



NOT FOR CONSTRUCTION, PERMITTING, OR REGULATORY USE.

ASHBY PLACE

741 & 725 W. ASHBY PLACE
SAN ANTONIO, TX 78212

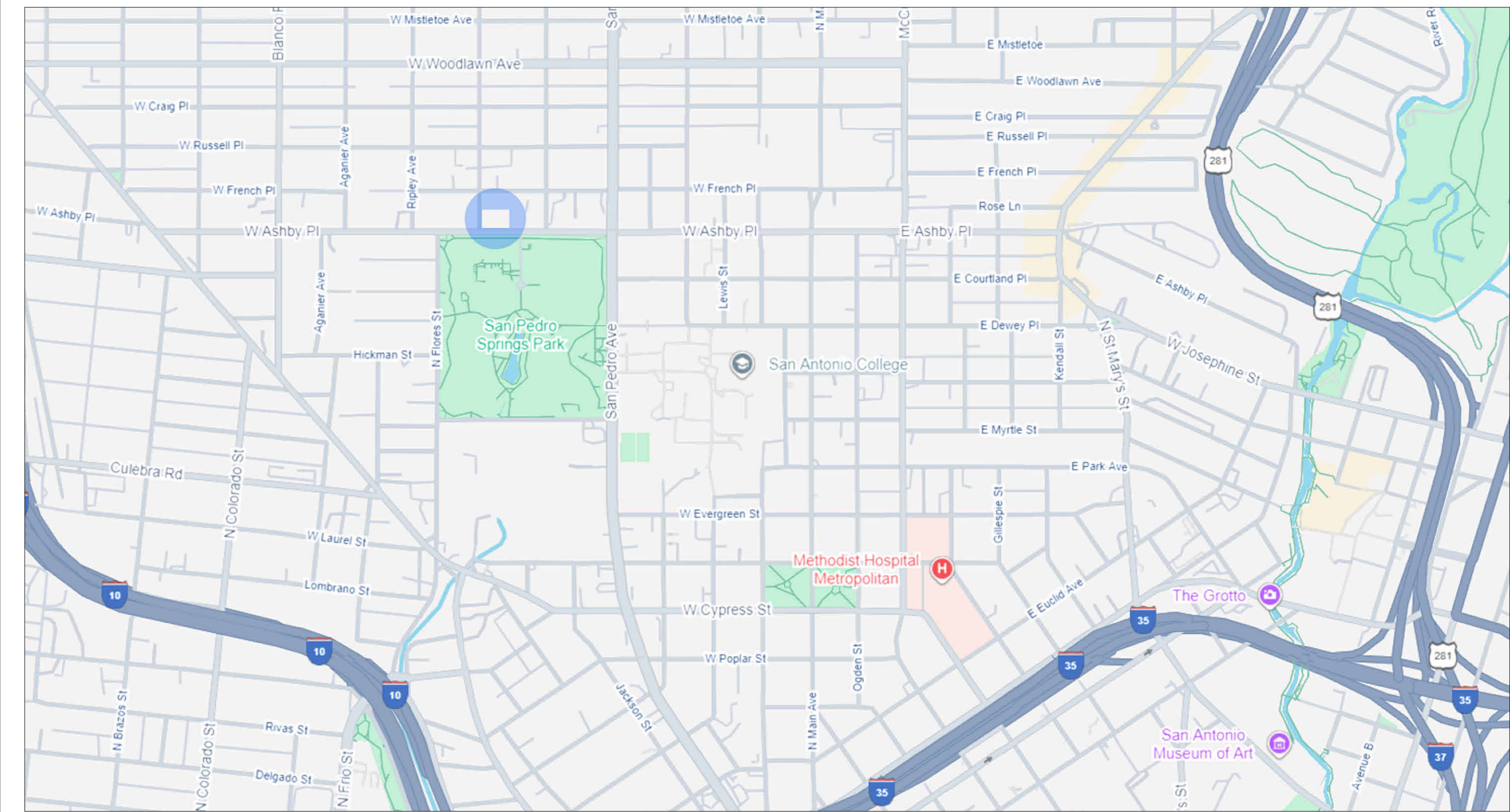
04.01.26

 PRE
HOSPITALITY

GENERAL NOTES

1. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS OR SPECIFICATIONS, ADDENDUM, BULLETINS, OR OTHER DOCUMENT, SHALL BE AS BINDING AS IF REQUIRED BY ALL. CONTRACTOR SHALL USE ONLY COMPLETE SETS OF CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM OF WORK.
2. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODE, ORDINANCE, A.D.A., T.A.S AND REGULATIONS OF ALL GOVERNING BODIES. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY.
4. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT. OWNER (CARPENTER CARPENTER) SHALL PAY FOR BUILDING PERMIT.
5. WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR AND ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
6. THE OWNER SHALL NOT BE LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTORS FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
7. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER OF THE OTHER PROPERTY.
8. THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION PROPERLY AND PROVIDE ALL SUITABLE FILL MATERIAL AS APPROVED BY THE SOILS ENGINEER, AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
9. EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT, OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.
10. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT THE CONTRACTOR SHALL REPLACE OR REPAIR ANY WORK OR MATERIAL FOUND TO BE DEFECTIVE.
11. CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE IS USING ARE THE VERY LATEST PLANS AND SPECIFICATIONS.
12. SHOULD THE CONTRACTOR ENCOUNTER CONFLICTS BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
13. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURE AT THE SITE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE OWNER OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED, IF EXISTING UTILITY CONSTRUCTION CONFLICTS WITH REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
14. INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS EXCEPT THAT THE SPECIFICATIONS, WHERE MORE STRINGENT, SHALL GOVERN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, WATER AND ELECTRICITY FOR ALL PROJECT FUNCTIONS, OFFICE, STORAGE, ETC.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, FAX MACHINE, TOILET, VALVES, OR OTHER DEVICES NECESSARY TO RUN POWER TOOLS AND EQUIPMENT. SUCH MODIFICATIONS TO EXISTING UTILITIES SHALL BE REMOVED AT COMPLETION OF THE PROJECT.
17. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT IN A TIMELY MANNER THAT WILL ALLOW NOT LESS THAN TEN DAYS FOR REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT CORRECT NUMBER REQUIRED, BUT NOT LESS THAN FOUR COPIES.
18. THE GENERAL CONTRACTOR SHALL PROVIDE STREET NUMBERING ON THE BUILDING IN COMPLIANCE WITH LOCAL AUTHORITY.
19. ALL PENETRATIONS THRU WALLS SHALL BE SEALED AIR/WATER TIGHT AND CAULKED WITH TWO PART SEALANT EACH SIDE.
20. THE GENERAL CONTRACTOR SHALL PROVIDE ONE COPY OF AS-BUILT DRAWINGS TO THE OWNER AT THE COMPLETION OF THE PROJECT. AS-BUILT DRAWINGS SHALL BE KEPT ON THE JOB AT ALL TIMES AND UPDATED THROUGHOUT THE CONSTRUCTION PHASE.
21. UNLESS NOTED OTHERWISE, SITE PLAN DIMENSIONS, ARE TO FACE OF CURB. FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS, FRAMING, MASONRY, CONCRETE WALL PANELS, OR FOUNDATION WALLS.
22. SPECIAL INSPECTIONS NOTE:
AT THE COMPLETION OF CONSTRUCTION, A FINAL REPORT OF REQUIRED SPECIAL INSPECTIONS PREPARED BY THE REGISTERED DESIGN PROFESSION IN RESPONSIBLE CHARGE THAT CONFIRMS THAT THE LISTED REQUIRED SPECIAL INSPECTIONS HAVE BEEN CONDUCTED AND COMPLETED WILL BE SUBMITTED TO THE BUILDING OFFICIAL, VIA THE OWNER. IT IS OUR UNDERSTANDING THAT A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED BY THE CITY OF SAN ANTONIO UNTIL THIS FINAL REPORT IS RECEIVED. REFER TO DOCUMENT LABELED "DETERMINATION OF REQUIRED SPECIAL INSPECTIONS" AS WELL AS STRUCTURAL SHEET OR REQUIRED INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DOCUMENTATION THAT ALL REQUIRED INSPECTIONS HAVE BEEN CONDUCTED AND ALL REPORTED NON-COMPLYING ITEMS HAVE BEEN RESOLVED.
23. GOVERNING CODE AND FIRE DEPARTMENT, FIELD INSPECTORS SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS.
24. ALL EXPOSED ELECTRICAL EQUIPMENT, CONDUITS, PLUMBING LINES, ETC. SHALL BE PAINTED W/ MIN (2) COATS OF PAINT TO MATCH ADJACENT SURFACES.
25. KNOX BOX-LOCATE PER LOCAL FIRE DEPARTMENT REQUIREMENTS.
26. ANY NON-CONDITIONED OR LOW ENERGY SPACE THAT IS ALTERED TO BECOME CONDITIONED SPACE SHALL BE REQUIRED TO BE BROUGHT INTO FULL COMPLIANCE WITH 2018 IECC. REF. SECTION 503.2.
27. MINIMUM THERMAL RESISTANCE (R-VALUE) OF INSULATING MATERIAL BETWEEN ROOF FRAMING ON ROOF ASSEMBLY SHALL BE R-38. REF. 2018 IECC, TABLE C402.1.3.
28. MINIMUM THERMAL RESISTANCE (R-VALUE) OF INSULATING MATERIAL FOR METAL FRAMED WALLS SHALL BE R-13. REF. 2018 ICCE, TABLE C402.1.3.
29. ALL SIDEWALKS, CURBS, RAMPS, and DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS and CITY of SAN ANTOION DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.

