

RIVERSIDE APARTMENTS EXTERIOR RENOVATIONS

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CODE SUMMARY

APPLICABLE BUILDING CODES	2021 INTERN. BUILDING CODE W/COSA AMENDS. 2021 INTERN. FIRE CODE W/COSA AMENDS. 2021 INTERN. MECHANICAL CODE W/COSA AMENDS. 2021 INTERN. PLUMBING CODE W/COSA AMENDS. 2020 NATIONAL ELECTRIC CODE W/COSA AMENDS. 2021 INTERN. ENERGY CONSERV. CODE W/COSA AMENDS
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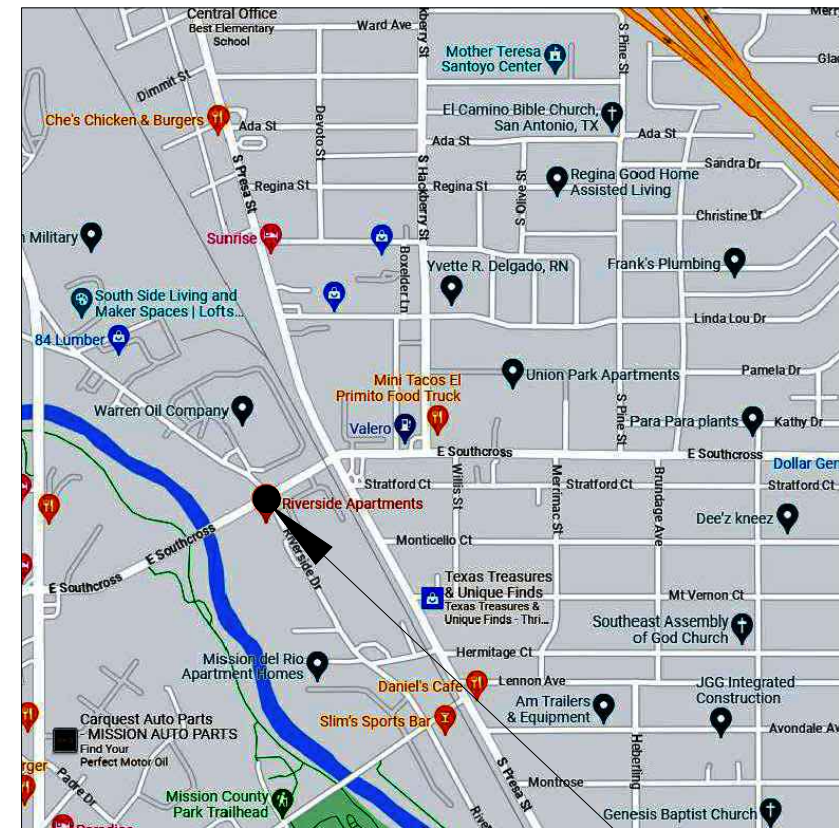
OCCUPANCY CLASSIFICATION	RESIDENTIAL - GROUP R-2		
OCCUPANCY SEPERATION	N/A (EXTERIOR WORK ONLY & MINOR INTERIOR.)		
BUILDING AREAS BY TYPE PER FLOOR	NUMBER OF BUILDINGS	1ST FLR	2ND FLR
Y BUILDING	11	1,148 SF	1,087 SF
X BUILDING	10	2,270 SF	2,109 SF
W BUILDING	2	3,395 SF	3,154 SF
TOTAL AREA OF TENANT BUILDINGS			84,511 SF
24 ADMIN/COM	1	2,650 SF	
25 MAINTENANCE	1	960 SF	
26 PAVILION	1	600 SF	
TOTAL AREA ALL BUILDINGS			88,721 SF

FIRE SPRINKLER	N/A
FIRE ALARM SYSTEM:	YES - (EXIST.) SM. DETECTORS
TDLR #	TAB2024018498

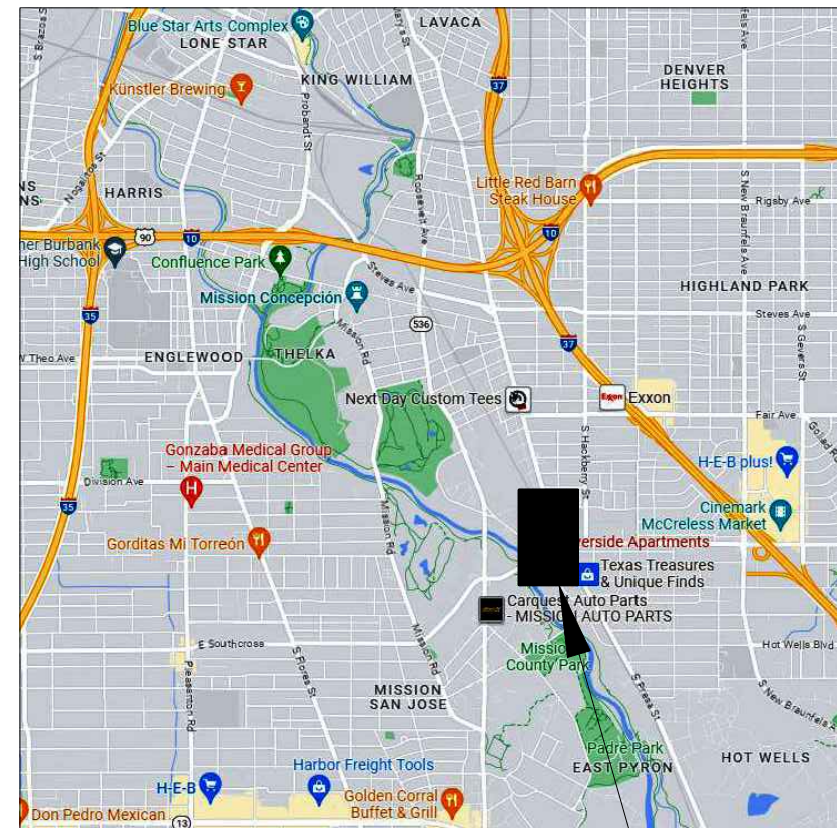
DRAWING INDEX

ARCHITECTURAL	STRUCTURAL	MECH, ELECT, PLUMB.
CS COVER SHEET	S1.1 PAVIL & MAIN FOUND. PLAN	M000 MECH. SYM. & ABBREV.
A1 SITE PLAN - SCHEDULES - SPECS	S1.2 BLDG. W.X.Y. FRAMING	M001 MECH. DLTS.
A2 BLDG. TYPE "X" & "Y" - 1ST & 2ND FLR PLANS & ELEV. - FENCING	S1.3 ADMIN/COMM. RM. FRAME	M100 MECH. PLAN - TYPE X & Y
A3 BLDG. TYPE "W" - 1ST & 2ND FLR PLANS & ELEV. - MAINTEN. & PAV.	S2.1 DETAILS/ DUMPSTER PAD	M101 MECH. PLAN - MAINTEN. / COMM. RM.
A4 ADMIN & COMMUNITY ROOM REMODEL	S2.2 DETAILS	M102 MECH. SCHED.
A5 WALL SECTIONS AND DETAILS	S3.1 NOTES AND SCHEDULES	
A6 WALL SECTIONS AND DETAILS		
A7 DUMPSTER PLAN - DETAILS & SIGN.		

VICINITY MAPS

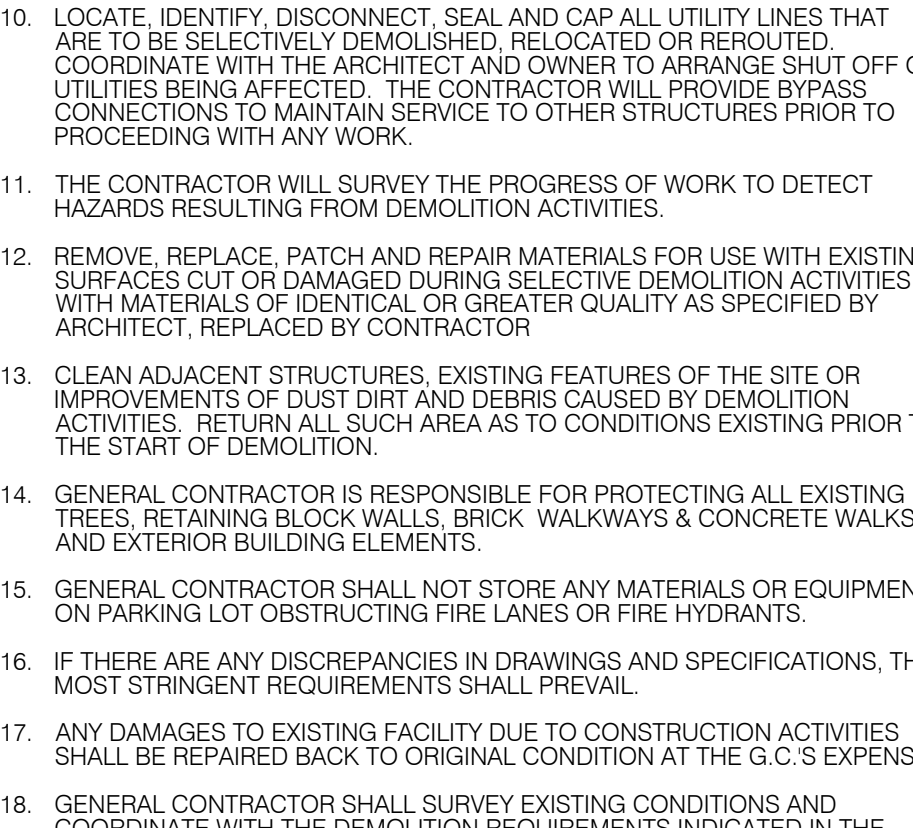


SCALE: NTS



SCALE: NTS

LOCATION MAP



SCALE: NTS

GENERAL NOTES:

