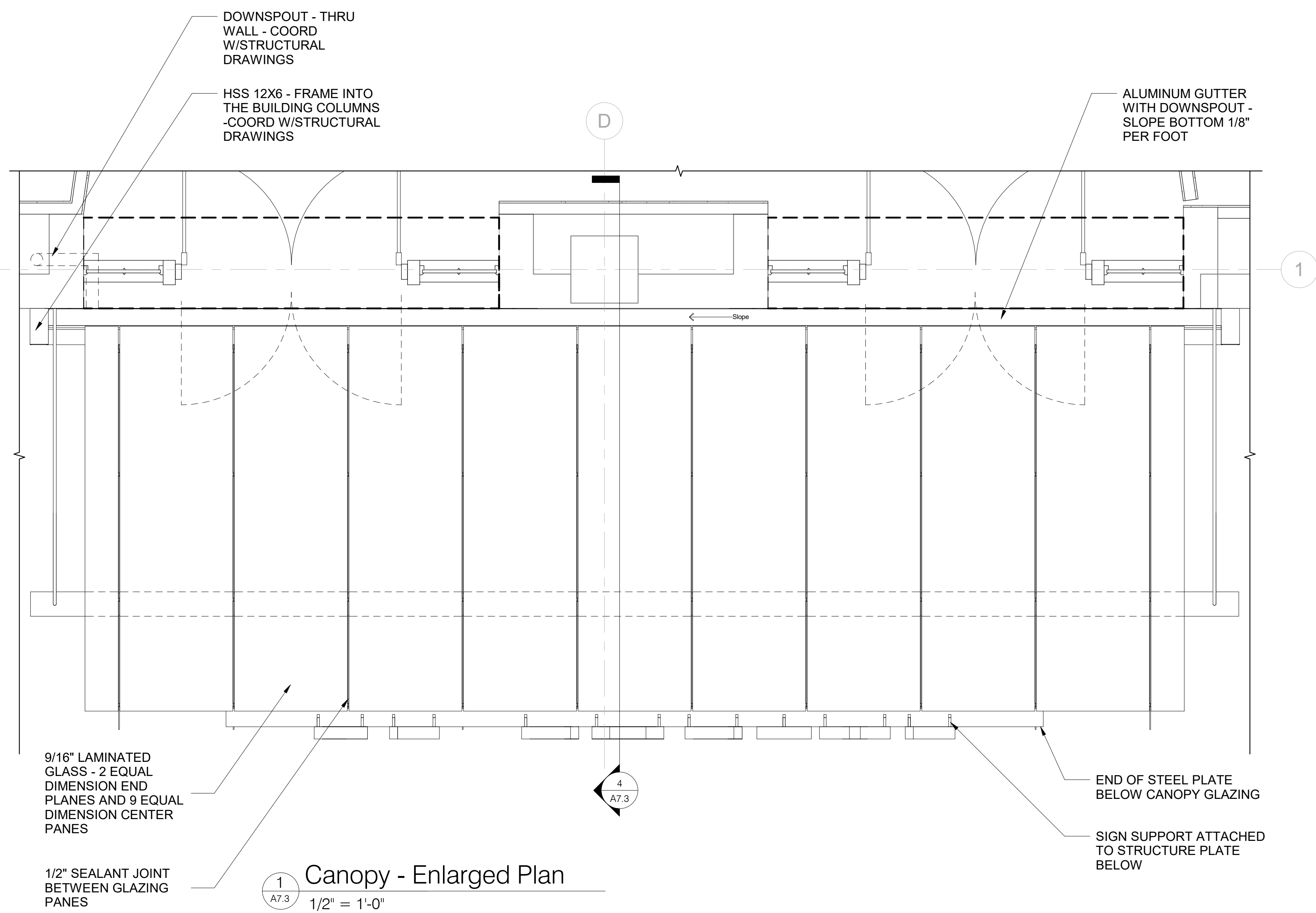


4 South Elevation - Penthouse  
1/8" = 1'-0"  
0 2' 4' 8' 16'



5 West Elevation - Penthouse  
1/8" = 1'-0"  
0 2' 4' 8' 16'





| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

Project Number 0885  
Drawn By SA Team  
Checked By TRW



TITLE:  
Canopy Plan & Details

DRAWING NUMBER:  
A7.3

SCALE: 1/2" = 1'-0"