VICINITY MAP



PROJECT INFO.

ADDRESS 741 & 725 W. ASHBY PLACE
SAN ANTONIO, TX 78212

CoSA PARCEL KEY 15004 & 15005
LEGAL DESCRIPTION NCB 1891 BLK 8 LOT 17
ZONING IDZ-2 NCD-2 AHOD

COMMERCIAL 1,267 Sq.Ft.
MULTIFAMILY GROUND FLOOR 4,348 Sq.Ft.
MULTIFAMILY SECOND FLOOR 4,348 Sq.Ft.
TOTAL SQ.FT. 9,969 Sq.Ft.

CODE INFORMATION

APPLICABLE CODES
INTERNATIONAL BUILDING CODE (IEBC) 2024
INTERNATIONAL MECHANICAL CODE (IMC) 2024
NATIONAL ELECTRICAL CODE (NEC) NFPA 70 2020
INTERNATIONAL PLUMBING CODE (IPC) 2024
INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021
OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
TEXAS ACCESSIBILITY STANDARDS (TAS) 2012

CODE ANALYSIS - COMMERCIAL

PROPOSED OCCUPANCY	A-2
TYPE OF CONSTRUCTION	V-B
STORIES ABOVE GRADE	0
ALLOWABLE STORIES (IBC TABLE 504.4)	1
TOTAL AREA	1,267 Sq.Ft.
ALLOWABLE AREA (IBC TABLE 506.2; A-2 NS V-B)	6,000 Sq.Ft.
MINIMUM NUMBER OF EXITS (IBC TABLE 1006.3.2)	2
NUMBER OF EXITS PROVIDED	3
COMMON PATH TRAVEL DISTANCE (IBC 1006.2.1)	75
EXIT ACCESS TRAVEL DISTANCE (IBC 1017.2)	200

PROJECT CONTACTS

OWNER:
ASHBY PLACE OWNER LLC

ARCHITECT:
JAVIER D. ALONSO RA
TBAE #27193
PRE HOSPITALITY
210.602.8440

CONTRACTOR:
HOUSTON CARPENTER
PRE HOSPITALITY
210.355.3312

STRUCTURAL ENGINEER:
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PERSYN ENGINEERING
210.680.4126

MECHANICAL ENGINEER:
IAN C. VOHWINKLE
TEXAS P.E. #103809
MS2 ENGINEERS
210 736-4265

ELECTRICAL ENGINEER:
PATRICK J. HOWARD
TEXAS P.E. #106064
MS2 ENGINEERS
210 736-4265

PLUMBING ENGINEER:
IAN C. VOHWINKLE
TEXAS P.E. #103809
MS2 ENGINEERS
210 736-4265

CIVIL ENGINEER
CHAD RESPONDEK PE
TEXAS P.E. #129700
KFM ENGINEERNG
210.530.1312

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
A000	INDEX SHEET
A001	BUILDING CODE
A100	SITE PLAN
A101	SITE PLAN
A101.	SITE PLAN Copy 1
A103	SITE LIFE SAFTY PLAN
A1.10	LIFE SAFTY PLAN
A1.11	LIFE SAFTY PLAN
A1.20	FLOOR PLAN
A1.21	FLOOR PLAN
A1.22	CEILING PLAN
A1.23	CEILING PLAN
A1.24	FOUNDATION PLAN
A1.25	FRAMING PLAN
A1.26	FRAMING PLAN
A1.27	FRAMING PLAN
A1.28	FRAMING PLAN
A1.29	ROOF PLAN
A1.30	ENLARGED FLOOR PLAN
A1.32	ENLARGED FLOOR PLAN
A1.34	FLOOR PLAN Copy 1
A1.40	EXTERIOR ELEVATIONS
A1.41	EXTERIOR ELEVATIONS
A1.42	EXTERIOR ELEVATIONS
A1.50	BUILDING SECTIONS
A1.51	BUILDING SECTIONS
A1.52	BUILDING SECTIONS
A1.53	WALL SECTIONS
A1.54	STAIR SECTIONS
A3.20	ACCESSORY STRUCTURES
A900	DOOR SCHEDULE
A901	WINDOW SCHEDULE