- ALL WORK IS TO BE DONE BY THE GENERAL CONTRACTOR, EXCEPT AS NOTED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK, SUPPLY ALL MATERIALS, AND EQUIP. IN ACCORDANCE WITH LOCAL & NATIONAL GOVERNING CODES.
- THE GENERAL CONTRACTOR SHALL CHECK & FIELD VERIFY ALL DIMENSIONS AND CONDITIONS, REPORTING ANY DISCREPANCIES, IN WRITING, TO THE ARCHITECT BEFORE BEGINNING ANY PHASE OF CONSTRUCTION. THIS IS THE SAME FOR ALL KNOWN OR SUSPECTED EXISTING CONDITIONS UNDER WHICH THE CONTRACTOR WILL BE OBLIGATED TO OPERATE. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION SUPPLIED BY THE OWNER.
- DIMENSIONS ARE TYPICALLY TO A FINISHED SURFACE OR TO AN ASSEMBLY, FIXTURE, CENTERLINE, ETC. REPORT ALL DISCREPANCIES IN DIMENSIONS IN WRITING TO THE ARCHITECT PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION. WORK SHALL BE TRUE AND LEVEL AS INDICATED. ALL WORK SHALL RESULT IN AN ORDERLY AND WORKMAN LIKE APPEARANCE, WHERE FIGURES OR DIMENSIONS HAVE BEEN OMITTED FROM THE DRAWINGS, THE DRAWINGS SHALL NOT BE SCALED. THE CONTRACTOR SHALL IMMEDIATELY REQUEST DIMENSIONS IN WRITING FROM THE ARCHITECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING THE SUB-CONTRACTORS COORDINATE THEIR WORK WITH THE OTHER TRADES INCLUDING WORK NOT IN CONTRACT.
- THE GENERAL CONTRACTOR SHALL FILE FOR AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE REQUIRED.
- THE GENERAL CONTRACTOR IS TO KEEP A FULL SET OF UP-TO-DATE CONSTRUCTION DOCUMENTS INCLUDING ALL FIELD SKETCHES, CLARIFICATIONS AND SUPPLEMENTS AVAILABLE AT THE JOB SITE AT ALL TIMES, IN ONE CENTRAL LOCATION FOR THE INSPECTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PROGRAMS AND PRECAUTIONS NECESSARY FOR COMPLETE AND ORDERLY AND PROTECTION OF WORKERS, VISITORS AND THE PUBLIC.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL UTILITIES TO THE UNITS.
- THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE BARRICADES AS PER LOCAL BUILDING CODES AND ORDINANCES TO INSURE THE SAFETY OF PERSONS AND PROPERTY ON THE SITE OCCUPIED BY THE OWNER AND IN THE ADJACENT PUBLIC RIGHT OF WAY.
- THE GENERAL CONTRACTOR IS TO REPAIR, REPLACE, PATCH AND MATCH ANY MATERIALS, AREAS OR SYSTEMS AS REQUIRED AND CALLED FOR TO INSURE PROPER INSTALLATION AND NEAT APPEARANCE OF THE WORK.

SPECIFIED ITEMS HAVE BEEN SELECTED BECAUSE THEY REFLECT THE STANDARDS OF QUALITY DESIRED, POSSESS FEATURES REQUIRED TO PRESERVE THE DESIGN CONCEPT, THE ARCHITECT, THEREFORE, RESERVES THE RIGHT TO REQUIRE THE USE OF SPECIFIED MATERIALS, AND NOT PERMIT SUBSTITUTIONS FOR THE SPECIFIED ITEMS MUST BE SUBMITTED TO THE ARCHITECT, IN WRITING, ALONG WITH A SAMPLE AND PROOF OF EQUALITY OF SUCH ITEMS. IN ALL CASES, THE BURDEN OF PROOF AS TO QUALITY SHALL BE WITH THE BIDDER AND THE DECISION OF THE ARCHITECT SHALL BE FINAL.

THE OWNER, ARCHITECT, OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY VERBAL INSTRUCTIONS.

TRASH SHALL NOT BE ALLOWED TO ACCUMULATE. ALL SCRAP MATERIALS ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS.

THE GENERAL CONTRACTOR IS TO NOTIFY OWNERS REPRESENTATIVE AND ARCHITECT UPON FINDING CONDITIONS NOT IDENTIFIED ON DRAWINGS.

THE ADJACENT PROPERTIES SHALL IN NO WAY BE INCONVENIENCED OR DISTURBED BY VEHICLES, TRAFFIC, SIGNS, ODORS, UNSIGHTLY CONDITIONS, OR NOISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDUCT OF ALL PERSONS ON SITE AT ALL TIMES AND FOR THE PROTECTION OF INDIVIDUALS WITH RESPECT TO ADJACENT AREAS. THE PROJECT SITE SHALL BE DRUG AND ALCOHOL FREE.

REFER TO ADDITIONAL NOTES BY MEP/STRUCTURAL DISCIPLINE.

EVERY DRAWING DETAIL AND SPECIFICATION ITEM IS TO BE UTILIZED IN THIS PROJECT. IF IT IS NOT APPROPRIATE FOR A SPECIFIC DETAIL, OR A REQUIRED QUANTITY, IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN A WRITTEN CLARIFICATION PRIOR TO BID AWARD.

MATERIALS USED FOR NEW CONSTRUCTION SHALL MATCH EXISTING MATERIALS. IF SUCH MATERIALS ARE UNAVAILABLE THE CONTRACTOR WILL USE MATERIALS THAT BEST MATCH EXISTING MATERIALS. MATERIALS SPECIFIED BY ARCHITECT, ALL MATERIALS USED WILL MATCH OR EXCEED THE QUALITY OF PERFORMANCE CAPABILITIES OF EXISTING MATERIALS. MATERIAL APPROVAL BY ARCHITECT AND OWNER.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL PHASES OF CONSTRUCTION AND FOR COORDINATION BETWEEN SUB-CONTRACTORS MEANS AND METHOD OF CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY PRECAUTION REQUIRED TO PROTECT EXISTING WORK OR TO REMAIN DURING CONSTRUCTION IS PART OF THE SCOPE OF WORK AND SHALL BE INCLUDED IN THE BASE BID.

GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING DURING CONSTRUCTION TO PROTECT VALUABLE MATERIALS AND UNAUTHORIZED PEOPLE ENTERING THE SITE. THE GENERAL CONTRACTOR IS NOT RESPONSIBLE FOR ANY DAMAGES OR LOSSES OF VALUABLES, MATERIALS OR LOST OF PROPERTY.

IF AN ITEM OR SPECIFICATION IS NOTED AT LEAST ONCE IN THE DOCUMENTS IT IS TO BE CONSIDERED PART OF THE BID.

CONTRACTOR IS TO ABIDE BY ALL DEMOLITION, NEW CONSTRUCTION, GENERAL, STRUCTURAL AND MECHANICAL NOTES.

THESE NOTES ARE TO BE USED IN CONJUNCTION WITH AND/OR IN ADDITION TO THE REQUIREMENTS DESCRIBED IN THE DRAWINGS, ALL SPECIFICATIONS AND SPECIFICATIONS WILL BE INCLUDED AS PART OF THE BASE BID.

DEMOLITION NOTES:

- ALL WALLS ARE TO BE RENOVATED AND OR REPLACED AS SHOWN ON DOCUMENTS.
- REMOVE ALL EXISTING WOOD SIDING, SOFFIT, FASCIA, DRAHWALL, LIGHTING, MECHANICAL, ELECTRICAL, TRIM MATERIALS, ETC.... AS MENTIONED IN DOCUMENTS. ALL BRICK SURFACES ARE TO REMAIN.
- REMOVE ALL EXISTING ROOF SHINGLES/ METAL ROOF & EXISTING FLASHING AND UNDERLAYMENT AS SPECIFIED.
- THESE NOTES ARE TO BE USED IN CONJUNCTION WITH AND/OR IN ADDITION TO THE REQUIREMENTS DESCRIBED IN THE DRAWINGS, ALL SPECIFICATIONS AND WILL BE INCLUDED AS PART OF THE BASE BID.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO MAINTAIN STABILITY AND TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF AREA TO BE SELECTIVELY DEMOLISHED. STRENGTHEN OR ADD SUPPORTS AS REQUIRED BY THESE DOCUMENTS DURING SELECTIVE DEMOLITION.
- LOCATE, IDENTIFY, DISCONNECT, SEAL AND CAP ALL UTILITY LINES THAT ARE TO BE SELECTIVELY DEMOLISHED, RELOCATED OR REROUTED. COORDINATE WITH ARCHITECT AND OWNER TO ARRANGE SHUT OFF OF UTILITIES BEING AFFECTED. THE CONTRACTOR WILL PROVIDE BYPASS CONNECTIONS TO MAINTAIN SERVICE TO OTHER STRUCTURES PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR WILL SURVEY THE PROGRESS OF WORK TO DETECT HAZARDS RESULTING FROM DEMOLITION ACTIVITIES.
- REMOVE, REPLACE, PATCH AND REPAIR MATERIALS FOR USE WITH EXISTING SURFACES CUT OR DAMAGED DURING SELECTIVE DEMOLITION ACTIVITIES WITH MATERIALS OF IDENTICAL OR GREATER QUALITY AS SPECIFIED BY ARCHITECT, REPLACED BY CONTRACTOR.
- CLEAN ADJACENT STRUCTURES, EXISTING FEATURES OF THE SITE OR IMPROVEMENTS OF DUST DIRT AND DEBRIS CAUSED BY DEMOLITION ACTIVITIES. RETURN ALL SUCH AREA AS TO CONDITIONS EXISTING PRIOR TO THE START OF DEMOLITION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING TREES, RETAINING BLOCK WALLS, BRICK WALKWAYS & CONCRETE WALKS, AND EXTERIOR BUILDING ELEMENTS.
- GENERAL CONTRACTOR SHALL NOT STORE ANY MATERIALS OR EQUIPMENT ON PARKING LOT OBSTRUCTING FIRE LANES OR FIRE HYDRANTS.
- IF THERE ARE ANY DISCREPANCIES IN DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL.
- ANY DAMAGES TO EXISTING FACILITY DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BACK TO ORIGINAL CONDITION AT THE G.C.'S EXPENSE.
- GENERAL CONTRACTOR SHALL SURVEY EXISTING CONDITIONS AND MATERIALS WITH THE DEMOLITION RECORDS INDICATED IN THE CONSTRUCTION DOCUMENTS WITH THE EXISTING CONDITIONS, ANY ERRORS RESULTING FROM G.C.'S LACK OF COORDINATION AND DIRECTION SHALL BE CORRECTED AT G.C.'S EXPENSE, AND WILL NOT BE CONSIDERED AS A BASIS FOR MONETARY CONSIDERATION.

NEW CONSTRUCTION NOTES:

- CONTRACTOR IS TO FIELD VERIFY EVERYTHING INCLUDING ALL NOTES, DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- ENVELOPE - WINDOW OPENINGS ARE TO RECEIVE NEW WINDOW WRAP PRODUCT, WHERE APPLICABLE. ALL WINDOWS ARE TO BE REPLACED W/ NEW SPECIFICATION.
- SITE - CONTRACTOR IS TO POWER WASH & SEAL ALL EXISTING CONCRETE SIDEWALKS & PORCHES OF EACH UNIT.
- ENVELOPE - ANY BLDG. MISSING CMU / BRICK IS TO BE REPLACED WITH AS SPECIFIED WITH BRICK. BRICK IS TO BE DETAILED TO HAVE SIMILAR GROUT LINES AS EXISTING. PAINTED.
- ENVELOPE - CONTRACTOR IS TO PROVIDE NEW WATERPROOFING OVER EXISTING SHEATHING/ WATERPROOFING. CONTRACTOR IS TO COORDINATE DETAILS OF MISSING WATERPROOFING WITH OWNER OR ARCHITECT UNLESS NOTED. CONTRACTOR TO MARK ON EXISTING WATERPROOFING THE LOCATION OF EXISTING STUDS TO ENSURE SIDING IS FASTENED TO STUDS.
- ENVELOPE - REMOVE A EXISTING HEAVY DUTY SCREEN STORM DOORS.
- ENVELOPE - ALL UNITS THAT MAY HAVE THE WALL FRAMING EXPOSED AND OR DAMAGED SHEATHING, CONTRACTOR IS TO APPLY R-19 INSULATION WITHIN THE WALL CAVITY.
- ENVELOPE - ALL UNITS ARE TO HAVE NEW EXT. & INT. WINDOW TRIM, SEE DTLS.
- ENVELOPE - ALL UNITS ARE TO HAVE NEW EXTERIOR LIGHT FIXTURES, WALL PACKS WITH DUSK TILL DAWN SENSORS AS PER SPECIFICATIONS.
- ENVELOPE - ALL WINDOW FRAMES & DOOR FRAMES ARE TO BE LEVEL, PROFESSIONALLY SHIMMED. CONTRACTOR IS TO ENSURE ALL FRAMES, DOORS, & WINDOWS ARE LEVEL & WORKING PROPERLY.
- ALL WALL STUD SHOULD MATCH EXISTING WALL STUD DIMENSIONS. CONTRACTOR IS TO TAKE THIS COST OF CUTTING ANY MATERIAL TO SIZE INTO CONSIDERATION AND AS PART OF THE BID.
- ENVELOPE - CONTRACTOR IS TO REMOVE EXISTING PEELING PAINT ON CMU & BRICK WALLS IN ALL UNITS ON EXTERIOR TO ACHIEVE A SMOOTH SURFACE CAPABLE OF ADHERING PRIMER AND PAINT. CONTRACTOR IS TO POWER WASH ALL BRICK AND SIDING BEFORE PRIMER AND PAINT.
- ALL UNITS ARE TO HAVE NEW GUTTERS W/ LEAF GUARDS & DOWNSPOUTS W/ DRAIN BOXES. MATCH EXIST. OWNER SPEC. ALLOWANCE OF \$8,000 PER BUILDING. DOWNSPOUTS TO BE 15"0" -20"0" ON CENTER.
- ALL WILL HAVE NEW COMBO CARBON MONOXIDE & SMOKE DETECTORS IN ALL BEDROOMS & LIVING ROOMS IF NOT PRESENT.
- ENVELOPE - ALL UNITS ARE TO RECEIVE NEW INTERIOR PAINTED WOOD SILLS. SUBMIT TO ARCHITECT FOR SPECIFICATIONS.
- LIGHTING - CONTRACTOR IS TO PROVIDE NEW LIGHTING FIXTURES AS SPECIFIED ON THE LIGHTING PLANS (ARCH - MEP).
- ENVELOPE - ALL WATER OR TERMITES DAMAGED WOOD MEMBERS MUST BE REPLACED.
- ALL INTERIOR FRAMING IS TO BE PROTECTED DURING DEMOLITION - CONSTRUCTION, UNLESS SPECIFIED.
- ENVELOPE - PROVIDE NEW EXTERIOR WALL 1/2" SHEATHING WHERE DAMAGED AS REQUIRED AND NEW CEMENTITIOUS SIDING AS SCHEDULED TO BE INSTALLED. PROVIDE NEW BUILDING WRAP/ WATERPROOFING PRODUCTS ON ALL WALLS RECEIVING NEW SHEATHING. ALL CORNERS SHALL BE SEALED. WHERE BLDG. WRAP JOINTS OCCUR, PROVIDE ZIP TAPE TO SEAL. ALL NEW BUILDING WRAP MUST OVERLAP AS PER MANUFACTURER GUIDELINES. IN ADDITION, CARE SHOULD BE TAKEN AT OVERLAP OF VAPOR BARRIER, PARTICULARLY BEHIND EXISTING BRICK THAT REMAINS.
- ALL WALLS ARE TO HAVE NEW WATERPROOFING AS SPEC.
- ALL EXISTING WIRING IS TO BE PROPERLY TIED DOWN ANY DAMAGE TO EXISTING WIRING IS TO BE REPLACED AT THE CONTRACTORS EXPENSE. ALL CABLING SHALL BE FASTENED IN AN ORDERLY MANNER. ALL PIPES AND WIRING LOCATED OUTSIDE WALL CAVITIES OR FLOOR CAVITIES NEED TO BE PROPERLY TIED DOWN.
- ENVELOPE - PROVIDE NEW (R-19) INSULATION IN ALL EXTERIOR WALLS WHERE FRAMING IS EXPOSED.
- ENVELOPE - ALL EXISTING HOSE BIBS ARE TO BE PROTECTED DURING CONSTRUCTION AND ARE TO BE REPLACED IF DAMAGED. HOSE BIBS TO BE BRASS & FREEZE PROOF.
- ENVELOPE - ALL UNITS WILL HAVE NEW BUILDING IDENTIFICATION SIGNS & UNIT NUMBERS. ALL NEW UNIT NUMBERS & BUILDING NUMBERS ARE TO BE ATTACHED TO A PLACARD INSTALLED AS SPECIFIED BY THE OWNER. SEE OWNER FOR PLACEMENT. SEE ALLOWANCE.
- ENVELOPE - CONTRACTOR IS TO ENSURE THAT CAULKING MAY NOT BE USED ON THE TOP 6" COURSES OF BRICK WALL HAVE A MASON TO COME AND RECURSE THE BRICK AND APPLY MATCHING MORTAR AND BRICK TIES AS NECESSARY.
- ENVELOPE - ALL EXISTING BRICK MORTAR THAT IS CRACKING AND IS LOCATED AT THE TOP 6" COURSES OF BRICK WALL HAVE A MASON TO COME AND RECURSE THE BRICK AND APPLY MATCHING MORTAR AND BRICK TIES AS NECESSARY.
- ENVELOPE - ALL EXISTING BRICK TO REMAIN IS TO BE PROTECTED DURING CONSTRUCTION AND IS TO BE REPLACED AT THE G.C.'S EXPENSE IF DAMAGED.
- ENVELOPE - ALL UNITS THAT HAVE ROOF EXHAUST VENTS ARE TO HAVE FLASHING BOOTS. REPLACE EXISTING VENTS WHERE LOCATED. VERIFY WITH OWNER, ARCHITECT AND OWNER FOR SPECIFICATIONS FOR APPROVAL.
- ENVELOPE - ANY EXTERIOR PENETRATIONS FROM GAS/ELECTRIC/WATER LINES OR WATER LINES MUST BE SEALED WITH SPRAY FOAM. PROVIDE ESCUTCHION PLATES ON EXTERIOR.
- WINDOWS - ALL EXIST. WINDOW FRAMES WILL REMAIN FOR NEW INSTALL OF WINDOWS W/ Z-BAR FLASHING. (SEE JUSTIN HOWE FOR FURTHER INFORMATION REGARDING WINDOW SPECS & INSTALL).
- WINDOWS - REPLACE ALL WINDOW FRAMES AS NECESS. & SHIM TO LVL. IF REPLACING WINDOW FRAMES PLEASE CONSULT WINDOW CONSULTANT OR OWNER BEFORE EXECUTING.
- ALL EXISTING WINDOW AND DOOR FRAMES SHALL BE PROTECTED, LEVEL, AND REPLACED AS NECESSARY.
- ROOF - ALL ROOF ARE TO HAVE NEW ROOF INSULATION (R-38) IN ALL ROOF AREAS THAT HAVE EXPOSED/ DAMAGED DECKING.
- EXISTING METAL FENCE AROUND THE SITE IS TO BE PAINTED. AND HAVE & ALLOWANCE OF 60 LF FOR REPAIR.
- ROOF (BUILT-UP SYSTEM) - NEW ROOFING IS TO BE OWEN'S CORNING ASPHALT SHINGLES, "COLOR TO BE DETERMINED" AND MATCH EXISTING. APPLIED ONLY AFTER THE NEW UNDERLAYMENT HAS BEEN APPLIED. COORDINATE SPEC OF UNDERLAYMENT BEFORE.