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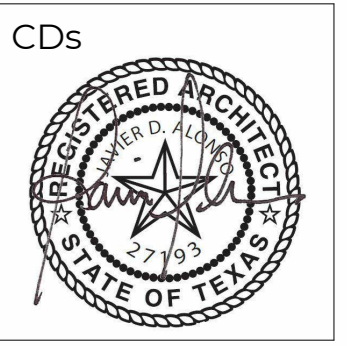
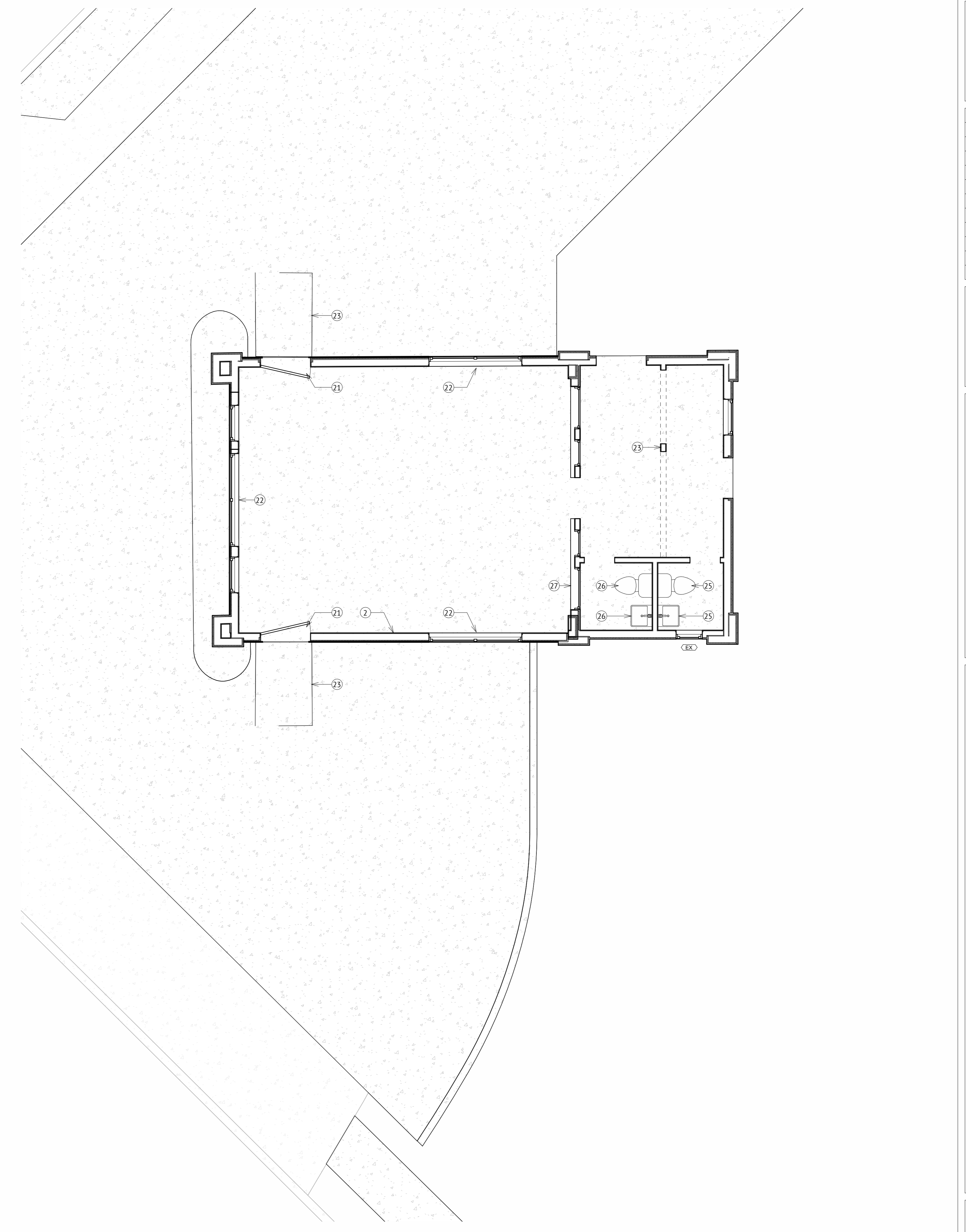
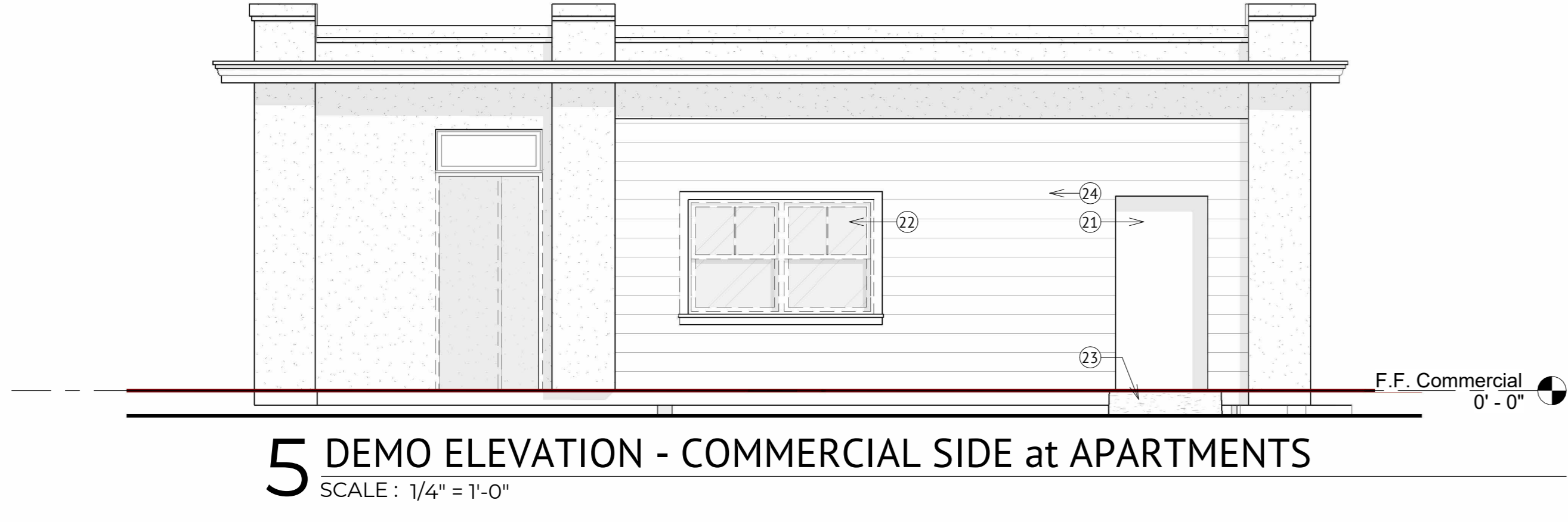
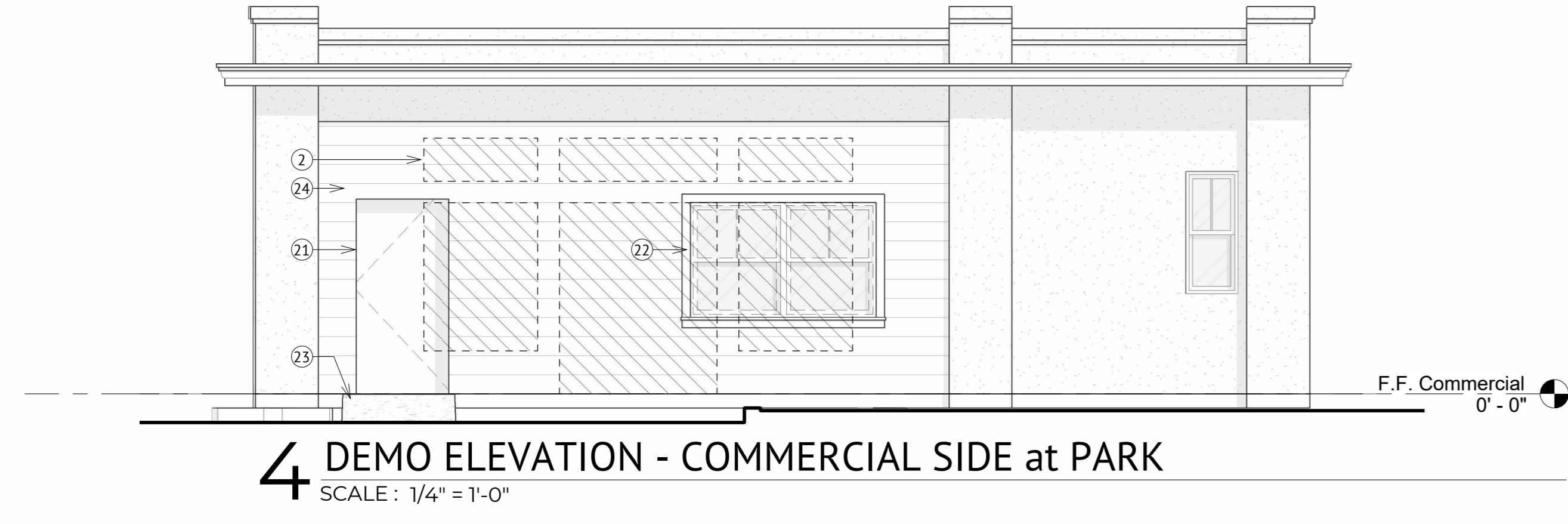
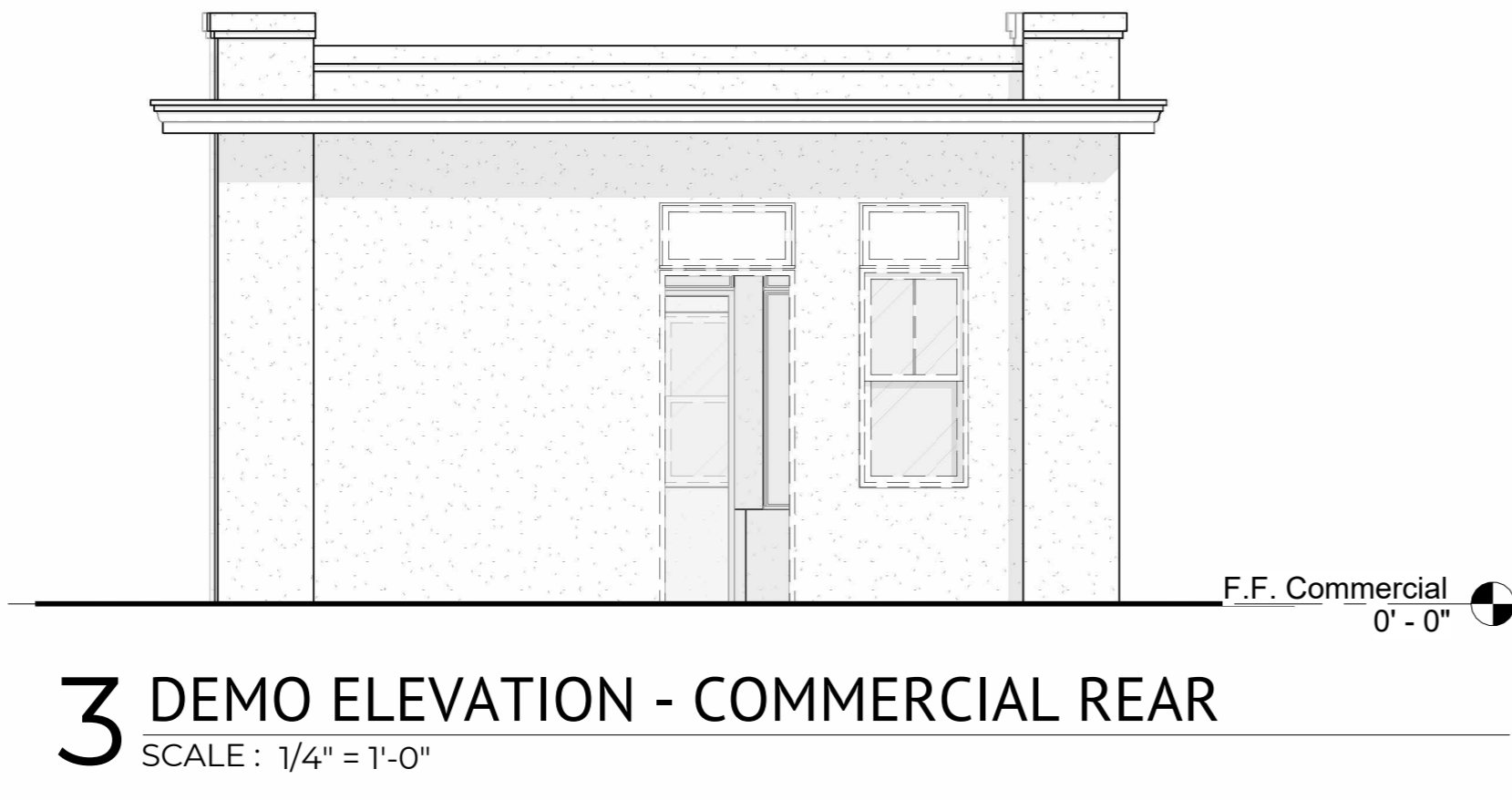
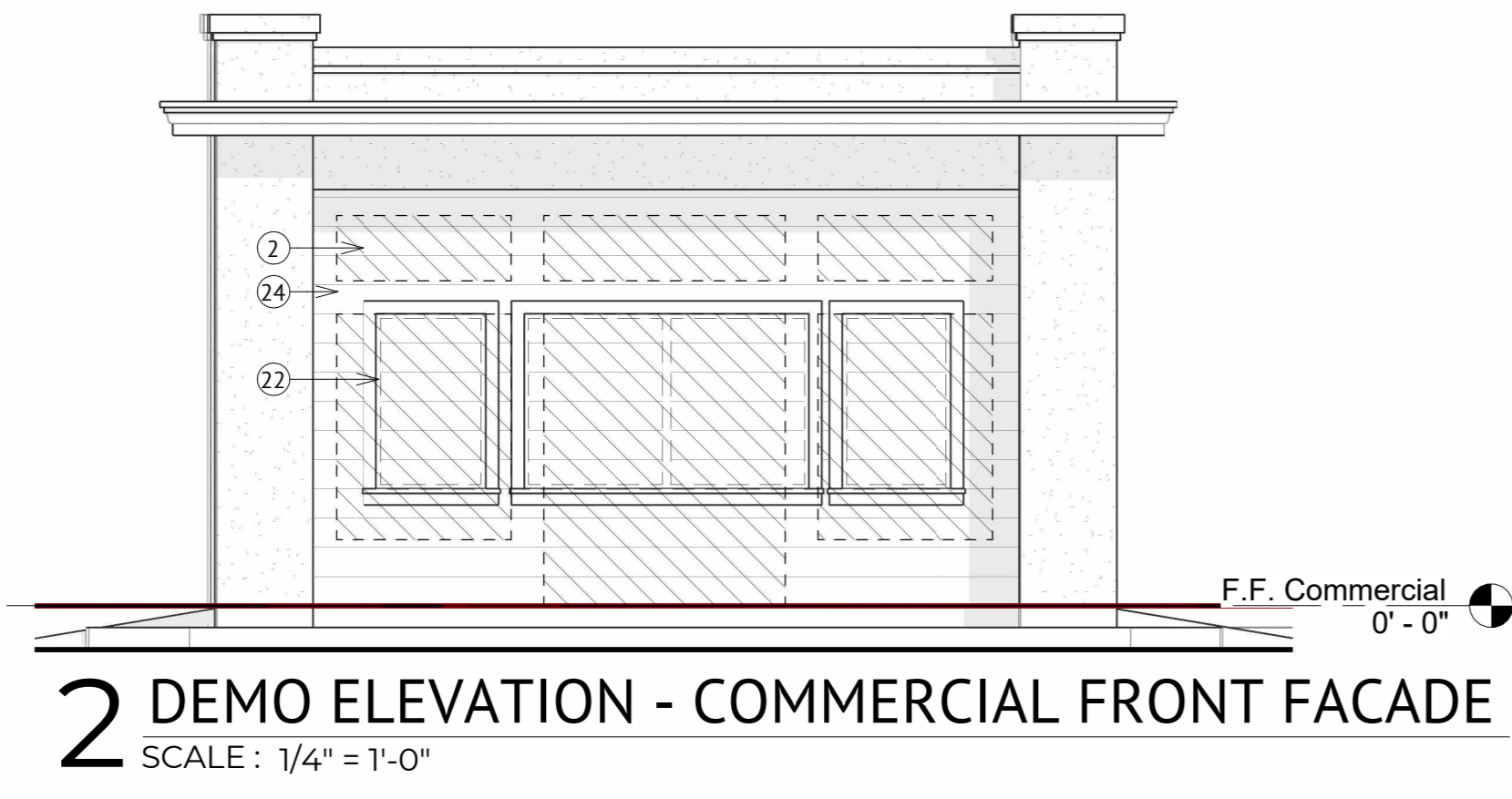
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KEYNOTES