53. FLASHING - PROVIDE NEW METAL FLASHING AND METAL Drip EDGES ALONG EAVES AS NECESSARY (TAPE FLASHING TO ROOF UNDERLAYMENT)

54. ROOF - ALL DAMAGED ROOF DECKING (MATCH EXISTING TYPE & THICKNESS) & WATERPROOFING IS TO BE REPLACED, WHERE EXISTING ROOF PENETRATIONS HAVE OCCURRED THOUGH THE SHEATHING. APPLY NEW EXTERIOR GRADE SHEATHING AND WATER-PROOFING UNDERLAYMENT AS NECESSARY.

55. SIDING - WHERE EXISTING CEDAR PLANK SIDING IS LOCATED REPLACED WITH NEW SMOOTH CEMENTITIOUS SIDING. PROVIDE NEW CEMENTITIOUS TRIM AS SPEC'D; APPLY NEW BUILDING WRAP ON ALL BUILDINGS & EXTERIOR GRADE SHEATHING WHERE BROKEN OR MISSING. IF REPLACING THE SHEATHING IS NECESSARY, REMOVE OLD AND INSTALL NEW INSULATION. SEE SPECIFICATIONS FOR MORE DETAILS.

56. SIDING - PROVIDE NEW 1/2" THICK TO BE VENTED AND NON-VENTED THICK CEMENTITIOUS SOFFITS. NEW SOFFITS WILL MATCH EXISTING SIZE. PAINT AND PRIME SPECIFIED.

57. SIDING - PROVIDE NEW 1" THICK CEMENTITIOUS FASCIAS TO MATCH EXISTING. NEW FASCIAS, PAINT, AND PRIME AS SPECIFIED.

58. ENVELOPE/LIGHTING - ALL UNITS ARE TO HAVE NEW WALL MOUNTED EXTERIOR LIGHT FIXTURES, INCLUDING WALL PACKS WITH DUSK TILL DAWN SENSORS AS PER EXISTING. SEE SPECIFICATION ON A1 & MEP FOR FIXTURE LOCATIONS.

59. ENVELOPE/LIGHTING - REPLACE DAMAGED ELECTRICAL JUNCTION BOXES FOR EXTERIOR WALL LIGHTS AS NECESSARY. WHERE BRICK WALL HAVE BEEN REMOVED THAT HAVE WALL LIGHTS, JUNCTION BOXES ARE TO BE PUSHED BACK TO BE FLUSH WITH NEW SIDING OR BRICK. USE PANCAKE JUNCTION BOX/EXTENSION RINGS AS NECESSARY. SEE MEP ALL EXTERIOR WALL RECEPTACLES ARE TO BE FLUSH WITH CLADDING SURFACE AND MEET CURRENT ELECTRICAL CODE.

60. ENVELOPE/LIGHTING - WIRING FOR NEW LIGHTS WILL BE LOCATED IN THE WALLS AND ATTICS AND ARE NOT TO HAVE ANY EXPOSED CONDUIT. ALL EXISTING EXPOSED CONDUIT IS TO BE RELOCATED INTO THE WALLS OR ATTICS. ALL NEW EXTERIOR LIGHTS WILL INCLUDE A NE W JUNCTION BOX OR A PANCAKE JUNCTION BOX.

61. SITE - DO NOT DESTROY SHRUBS AND TREES CONTACT OWNER/ ARCH FOR APPROVAL BEFORE DESTROYING VEGETATION.

62. SITE - CONTRACTOR IS TO PROVIDE UNIT PRICING FOR ALL FLATWORK IN NEW OF REPAIR FOR CODE AND SAFETY REGULATIONS.

63. SITE - ALL EXISTING A/C CONDENSING UNITS TO HAVE NEW CONCRETE PADS/ SCREENS SINGLE OR DOUBLE. (SEE DETAIL: 1/2) CONDENSING UNITS ARE TO BE CENTERED AND BOLTED TO PAD AS PER MANUFACTURERS SPECIFICATIONS. INCLUDE UN HOOKING THE EXISTING CONDENSING UNITS AND REHOOKING THEM UP AFTER PADS ARE FINISHED. (MEET CODE REQUIREMENTS)

64. ALL WINDOWS ON THE SECOND FLOOR WINDOWS MUST HAVE CHILD-LOCK/ LIMITED ACCESS HARDWARE AND OR WINDOWS ABOVE 4'8" FROM EXTERIOR GROUND SURFACE. PROV. SLIDING WINDOW IN LIEU OF SING. HUNG WNDW, WHERE THE EGRESS WINDOW OPENING IS NOT TO CODE.

65. ENVELOPE - REPLACE ALL ROOF FLASHING WITH NEW ROOF FLASHING. ARCHITECTS APPROVAL. FLASHING IS TO INCLUDE:

- ROOF DRIFPEDE. SEE DETAIL: 9/AS. MATCH EXISTING.
- ROOF TO WALL DRIFPEDE/FLASHING AND KICKBACK. SEE DETAIL: (1/6A). MATCH EXISTING.
- Z FLASHING ABOVE WINDOW. SEE DETAIL: 9/AS. MATCH EXISTING.
- FOUNDATION/ WATERPROOFING TO FOUNDATION. SEE DETAIL: 1/6AS. MATCH EXISTING.
- ROOF FLUE FLASHING. SEE DETAIL: 7/AS. MATCH EXISTING.
- ROOF AT SHED PEAK TO WALL. SEE DETAIL: 1/6A. MATCH EXIST.
- CONTRACTOR IS TO SEAL EACH OF THE BUILDINGS IN ITS ENTIRETY.

66. CONTRACTOR IS TO INCLUDE THE COST FOR REHOOKING AND UNHOOKING THE ELECTRICAL AND CONDENSING UNITS IN HIS BID. FOR SPECIFICATION ON THE ELECTRICAL PANEL AND CONDENSING PADS. ALL UNITS TO BE FASTENED AS SPEC'D

67. CONTRACTOR IS TO ENSURE ALL ELECTRICAL IS UP TO CODE.

68. SITE - CONTRACTOR IS TO PROVIDE AND INSTALL 5 CUBIC YARDS OF FILL FOR GRADING AT EACH BUILDING. CONTRACTOR MAY HAVE TO RE-GRADING AT SELECT AREAS BECAUSE OF WATER INFILTRATION.