- 1 EXISTING STRUCTURE TO REMAIN
- 2 EXISTING WALL TO BE DEMOLISHED FOR NEW OPENING SHOWN DASHED TYP.
- 3 EXISTING WOOD PLANTER TO BE DEMOLISHED TYP.
- 4 EXISTING STRUCTURE TO BE DEMOLISHED
- 5 EXISTING PORCH TO BE DEMOLISHED
- 6 EXISTING TREE TO BE REMOVED TYP
- 7 EXISTING SIGN TO REMAIN
- 8 NEW CURB CUT FOR DRIVEWAY
- 9 EXISTING SIDEWALK TO BE DEMOLISHED FOR DRIVEWAY
- 21 EXISTING DOOR TO BE DEMOLISHED SHOWN DASHED TYP.
- 22 EXISTING WINDOW TO BE DEMOLISHED SHOWN DASHED TYP.
- 23 EXISTING CLOUMN AND BEAM OVERHEAD TO BE DEMOLISHED SHOWN DASHED TYP.
- 23 EXISTING CONCRETE RAMP TO BE DEMOLISHED SHOWN DASHED TYP.
- 24 EXISTING WOOD SIDING TO BE DEMOLISHED TYP.
- 25 EXISTING PLUMBING FIXTURES TO BE DEMOLISHED CAP EXISTING WATER AND DRAIN LINE
- 26 EXISTING PLUMBING FIXTURES TO BE REPLACED MAINTIAN EXISTING WATER AND DRAIN LINE
- 27 EXISTING WINDOW TO BE DEMOLISHED FOR NEW DOOR. DEMOLISH WALL BELOW SILL. TRANSOM WINDOW ABOVE TO REMAIN



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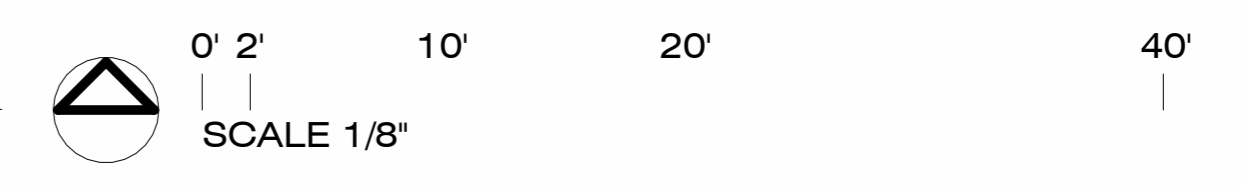
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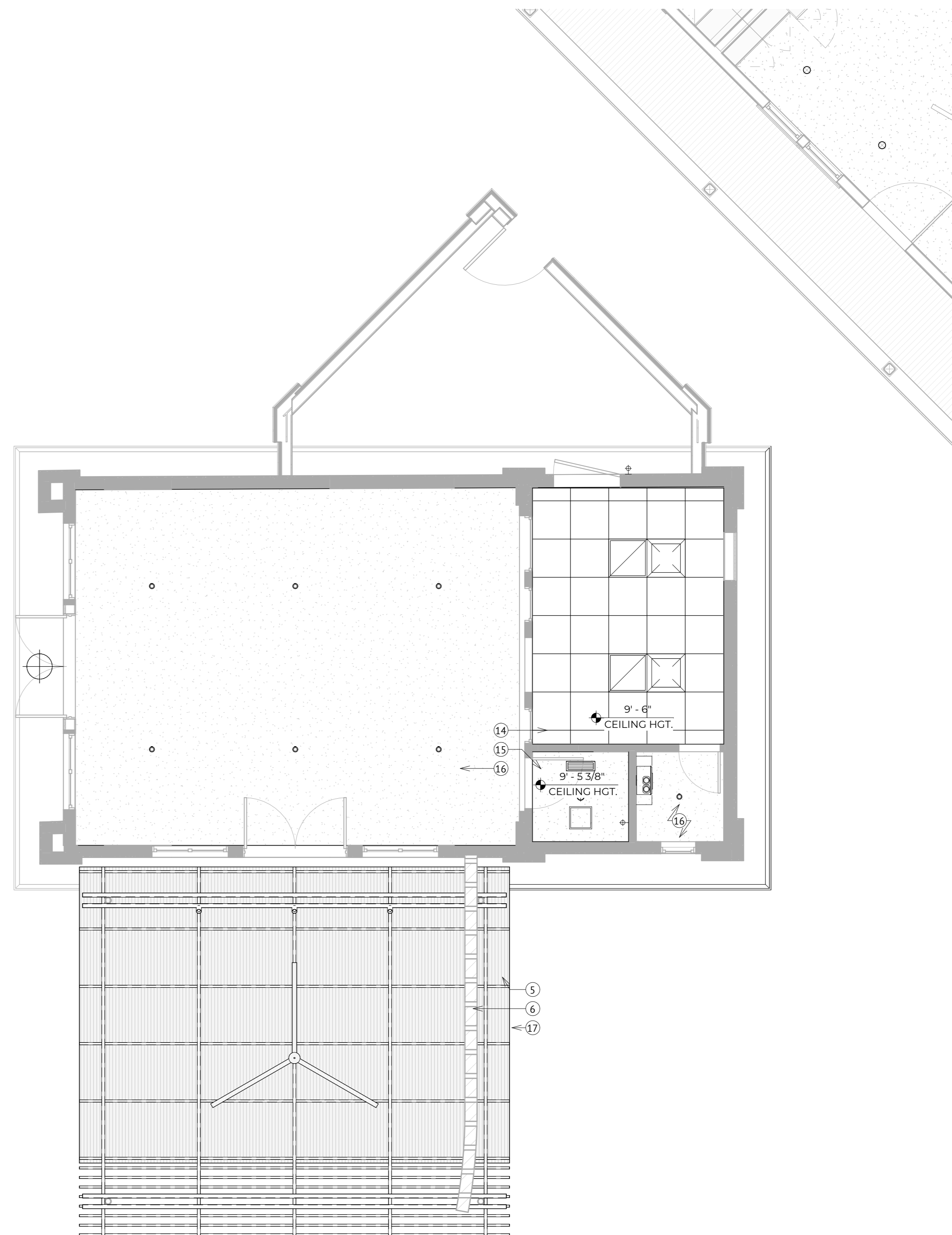


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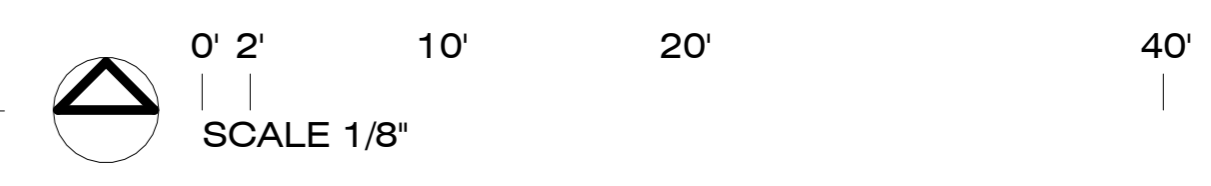


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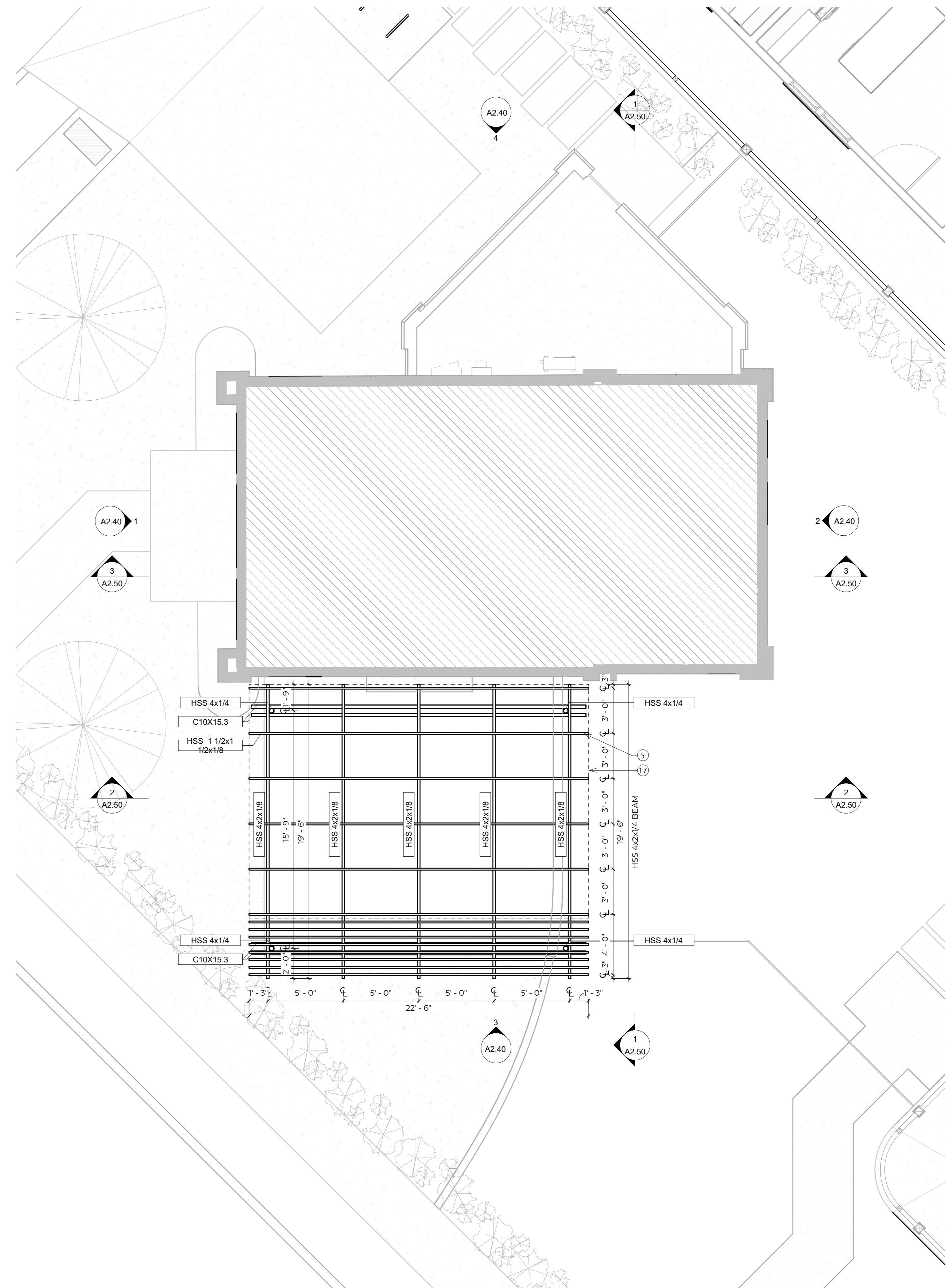
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REFLECTED CEILING PLAN - PROPOSED COMMERCIAL
 SCALE: 1/4" = 1'-0"

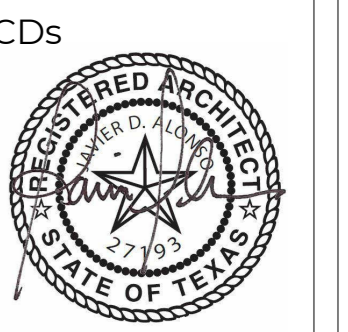
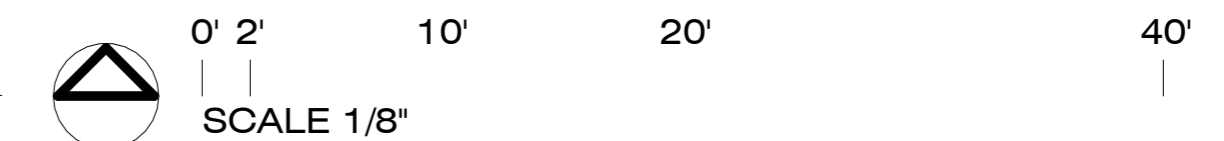


KEYNOTES

- 1 CONCRETE SLAB ON GRADE with SALT ROCK FINISH at NEW BOH TYP.
- 2 NEW CMU WALL WITH STUCCO FINISH AT BOH ENCLOSURE TYP.
- 3 NEW CLAD WOOD ENTRY DOOR TYP. REF: A2.90 DOOR and WINDOW SCHEDULE
- 4 NEW CLAD WOOD WINDOWS. REF: A2.90 DOOR and WINDOW SCHEDULE
- 5 EXPOSED STRUCTURAL STEEL FRAMING. PAINT with 1 COAT PRIMER + 2 COATS EPOXY PAINT TYP. REF: STRUCTURAL
- 6 PIPE STEEL COLUMNS at NEW PORCH TYP. REF: STRUCTURAL DRAWINGS
- 6 D'HANIS 8x8x12 STRUCTURAL CLAY TILE BREW SOLI WALL on EXISTING CONCRETE CURB. COARSE IN RUNNING BOND PATTERN WITH 3" GAP
- 7 NEW CONCRETE STEP AT PORCH. SET TOP OF TREAD FLUSH WITH F.F.
- 8 NEW BRICK PAVERS ON EXSITING CONCRETE FLATWORK. SET TOP OF BRICK TO 6" BELOW F.F.
- 9 NEW STUCCO SIDING at ALL EXTERIOR WALLS of EXISTING STRUCTURE TYP.
- 10 EXISTING WINDOW TO REMAIN. REPAIR and PAINT AS NEEDED.
- 11 REPAIR EXSITING ROOF OVERHANG AS REQUIRED
- 12 EXISTING TRANSOM WINDOW TO REMAIN. SET NEW GLASS PANEL WITH WINDOW GLAZING PUTTY
- 13 NEW EXTERIOR DOOR at EXISTING DOOR OPENING. FEILD VERIFY FRAME DIMENSION and PROVIDE NEW DOOR SLAB TO FIT EXISTING OPENING
- 14 NEW SUSPENDED CEILING at PREP AREA
- 15 NEW 5/8" GYP CEILING with LIGHT ORANGE PEEL TEXTURE at BATHROOM.
- 16 EXISTING CEILING TO REMAIN. REMOVE LOOSE PAINT, PATCH AS REQUIRED, and PROVIDE 1 COAT PRIMER + 2 COATS PAINT
- 17 GALVANIZED COORUGATED METAL ROOF at STEEL FRAMING