69. CONTRACTOR WILL BE RESPONSIBLE FOR ALL UTILITIES AND SERVICE BREAKAGE THROUGHOUT THE PROJECT DURATION. ANY DAMAGE WILL BE AT THE EXPENSE OF THE CONTRACTOR.

70. CONTRACTOR WILL BE RESPONSIBLE TO REPAIR AND/ OR RECONNECT ALL UTILITIES THAT ARE DISRUPTED DURING PROJECT WITHIN 8 HOURS OF SERVICE DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER/ OPPORTUNITY HOMES.

71. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER AND WATER FOR PROJECT DURATION.

72. MATERIALS SHALL BE STORED IN SUCH A MANNER TO ENSURE PROPER VENTILATION AND DRAINAGE, AND TO PROTECT AGAINST DAMAGE, WEATHERING, VANDALISM AND THEFT. SEE OWNERS FOR STAGING LOCATION.

73. ANY DAMAGE TO CURBS OR SIDEWALKS MUST BE REPLACED BY G.C. EXPENSE.

74. ALL CONDENSATE DRAINS ARE TO BE LOCATED PER ARCH/ OWNER.

75. ALL NEW PAVEMENT CONSTRUCTION MUST HAVE NEW SEAL AND STRIPPING ON ALL PARKING LOT SURFACES. SEE CIVIL.

76. CONTRACTOR IS TO TAKE ALL STRUCTURAL/ MECHANICAL, ELECTRICAL AND PLUMBING MODIFICATIONS TO CONSIDERATION.

77. SEE GENERAL NOTES ON DRAWINGS FOR ADDITIONAL INFORMATION.

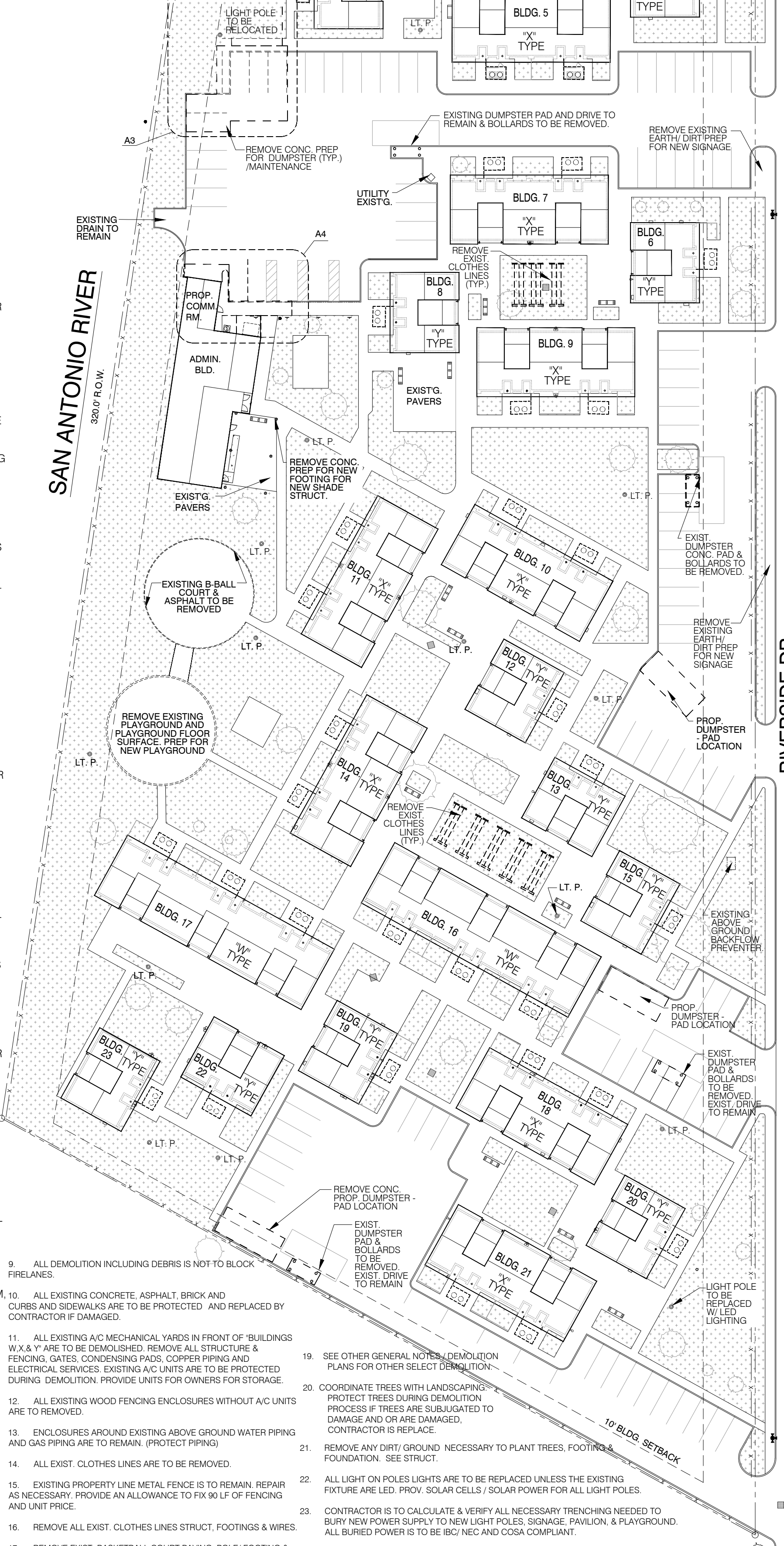
CONTRACTOR TO SUBMIT FINISH SPECIFICATIONS AND SAMPLES PRIOR TO ORDERING FOR FINAL APPROVAL. THIS INCLUDES SAMPLES OF TRIM, FLASHING, CAULKING, LIGHTING, PAINT, JUNCTION BOXES, SOFFIT, FASCIA, ROOF VENTS, WALL VENTS, CONCRETE A/C SLABS, MEP EQUIPMENT, WINDOWS, DOORS, WATERPROOFING, NEW WATERPROOFING UNDERLAYMENT, ROOFING ASSEMBLIES, SHOP DRAWING FOR MILLWORK, STEEL, AND TRUSSES AND OTHERS. PLEASE SEE ARCH FOR FULL LIST.

SITE DEMOLITION NOTES

- CONTRACTOR IS TO PROVIDE EXCAVATION FOR NEW PROPOSED LIGHT POLES. SEE MEP AND ARCHITECTURAL FOR PROPOSED LOCATIONS.
- SEE PROPOSED SIGNS FOR LOCATIONS AND EXCAVATION FOR NEW FOOTINGS.
- SEE GENERAL NOTES FOR PROPERTY LINE FENCING.
- DEMOLISH ALL EXISTING DUMPSTER BOLLARDS, FENCING & CONC. UNLESS SPECIFIED.
- AT PROPOSED DUMPSTER PAD LOCATIONS, REMOVE EXISTING CONC. SURFACES AND EXCAVATE PER STRUCTURAL RECOMMENDATIONS. SEE STRUCTURAL DRAWINGS.
- THE ENTIRE SITE IS TO HAVE THE EXISTING PARKING AND LANES STRIPING TO BE REMOVED. PREP FOR NEW STRIPING AND REPAINTING OF FIRE LANES.
- SEE SHEET A4 FOR ADA COMMUNITY CENTER/ PAVILION (AS NEEDED) SIDEWALKS. REMOVE EXISTING SIDEWALKS AS NEEDED.
- REMOVAL, ALL EXISTING ROOFING, WATERPROOFING AND REPLACE SHEATHING IF DAMAGED ON EACH BUILDING. PREP FOR NEW ASPHALT SHINGLE ROOFS.