1 ROOF FRAMING PLAN - PROPOSED COMMERCIAL
SCALE: 1/4" = 1'-0"



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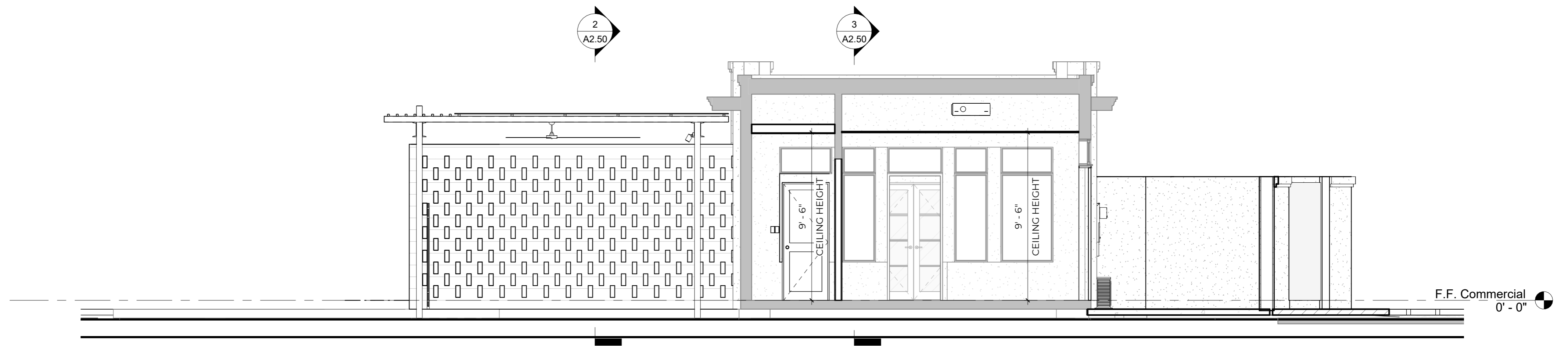
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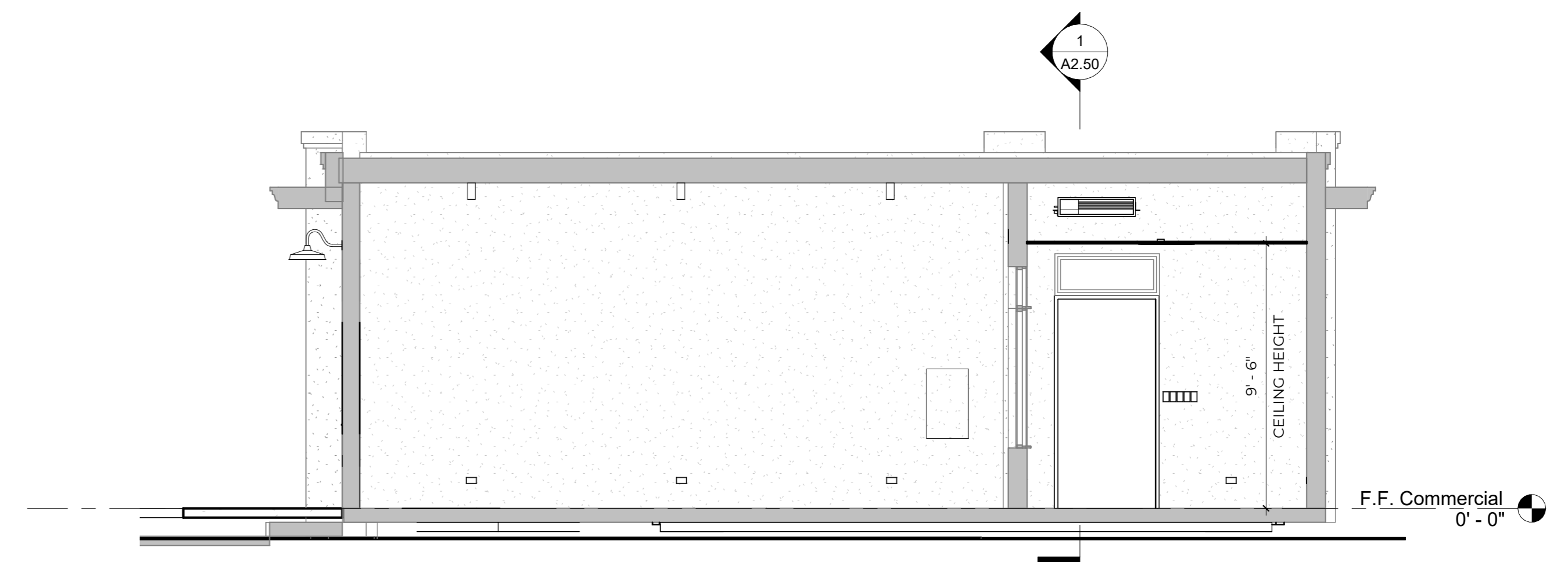
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1 LONGITUDINAL BUILDING SECTION COMMERCIAL
SCALE: 1/4" = 1'-0"

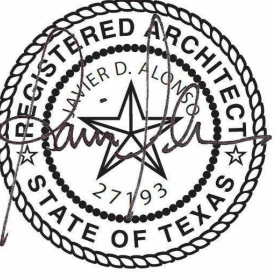


2 BUILDING SECTION COMMERCIAL at ADDITION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION COMMERCIAL at EXISTING
SCALE: 1/4" = 1'-0"

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REVISIONS:

NO.	DESCRIPTION

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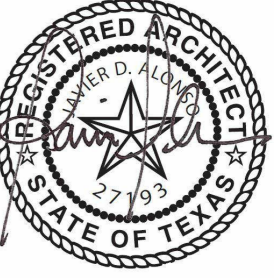
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GENERAL NOTES

1. INTERIOR DOORS TO BE SOLID CORE, TWO-PANEL SHAKER, with TWO COATS PRIMER and ONE COAT OIL BASED PAINT
2. ALL HARDWARE IS TO BE COMMERCIAL GRADE, BASIS OF DESIGN to be SCHLAGE BROADWAY LEVEL (FUNCTION VARIES) with SATIN CHROME FINISH
3. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.
4. ALL EXTERIOR DOORS and WINDOWS TO MEET AIR LEAKAGE RATE to COMPLY with IECC Table C402.5.4.
5. WINDOWS SHALL HAVE AN AIR INFILTRATION RATE NOT GREATER THAN 0.3 CFM per SQUARE FOOT
6. SWINGING DOORS SHALL HAVE AN AIR INFILTRATION RATE NOT GREATER THAN 0.5 CFM per SQUARE FOOT
7. WINDOW TYPE A and TYPE B at MULTIFAMILY SHALL COMPLY with IBC Sec. 1031.31 EMERGENCY ESCAPE and RESCUE OPENINGS

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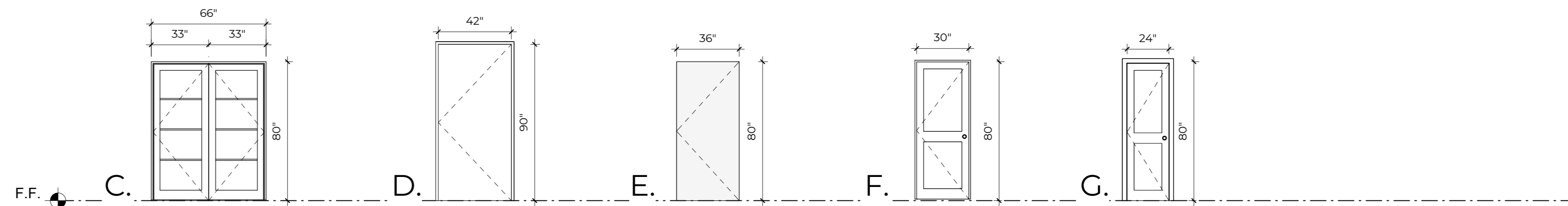
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DOOR SCHEDULE - COMMERCIAL

MARK	TYPE	MANUFACTURE	MODEL	PANEL TYPE	FINISH	WIDTH	HEIGHT	THICKNES S	HARDWARE	HINGE	COMMENTS
0.01	C	PELLA	RESERVE TRADITIONAL COMMERCIAL	2 PANEL FIBERGLASS DOOR		66"	80"	1 1/2"			
0.02	C	PELLA	RESERVE TRADITIONAL COMMERCIAL	2 PANEL FIBERGLASS DOOR		66"	80"	1 1/2"			
0.03	D			STEEL COMMERCIAL DOOR		42"	90"	1 3/4"			F.V. EXISTING OPENING DIMENSION
0.04	E			STEEL COMMERCIAL DOOR SLAB		36"	80"	1 3/4"			CUSTOM JAMB
0.05	F			2-PANEL SHAKER, SOLID CORE		30"	80"	1 3/8"			F.V. NEW OPENING DIMENSION
0.06	G			2-PANEL SHAKER, SOLID CORE		24"	80"	1 3/8"			F.V. EXISTING OPENING DIMENSION

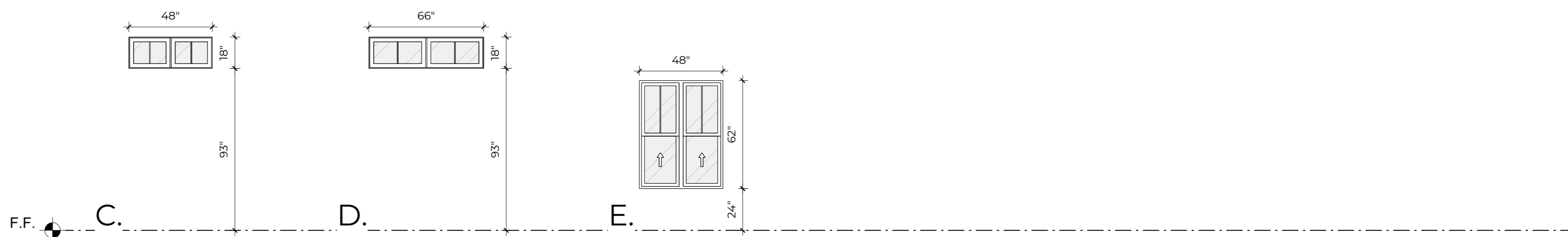


DOOR LEGEND COMMERCIAL

SCALE : 1/4" = 1'-0"

WINDOW SCHEDULE - COMMERCIAL

MARK	TYPE	MANUFACTURER	MODEL	WINDOW TYPE	WIDTH	HEIGHT	SILL	HEAD	COMMENTS
0.01	C	PELLA	RESERVE - TRADITIONAL	PICTURE	48"	18"	7' - 5"	8' - 11"	
0.02	D	PELLA	RESERVE - TRADITIONAL	PICTURE	66"	18"	7' - 5"	8' - 11"	
0.03	C	PELLA	RESERVE - TRADITIONAL	PICTURE	48"	18"	7' - 5"	8' - 11"	
0.04	E	PELLA	RESERVE - TRADITIONAL	SINGLE-HUNG	48"	62"	1' - 6"	6' - 8"	
0.05	E	PELLA	RESERVE - TRADITIONAL	SINGLE-HUNG	48"	62"	1' - 6"	6' - 8"	
0.06	C	PELLA	RESERVE - TRADITIONAL	PICTURE	48"	18"	7' - 5"	8' - 11"	
0.07	D	PELLA	RESERVE - TRADITIONAL	PICTURE	66"	18"	5' - 5"	6' - 11"	
0.08	C	PELLA	RESERVE - TRADITIONAL	PICTURE	48"	18"	5' - 5"	6' - 11"	
0.09	E	PELLA	RESERVE - TRADITIONAL	SINGLE-HUNG	48"	62"	1' - 6"	6' - 8"	
0.10	E	PELLA	RESERVE - TRADITIONAL	SINGLE-HUNG	48"	62"	1' - 6"	6' - 8"	