LEGEND

EXISTING TREE:	
EXIST. DRAIN:	
EXIST. DUMPSTER PADS TO BE REMAIN. (REMOVE BOLLARDS, SEE NOTE):	
ITEMS TO REMAIN	
ITEMS TO BE REMOVED	
EXIST. CLOTHES LINES TO BE DEMOD	
EXIST. A/C CORRALS TO BE REMOVED	



1 SITE DEMO PLAN

1" = 40'

SPRINKLE & CO. ARCHITECTS

11/27/2024

DAVIS SPRINKLE, AIA

REGISTERED ARCHITECT

STATE OF TEXAS #11142

11/27/2024

05.21.2024 - BID ISSUE

REVISIONS:

SHEET:

CS

RIVERSIDE APARTMENTS EXTERIOR RENOVATIONS

515 RIVERSIDE DRIVE SAN ANTONIO, TX. 78223

EXTERIOR FINISH LEGEND									
BUILDING									
DOORS									
EXISTING DOOR ARE TO BE REPAIRED AS NEEDED, IF DOOR NEEDS TO BE COMPLETELY REPLACED SEE SPEC. MATCH EXISTING COLOR AND FINISH.									
DOOR TRANSITIONS									
M-D 36" x 5.625" ALUM./WD. DOOR THRESHOLD MODEL #: 78691									
BRICK FLASHING:									
GIBRALTAR BUILDING PRODUCTS 1-1/2" x 1-1/2" X 10' GALV. STL. DRIP EDGE FLASHING MODEL #: 15539 PRIME AND PAINT EXISTING MTL. LINTELS. SEE ARCH OR OWNER FOR COLOR.									
SIDING:									
JAMES HARDIE 8" WIDE SMOOTH ARTISAN SIDING, SQUARE CHANNEL. PRIMED & PAINTED AS SCHED.									
SOFFIT:									
JAMES HARDIE 16" WIDE OR 24" 4/4 SMOOTH AND VENTED SOFFIT PRIMED AND PAINTED AS SCHED.									
FASCIA:									
JAMES HARDIE 5 1/2" WIDE 4/4 SMOOTH FASCIA, PRIMED & PTD. AS SCHED.									
EXTERIOR SIDING, WINDOW AND DOOR TRIM:									
JAMES HARDIE 3 1/2" WIDE 4/4 SMOOTH TRIM CAULK AROUND NEW REPLACEMENT WINDOWS. ALL NEW FRAMES ARE TO MATCH EXISTING COLOR.									
INTERIOR WINDOW AND DOOR TRIM:									
1X4 HARD WD SMOOTH NO. 1 - PRIMED & PTD. AS SCHED.									
GUTTER:									
TEXAS GUTTER KING 6" SEAMLESSS ALUM. BOX GUTTER W/ GUTTER GLOVE PRO LEAF GUARD APPLIED ACROSS ENTIRE BOX GUTTER. COLOR OF GUTTER & DOWNSPOUT TO BE DETERMINED BY OWNER. STAND. FACTORY COLORS ONLY.									
DOWNSPOUT									
TEXAS GUTTER KING 3" x 4" RECTANGULAR DOWNSPOUT. DOWN SPOUT EVERY 20' OF SECTION. PROV. CONCRETE DRAIN BOX OR SPLASH BLOCK IN LOCATIONS OF LANDSCAPING.									
SPLASH BLOCK									
MASTER MARK 2' x 11 1/2" x 24 3/8" GRAY SPLASH BLOCK MODEL #: 30324									
WINDOW SCREENS									
WALL, EXHAUST VENT FOR DRYERS FAMCO 4" DIA. DUCT ROUND WALL VENT SKU: SDWW4WH									
ROOFING BOOT									
MASTER FLOW 1.5" 26 ga. PIVOT PIPE BOOT FLASHING GALVALINIZED MODEL #: FLV24X36									
ROOFING VENTS									
MASTER FLOW SLANT BACK ROOF LOUVER STATIC VENT MODEL #: SSB960ASMWW									
ROOF TO WALL FLASHING									
GIBRALTAR BUILDING PRODUCTS 4" x 8" GALV. X 10'-0" STL. FORMED FLASHING SHINGLE									
ROOF DRIP EDGE									
GIBRALTAR BUILDING PRODUCTS 2-3/8" x 1-1/2" X 10' GALV. STL. DRIP EDGE FLASHING MODEL #: 15539. (INSTALL SECTION MORE THAN 5'-0" ONLY)									
ROOF RIDGE CAPS									
UNION CORRUGATING 10" x 120" STEEL ROOF PANEL RIDGE CAPS MODEL #: GR10									
COMPOSITE WOOD									
MARKSTAAR - 2'X8'X12" RECYCLED PLASTIC LUMBER 2" x 9" x 12' PREM. DECKING FENCE BOARD CEDAR STEEL TUBE USED FOR FENCE FRAME									
INSULATION:									
ROCKWOOL COMFORT BATT - R-38. W/ RAFTER VENTS. RAFTER VENTS: PROVENT 48" VENT.									
SILL CLOSURE STRIPS:									
PROVIDE A MASTIC B/W STRIP AND SILL PLATE									
WOOD STUDS									
ALL WALL STUDS ARE TO BE SOUTHERN YELLOW PINE #2 MINIMUM.(2X4)									
CONC. VAPOR BARRIER									
STEGO INDUSTRIES, 20 MIL OR BETTER.									
WALL WATERPROOFING -									
TYVEK COMMERCIAL WRAP 5									
EXHAUST VENT -									
SEE MEP.									
SITE LIGHTS AND POLES -									
SEE MEP. MATCH EXISTING. PROV. SOLAR CELL/ POWER.									
FLATWORK									
ALL NEW FLATWORK IS TO BE BY IBC/ COSA/ ADA COMPLIANCE.									
PLAYGROUND									
PLEASE SEE KRAFTMEN PLAYGROUNDS AND QOUTE FOR PRICING. PROVIDE AN ALLOWANCE OF \$120,000 FOR NEW PLAYGROUND AND INCLUDE IN BID.									

NOTE: ALL SIDING, TRIM, FASCIAS, SOFFITS AND BRICK IS TO BE PRIMED AND PAINTED PER PAINT SPEC. NOTE: CONTRACTOR TO SUBMIT FINISH SPECIFICATIONS AND SAMPLES INCLUDING HARDWARE PRIOR TO ORDERING FOR FINAL APPROVAL. NOTE: CONTRACTOR IS TO REMOVE EXISTING PEELING PAINT ON CMU AND BRICK WALLS IN ALL UNITS (INTERIOR AND EXTERIOR) TO ACHIEVE A SMOOTH SURFACE CAPABLE OF ADHERING PREMIERE AND PAINT. PAINT 4X4 SAMPLE ON WALL FOR OWNER AND ARCHITECTURAL APPROVAL.

WINDOW SCHEDULE									
CALL OUT	LOCATION	MATERIAL	ACTION	SIZE (WxH)	HEAD HT	DTLS HEAD	JAMB	SILL	NOTES
A	W, X, Y TYP 1ST FLR WINDOW	VINYL DEL. PANE - LOW E	SINGLE HUNG	FIELD VERIFY	FIELD VERIFY				DAYTIME MAX SINGLE HUNG WINDOW (FV) REPLACEMENT WINDOW, Z-BAR & OR RETROFIT WITHIN FRAME
B	W, X, Y TYP 1ST - 2ND FLR WINDOW	VINYL DEL. PANE - LOW E	SLIDER VERIFY HANDLING	FIELD VERIFY	FIELD VERIFY				DAYTIME MAX SLIDER OR SINGLE HUNG WINDOW (FV) REPLACEMENT WINDOW, Z-BAR & OR RETROFIT WITHIN FRAME
C	W, X, Y TYP 2ND FLR WINDOW	VINYL DEL. PANE - LOW E	SLIDER VERIFY HANDLING	FIELD VERIFY	FIELD VERIFY				DAYTIME MAX SLIDER WINDOW, Z-BAR & OR RETROFIT WITHIN FRAME
D	NEW COMMUNITY ROOM	STOREFRONT MATCH EXIST. TEMP. SECURITY GLASS	FIXED	FIELD VERIFY	FIELD VERIFY				NEW WINDOW & FRAME
E	NEW MAINTENANCE BUILDING	VINYL DEL. PANE - LOW E	FIXED	FIELD VERIFY	FIELD VERIFY				NEW WINDOW & FRAME
F	EXISTING ADMIN. OFFICE	VINYL OR STOREFRONT DEL. PANE - LOW E	SINGLE HUNG	FIELD VERIFY	FIELD VERIFY				REPLACEMENT WINDOW, Z-BAR & OR RETROFIT WITHIN FRAME