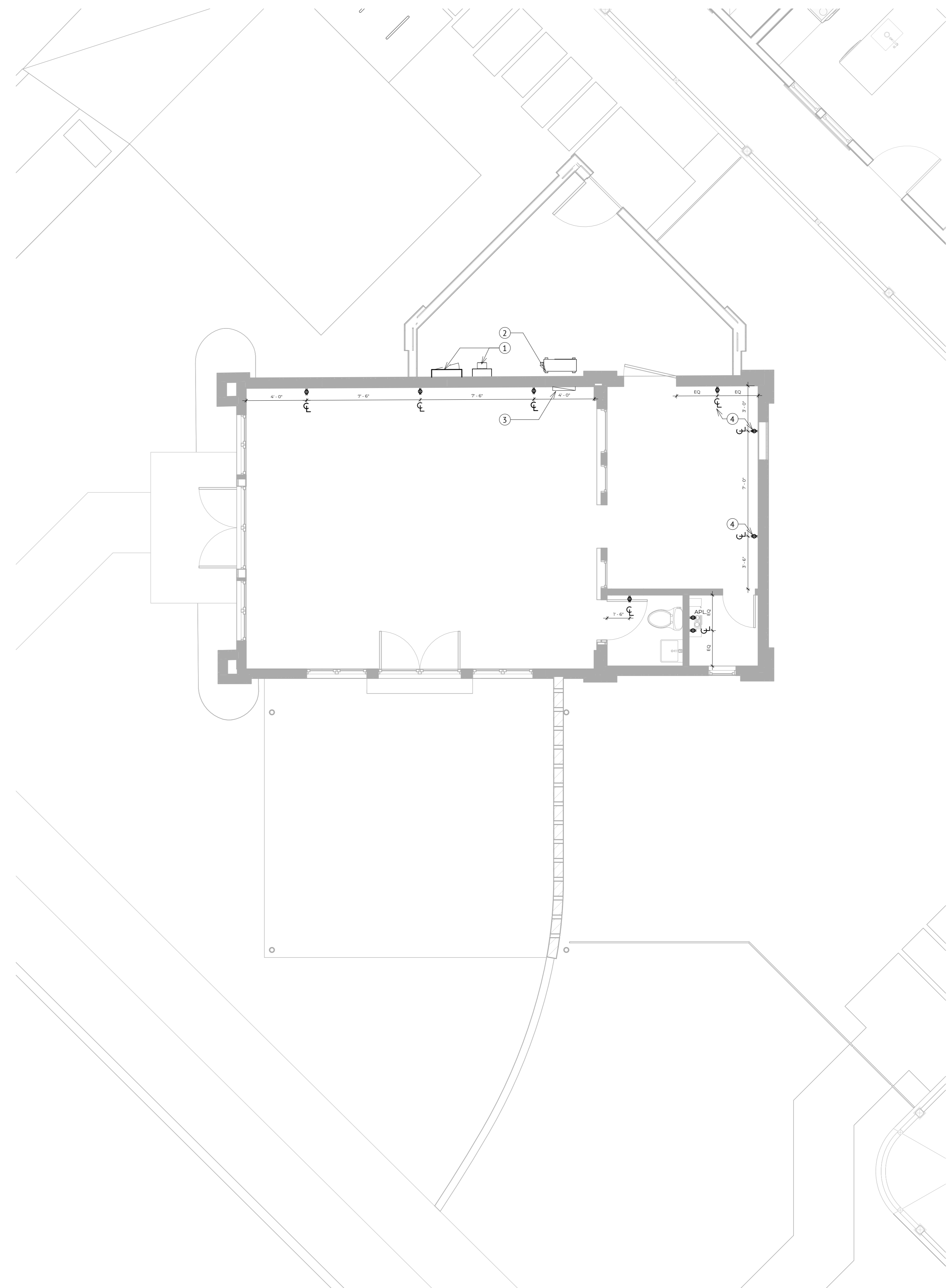
WINDOW LEGEND COMMERCIAL

SCALE : 1/4" = 1'-0"

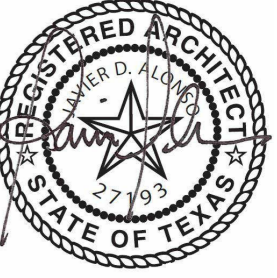
0' 1' 5' 10' 20'
SCALE 1/4"

KEYNOTES

- 1 NEW ELECTRICAL METER AND SERVICE PANEL LOCATION
- 2 HVAC CONDENSER FULL SERVICE CUTOFF SWITCH
- 3 ELECTRICAL BREAKER PANEL
- 4 PROVIDE SURFACE MOUNT OUTLET and EXPOSED CONDUITE WHERE REQUIRED at EXISTING MASONRY WALLS TYP.
- 5 PROVIDE EXPOSED CONDUITE WHERE REQUIRED at EXISTING CEILING TYP.
- 6 NEW WALL REGISTER at 120° A.F.F. ALIGN WITH CENTER LINE OF EXISTING DOOR / WINDOW
- 7 NEW DUCTED CASSETTE MINI SPLIT SUSPENDED ABOVE CEILING.
- 8 TIE EXHAUST FAN TO EXISTING WALL LOUVER LOCATION. PROVIDE NEW LOUVER
- 9 NEW DOMESTIC WATER STUB OUT. REF. CIVIL FOR CONTINUATION
- 10 EXISTING SEWER CONNECTION at BUILDING, FIELD VERIFY LOCATION. REF. CIVIL FOR CONTINUATION
- 11 NEW PLUMBING FIXTURE at EXISTING ROUGH-IN LOCATION
- 12 NEW PLUMBING FIXTURE at EXISTING ROUGH-IN LOCATION
- 13 NEW ELECTRIC WATER HEATER, MOUNT at 120° AFF. FEILD COORDINATE LOCATION



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REVISIONS:

NO.	DESCRIPTION

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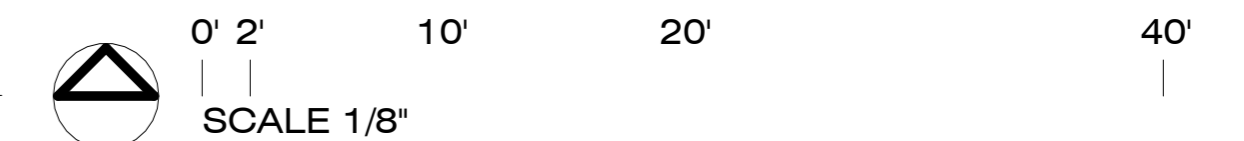
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 SAN ANTONIO, TX 78212

DATE: 04.01.26
 SHEET NO.

E2.10

ELECTRICAL POWER PLAN - PROPOSED COMMERCIAL

SCALE: 1/4" = 1'-0"



KEYNOTES

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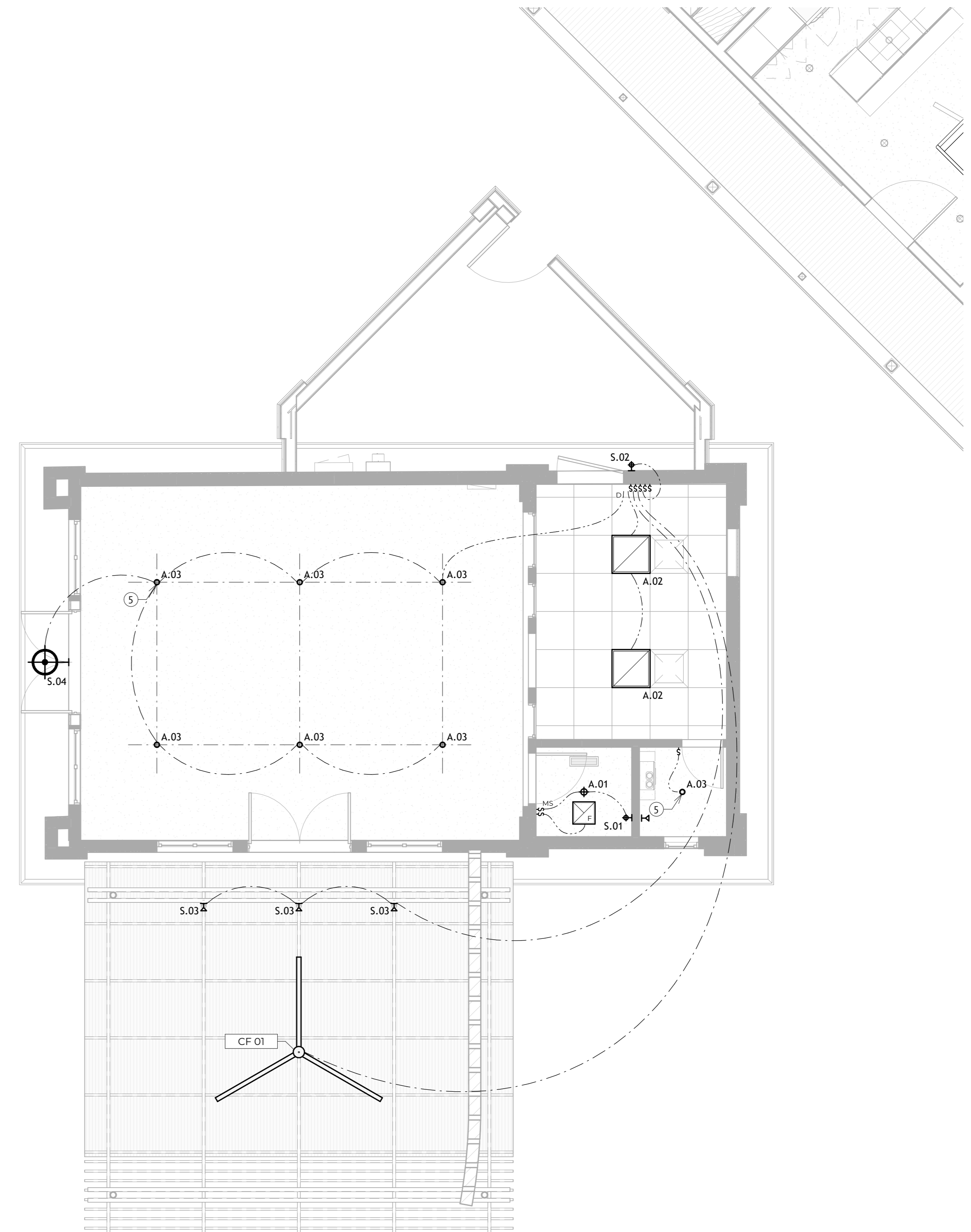
LIGHT FIXTURE SCHEDULE

MARK	COUNT	TYPE	MANUFACTURE	MODEL	COMMENTS
A.01	1	4" RECESSED CAN	LITHONIA LIGHTING	4SEMW 5WW5 90CRI M6	OR SIMILAR
A.02	2	2x2 PANEL LED	LITHONIA LIGHTING	CPX 2X2 ALO7 5WW7 M4	OR SIMILAR
A.03	7	SURFACE MOUNT CAN	WAC LIGHTING	FM-240103-CS-BK	
CF 01	1	CEILING FAN			
S.01	1	WALL SCONCE			
S.02	1	WALL SCONCE			
S.03	3	MONO POINT			
S.04	1	ENTRY WALL SCONCE			

ELECTRICAL LEGEND

	ELECTRICAL METER		RECESSED DOWNLIGHT
	BREAKER SUB PANEL		PENDANT LIGHT FIXTURE
	WALL SWITCH		WALL SCONCE
	DIMMER WALL SWITCH		LED TAPE LIGHT
	MOTION SENSOR SWITCH		LED STRIP LIGHT
	DUPLEX OUTLET		EXHAUST FAN
	DUPLEX FLOOR OUTLET		SMOKE and CO2 DETECTOR
	OUTLET for APPLIANCE		CAT5 ETHERNET WALL JACK

NOTE: ARCHITECTURAL LIGHTING PLAN PROVIDED TO COORDINATE FIXTURE LOCATION AND HEIGHTS. REF. ELECTRICAL PLANS FOR LIGHTING CONTROL, SPECIFICATIONS, AND ADDITIONAL REQUIREMENTS



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REVISIONS:

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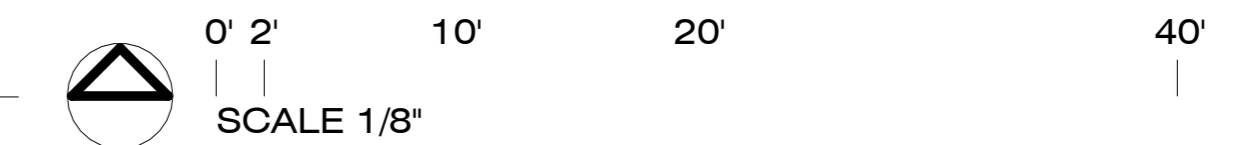


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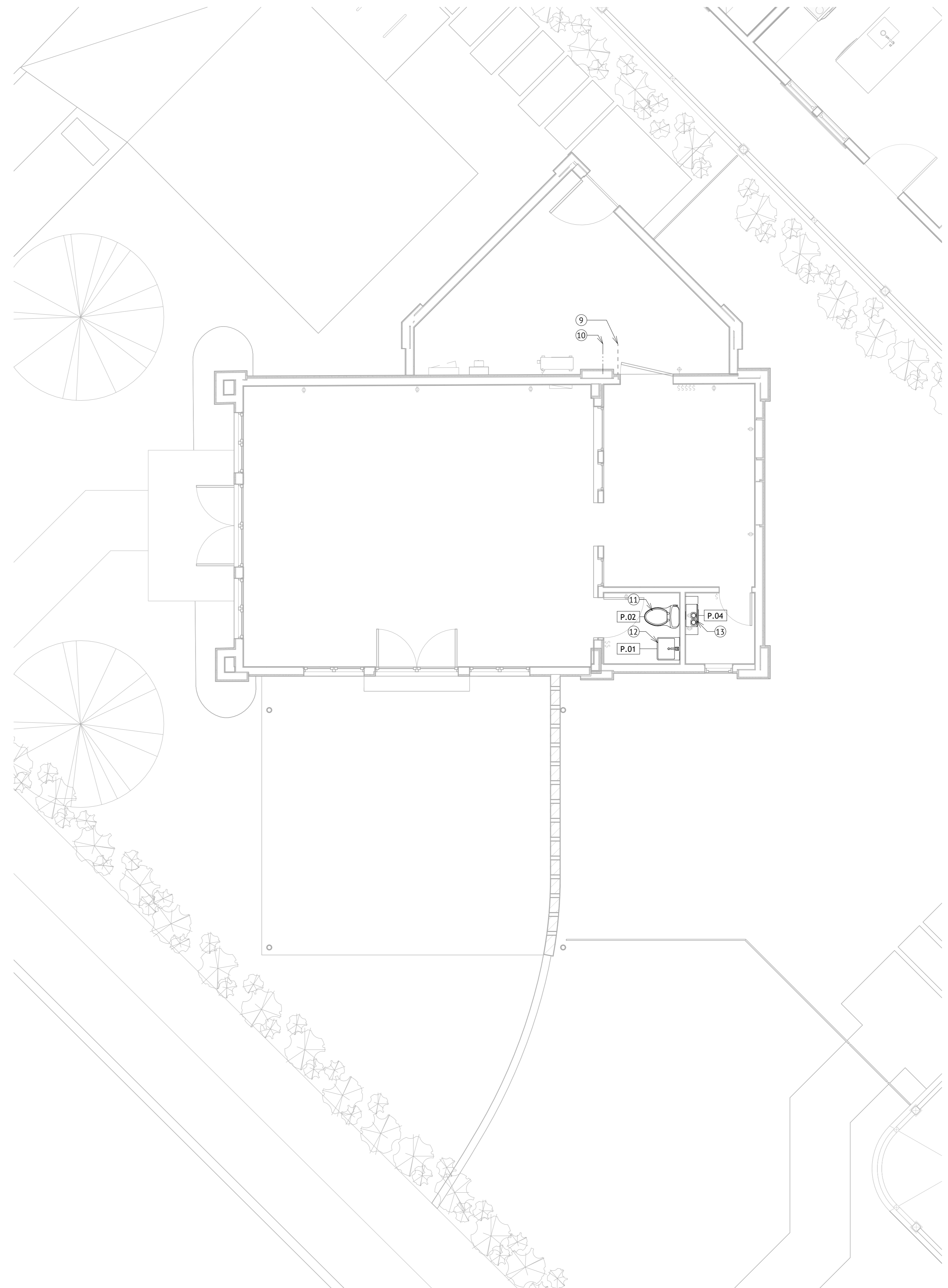
ELECTRICAL LIGHTING PLAN - PROPOSED COMMERCIAL
SCALE: 1/4" = 1'-0"



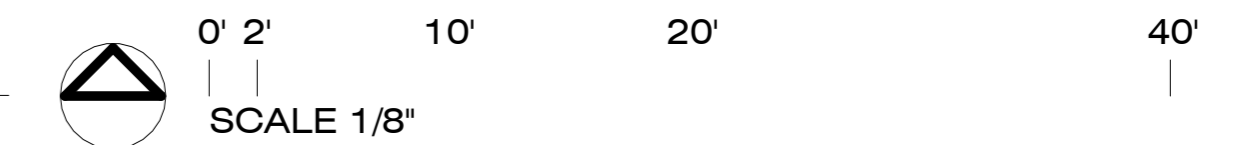
KEYNOTES

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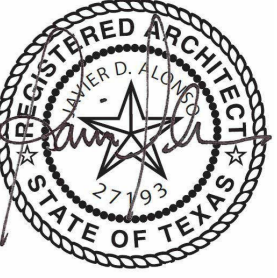
COMMERCIAL PLUMBING FIXTURE SCHEDULE					
MARK	COUNT	TYPE	MANUFACTURE	MODEL	COMMENTS
P.01	1	VANITY			
P.02	1	TOILET			
P.04	1	WATER HEATER			ELECTRIC



1 PLUMBING LOCATION PLAN - PROPOSED COMMERCIAL
SCALE : 1/4" = 1'-0"



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