- WINDOW NOTES:
- ALL NEW WINDOWS ON SECOND FLOOR AND OR WINDOWS WITH SILL ABOVE 48" ON THE 1ST FLOOR ARE TO HAVE INTEGRATED CHILD-LOCK/ LIMITED ACCESS HARDWARE THAT WILL NOT IMPEDE ON FULL EGRESS ACCESS. VERIFY WITH ARCH AS NEEDED
 - CONTRACTOR IS TO SEAL AND WATERPROOF ALL WINDOWS, INCLUDING FLASHING.
 - ONE WINDOW IN ALL BEDROOM ARE TO HAVE FULL EGRESS ACCESS. VERIFY INT. CONDITIONS FOR EGRESS COMPLIANCE PRIOR TO ORDERING WINDOWS.
 - CASEMENT/ SLIDING WINDOWS ARE TO REPLACE SING. HUNG WDWS WHERE SING. HUNG WDWS DO NOT MEET EGRESS REQUIREMENTS. VERIFY SIDDING FUNCTION.
 - ALL NEW WINDOWS ARE TO BE DEL. PANE, LOW-E. THIS SHALL INCLUDE REPLACEMENT GLASS IN BUILDING #11
 - CONTRACTOR AND SUB CONTRACTOR ARE TO ENSURE
 - THAT ALL EGRESS REQUIREMENTS ARE MET. CONSULT WITH JUSTIN HOWE FROM GUIDO OR ARCH FOR FURTHER INFORMATION REGARDING EGRESS/ CODE REQUIREMENTS.
 - PRIOR TO ORDERING, THE CONTRACTOR IS TO SEND SUBMITTALS FOR ARCH. & OWNER FOR APPROVAL. IN ADDITION, THE CONTRACTOR IS TO VERIFY ALL NEW WINDOW DIMENSIONS.
 - WHEN INSTALL NEW Z-BAR AND OR RETROFIT WINDOWS, ALL WINDOWS FRAMES SHALL BE LEVEL.
 - CONTRACTOR IS TO VERIFY HANDLING ON ALL SLIDING AND CASEMENT WINDOWS. ENSURE PROPER EGRESS.
 - IF BRICK REMOVAL IS NECESSARY FOR WINDOW REPLACEMENT, THEN SEE DTL FOR REMOVAL. VERIFY SHORING
 - ALL 1ST FLR. WINDOWS ARE TO RECEIVE WINDOWS
 - WINDOW SCREENS ARE TO BE FASTENED TO FRAMING, WITHIN WITHOUT VOIDING WARRANTY. DISCUSS WITH WINDOW SCREEN MANUFACTURE FOR FURTHER DETAILS. WINDOW SCREENS CAN NOT BE FASTENED TO WINDOW FRAME, STASH OR RAILS. WINDOW SCREENS ARE TO COMPLY W/ EGRESS STANDARD INCLUDING HARDWARE.
 - ALL WINDOWS ARE TO HAVE AN INTERIOR WOOD SILL. SEE DETAILS.
 - EACH WINDOW IS TO HAVE NEW 1" VINYL (WHITE HORIZONTAL) MINI BLINDS PROV. PVC HEAD & BOTTOM RAIL.
 - CONTRACTOR TO SUBMIT A SUBMITTAL FOR ALL WINDOWS.

DOOR SCHEDULE											
#	TYPE	LOCATION	HANDLING	DOOR			FRAME			HARDWARE	NOTES
				WIDTH	HT.	FINISH	MATL	FINISH	TYPE		
01A	A	TYP. UNIT ENTRY/ BACK DR.	FIELD VERIFY	2'-8" TO 3'-0" F.V.	6' - 8"	PRIMED AND PTD.	HOLLOW METAL STL.	PRIMED METAL PTD.	STEEL	HARDWARE SET #1,2, 4, 5, 7, 9	ALL LOCKING HARDWARE MUST HAVE THE SMARTKEY FEATURE.
01B	B	TYP. UNIT ENTRY/ BACK DR.	FIELD VERIFY	2'-8" TO 3'-0" F.V.	6' - 8"	PTD.	STL.	PTD.	MTL	REMOVE EXISTING FRAME AND DOOR. DOORS ARE TO BE RETURNED TO OWNERS. (VERIFY WITH OWNERS WHERE TO PLACE)	COLOR OF ALL HARDWARE IS TO BE DETERMINED.
01C	C	EXT. MECH RM. CLOSET	FIELD VERIFY	2' - 6"	6' - 8"	PTD.	STL.	PTD.	MTL	DOOR IS TO BE SANDED, PRIMED & REPAINTED. REPAIR DOOR AS NECESS.. HARDWARE. REPLACE HARDWARE MATCH EXIST. SET #1, 7	
01D	D	NEW MAINTENAN. STORAGE	FIELD VERIFY	3' - 0"				PTD.		QUICKSET EXT. LOCKING AND DEADBOLT. UNIVERSAL HARDWARE ALL-IN-ONE DOOR CLOSER. COM. EXIT DEVICE SURF. W/ VERT. ROD FIRE EXIT DEVICE. GLOBAL DOOR CONTROLS ALUMIN KEYED ENTRY LEVER. COM. DOOR HINGES.	
01E	E	NEW COMM. ROOM	FIELD VERIFY	MATCH EXIST	MATCH EXIST	PTD.	STL.		MTL	PANIC HARDWARE W/ EXT. LEVER. DOOR TO HAVE LIGHT, CLOSER, DEADLOCK, SWEEP AND TRANSITION.	
01F	F	ADMIN FOYER	FIELD VERIFY	2' - 6"	6' - 8"	PTD.	WD.	PTD.	MTL	KWIKSET EXT. KNOB FEAT. SMART KEY, PANIC HARDWARE W/ ENTRY LEVER, CLOSER, DOOR STOPS, WIRE SAFETY GLASS	
01G	H	NEW MAINTENAN. STORAGE	FIELD VERIFY	2' - 6"	6' - 8"	PTD.	WD.	PTD.	MTL	HARDWARE SET #1,2, 4, 8, 9	

- NOTES:
- CONTRACTOR IS TO SUBMIT A SUBMITTAL AND EXAMPLE OF DOORS AND HARDWARE BEFORE ORDERING DOORS AND HARDWARE.
 - CONTRACTOR IS TO VERIFY ALL DOOR AND WINDOW DIMENSIONS, SWING, HINGING BEFORE ORDERING DOORS AND WINDOWS.
 - WHEN INSTALLING AND REPLACING NEW DOORS CONTRACTOR IS TO PROVIDE NEW EXTERIOR AND INTERIOR TRIM. CONTRACTOR IS TO INCLUDE ANY NECESSARY INTERIOR AND EXTERIOR TRIM NEEDED FOR FINISHING THE DOORS. PAINTED AND INSTALLED.
 - DURING INSTALLATION CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES TO THE INTERIOR OR EXTERIOR TRIM, SHEATHING, WATERPROOFING, GYPSUM, & FLASHING. ANY DAMAGES WILL BE AT THE EXPENSE OF THE CONTRACTOR.
 - CONTRACTOR IS TO INSTALL & LVL NEW DOOR FRAMES AND DOORS AS NECESSARY.
 - ALL DRS ARE TO BE PAINTED W/ THE SPEC'D COLORS. (PRIMER & TWO COATS OF SPEC'D PAINT)
 - ALL DOOR THICKNESS ARE TO MATCH EXISTING.
 - ALL VOIDS BETWEEN DOOR FRAMES & WOOD FRAMING ARE TO BE FOAMED/TRIMMED.
 - ALL NEW DOORS WILL BE PRE HUNG DOORS AND INCLUDE THE FRAME, DOOR, HINGES AND NECESSARY TRIM TO CONCEAL THE FRAME. NEW TRIM WILL BE ON BOTH EXTERIOR AND INTERIOR

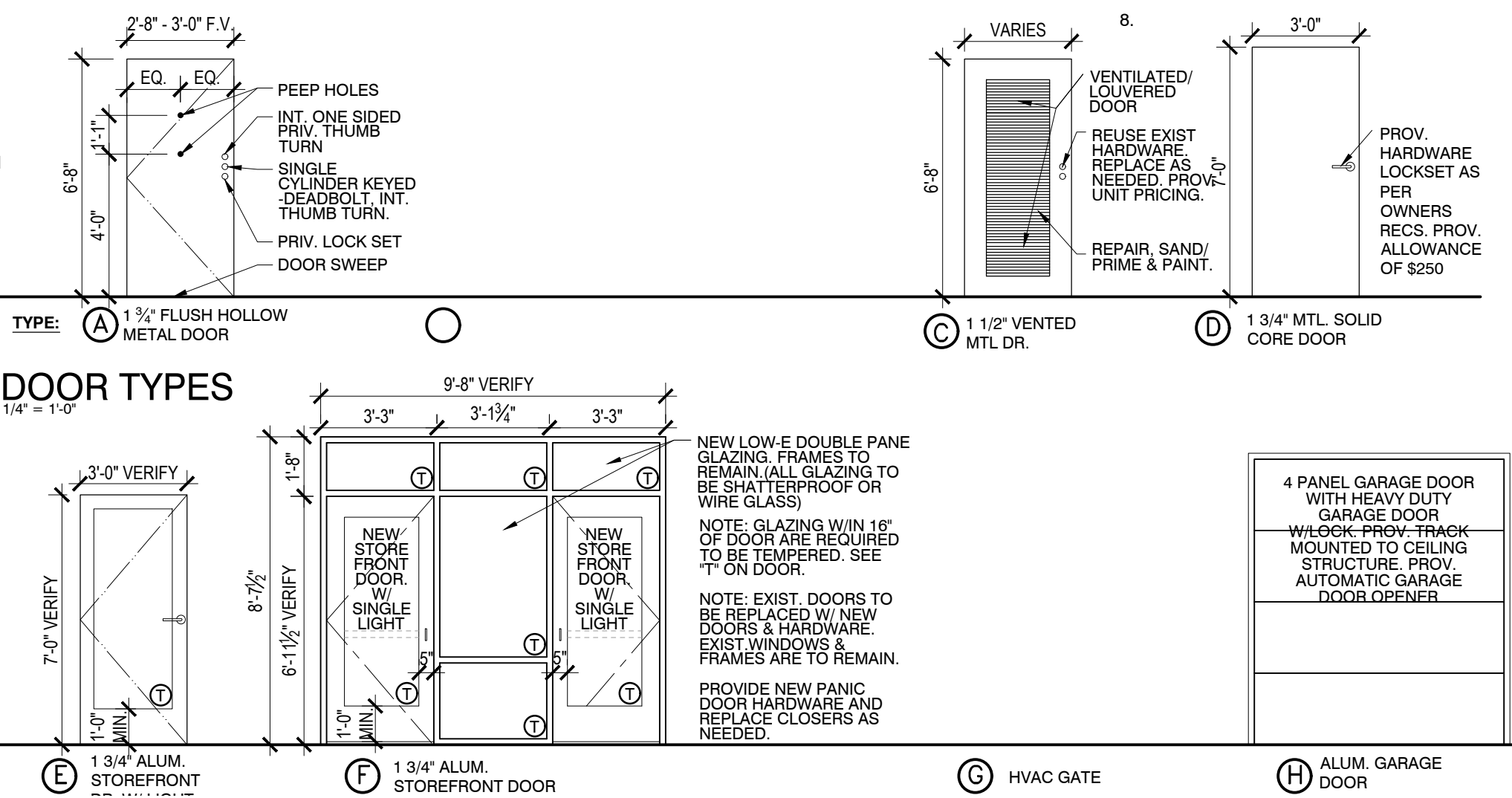
EXTERIOR PAINT FINISH SCHEDULE									
TYPE	SIDING/ BRICK	DOORS	WIN. TRIM	FASCIA	SOFFIT	DOOR TRIM	CORNER TRIM	COMPOSITE DECK	FLASHING
A	PGGT091-3 LIMITLESS	SS10-6 DURANGO BLUE	BEHR SEMI GLOSS WHITE	BEHR SEMI GLOSS WHITE	PGG1091-3 LIMITLESS	BEHR SEMI GLOSS WHITE	BEHR SEMI GLOSS WHITE	PGG1091-3 LIMITLESS	SUBMIT FOR ARCHITECTS APPROVAL
B	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
C	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
D	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD

- EXTERIOR PAINT NOTES:
- CONTRACTOR TO SUBMIT FINISH SPECIFICATIONS AND SAMPLES PRIOR TO ORDERING FOR FINAL APPROVAL.
 - CONTRACTOR TO INCLUDE A MIN. OF FOUR DIFFERENT PAINTS FOR EACH BUILDING PAINT TYPES (W,X,Y) FOR FINAL BID.
 - ALL PAINT COLORS ARE TO HAVE 4"-0" X 4"-0" SAMPLES PAINTED ON WALL FOR OWNERS APPROVAL BEFORE CONTRACTOR ORDERS ALL PAINT.
 - CONTRACTOR IS TO PROVIDE A GALLON OF EACH COLOR TO THE OWNER WHEN CONSTRUCTION IS COMPLETE.
 - PAINT.
 - ALL EXTERIOR SURFACES SPECIFIED TO BE PAINTED ARE TO HAVE PRIMER AND TWO COATS OF PAINT.
 - CONTRACTOR IS ONLY TO USE EXTERIOR GRADE PAINT ON ALL EXTERIOR RENOVATIONS.
 - CONTRACTOR IS TO SEAL THE BUILDING IN ITS ENTIRETY BEFORE PAINTING.
 - ALL BUILDINGS WITH THE TYPE "W,X,Y," ADMINISTRATION, PAVILION AND MAINTENANCE STORAGE DESIGNATION ON THE SITE PLAN ARE TO HAVE COLORS TO BE DETERMINED FOR THE EXTERIOR COMPONENTS. APPLY EITHER (A,B,C,D) COLOR SCHEME FOR BIDDING PURPOSES. SEE SITE PLAN AND LETTER DESIGNATION FOR LOCATION
 - OF TYPE "A,B,C, AND D" PAINTING SCHED.
 - CONTRACTOR IS TO PRIME ALL SURFACES BEFORE PAINTING BUILDING SPEC'D COLORS TO ENSURE PAINT ADHERES TO THE SURFACE. A SPECIFICATION FOR BIDDING.
 - ALL PTD. BRICK WALLS ARE TO HAVE THE MANUFACTURERS RECOMMENDED PREP TO WALL PRIOR TO PAINT APPLICATION.

CONTACT INFORMATION: PLAYGROUND KRAFTSMAN PLAYGROUND - ZACH KELLER
M.800-451-8869 D. 832. 794.2528
A.19535 HAULDE RD. SPRING, TEXAS 78388
E. zachk@kraftsmanplay.com

CONTACT INFORMATION: FOR WINDOW SCREENS. TAPCO, INC.
800-737-8272
1815 MCCULLOUGH BOULEVARD
TUPELO, MS. 38801
ATTN: kirk roberts (kirk@tapcoscreens.com)

- WINDOW SCREEN NOTES:
- ALL WINDOW SCREENS ARE TO BE REPLACED AS NECESSARY. VERIFY WHICH ARE BROKEN AND OR NEEDED NEW MISSING. INCLUDE IN BID QUANTITY.
 - CONTRACTOR MUST ENSURE THE NEW SECURITY WINDOW SCREENS ARE INSTALLED PROPERLY AND DO NOT VOID THE WINDOW WARRANTY. TO SEE MANUFACTURE FOR FURTHER INFORMATION.
 - GEN. CONTRACTOR SHALL PROVIDE SECURITY WINDOW SCREENS W/ TWO SPRING LATCHES PER OPPORTUNITY HOMES' SPECS.
 - ALL NEW WINDOW SCREEN MATERIAL ARE TO BE CLEAR VIEW WINDOW SCREEN. SEE TAPCO FOR ADDITIONAL INFORMATION.



- HARDWARE SET**
- EXT KWIKSET - PRIVACY LOCKSET / GRADE 3 - 2 WAY. EXTERIOR ENTRY KNOB AND SINGLE CYLINDER COMBO. JUNO - SATIN CHROME
 - EXT. KWIKSET - SINGLE SIDED DEADBOLT W/ THUMB TURN & BACK PLATE / GRADE 3 NON-COMMERCIAL MFG #667 / SATIN CHROME
 - SHIELD SECURITY - PASSAGE / GRADE 3 - 2 WAY LATCH / TULIP KNOB STYLE / SATIN CHROME FINISH
 - DOOR STOP - HINGE DOOR STOP / SATIN CHROME FINISH (EVERBUILT- HINGE PIN DOOR STOP SATIN CHROME)
 - EYE VIEWER - PRIMELINE 160 DEGREE DOOR VIEWER - SATIN CHROME
 - PANIC HARDWARE -
 - HINGES - MORTISED/ RECESS IN THE STEEL DOOR, 4-HOLE SCREW PATTERN, 5 KNUCKLE (FINISH 626 - SATIN CHROME) (HAGER 1279)
 - CLOSERS - YALE 5801 - FINISH 689 - ALUMINU.
 - DOOR SWEEPS - PEMKO 209 - 5 FINGER VINYL DOOR SWEEP.
 - CONTRACTOR TO SUBMIT FINISH SPECIFICATIONS AND SAMPLES PRIOR TO ORDERING FOR OWNER AND ARCHITECT FINAL APPROVAL.
 - ALL DOOR HARDWARE FINISH TO BE STAIN NICKEL - (626 OR US26D)
 - ALL LOCKING HARDWARE MUST HAVE A SMART KEY (RE-KEY) FEATURE UNLESS SPECIFIED.
 - ALL NEW HINGES ARE TO BE RECESSED/MORTISED HEAVY DUTY STAINLESS STEEL - COMMERCIAL GRADE HINGES.

- NOTES:
- CONTRACTOR TO SUBMIT FINISH SPECIFICATIONS AND SAMPLES PRIOR TO ORDERING FOR OWNER AND ARCHITECT FINAL APPROVAL.
 - ALL DOOR HARDWARE FINISH TO BE STAIN NICKEL - (626 OR US26D)
 - ALL LOCKING HARDWARE MUST HAVE A SMART KEY (RE-KEY) FEATURE UNLESS SPECIFIED.
 - ALL NEW HINGES ARE TO BE RECESSED/MORTISED HEAVY DUTY STAINLESS STEEL - COMMERCIAL GRADE HINGES.

FILE			DUMPSTER PADS ARE TO BE SUBMITTED FOR STRUCTURAL LOCATIONS APPROVAL PRIOR TO CONSTRUCTION.
NP1 OR CAULKING SUBMIT FOR ARCHITECTS APPROVAL	ELECTRICAL PANELS SUBMIT FOR ARCHITECTS APPROVAL	NOTES BEFORE ORDERING PAINT, A 4X4" SAMPLE FOR ARCH. & OWNER APPROVAL. PAINT ELECT. PANELS ONLY WHEN THEY'RE REMOVED.	IN SOME CASES, THE TYPICAL BOLLARDS TO PROTECT FIRE SHOW MINIMUM. FINAL BO
TBD	TBD		A.D.A. FLATWORK REVIEW & REPLACE OR FIX @ ADMIN/ PAVILION/ PLAY
TBD	TBD		RESTRIPES PARKING LOT, FIRE ENTIRE PARKING LOT TO BE FIRE LANE CURBS.
TBD	TBD		PARKING LOT