

615 E. EVERGREEN ST.
SAN ANTONIO, TX 78212
(VARIABLE R.O.W. - PER PLAT)
A.K.A. E. EVERGREEN ST.

SITE PLAN
SCALE: 1/8" = 1'

NEW ADDITION & RENOVATION

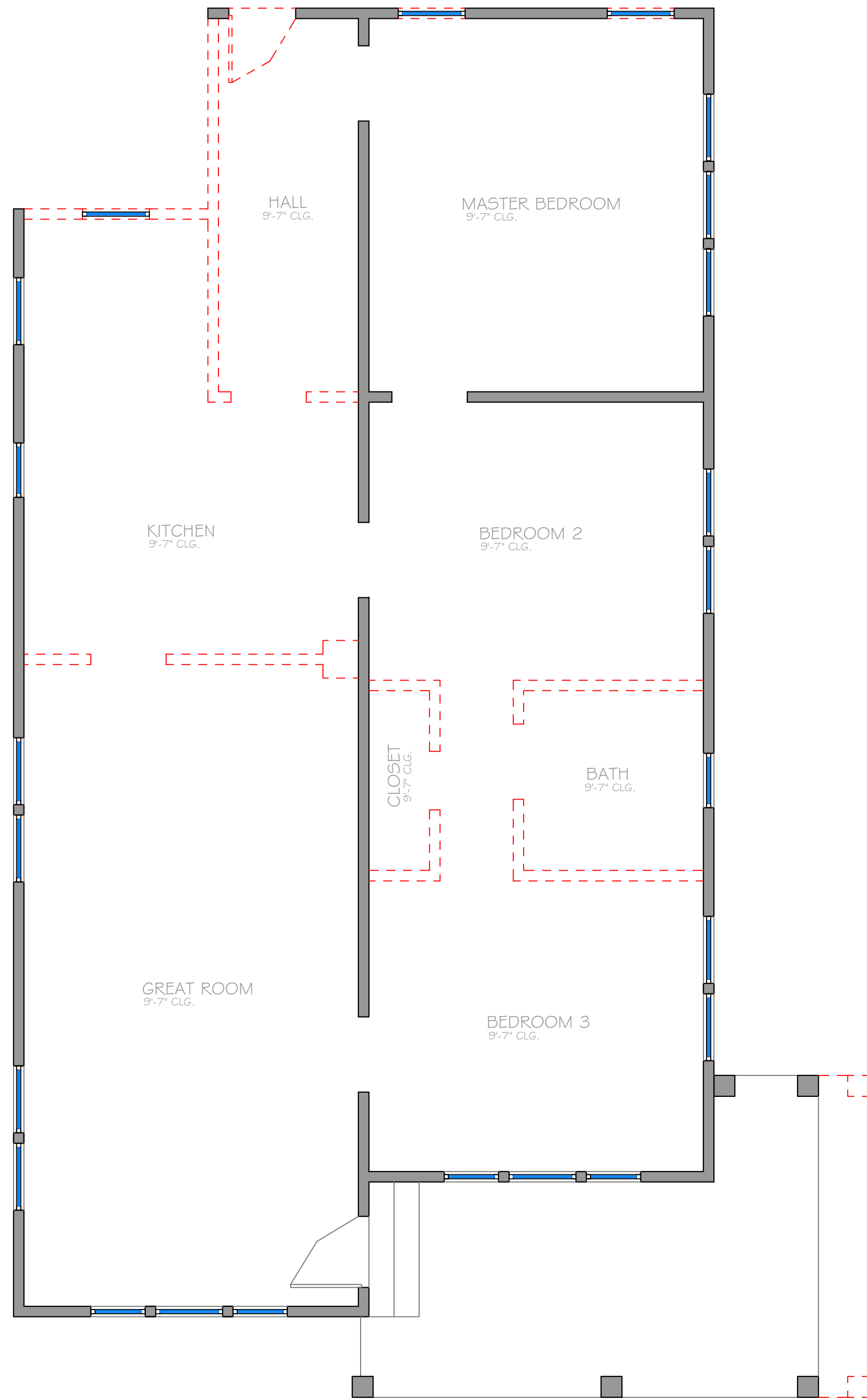
615 E. EVERGREEN ST.
SAN ANTONIO, TX 78212

DATE: AUGUST / 2025

REVISIONS:



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'



DEMO FLOOR PLAN
SCALE: 1/4" = 1'

GENERAL DEMOLITION PLAN NOTES:
1. EXTENT AND SPECIFIC LOCATION OF ITEMS FOR THE DEMOLITION SHOWN ARE FOR CLARIFICATION PURPOSES ONLY AND DO NOT NECESSARILY REPRESENT ALL ITEMS TO BE DEMOLISHED OR RELOCATED. CONTRACTOR IS TO THOROUGHLY INSPECT THE SITE AND INCLUDE IN CONTRACTOR'S PRICING PROVISIONS REQUIRED TO ACCOMPLISH THE NEW CONSTRUCTION.

2. PROMPTLY REMOVE FROM THE SITE ALL DEBRIS AND DIRT ASSOCIATED WITH DEMOLITION AND NEW CONSTRUCTION - VACUUM DUST PROMPTLY.

3. FIELD VERIFY ALL DIMENSION AND ELEVATIONS REQUIRED TO SATISFY NEW CONSTRUCTION. ENSURE THAT DIMENSIONS SHOWN ON CONTRACT DRAWINGS ACCURATELY REFLECT ACTUAL DIMENSION AND BRING INCONSISTENCIES TO THE DESIGNER'S ATTENTION. DO NOT PROCEED WITHOUT DESIGNER'S INSTRUCTION.

4. PRIOR TO BEGINNING DEMOLITION AND NEW CONSTRUCTION WORK, CAREFULLY STUDY AND COMPARE CONTRACT DOCUMENTS WITH EXISTING CONDITIONS AT JOB SITE. REPORT TO DESIGNER, AT ONCE, ERRORS, DISCREPANCIES, INCONSISTENCIES, AND OMISSIONS IN MATERIALS, PRODUCTS, SYSTEMS, PROCEDURES, AND CONSTRUCTION METHODS SHOWN OR SPECIFIED WHICH ARE INCORRECT, IN ADEQUATE, OBSOLETE, OR UNSUITABLE FOR ACTUAL FIELD CONDITIONS DISCOVERED - OR WHICH CONTRACTOR WOULD NOT WARRANTY AS REQUIRED BY THE CONTRACT DOCUMENTS.

5. UNDER NO CIRCUMSTANCES SHOULD ANY DIMENSIONS BE SCALED FROM THE DRAWINGS.

6. USE EXTREME CAUTION NOT TO DAMAGE EXISTING SURFACES WHICH ARE TO REMAIN.

7. REPLACE/INSTALL ALL NEW WINDOWS AND DOORS WHERE REQUIRED.

8. OWNER IS RESPONSIBLE TO COORDINATE WITH ENGINEER FOR CEILING FOUNDATION AND STRUCTURE/HEIGHTS PLANS.

9. CONTRACTOR TO PROVIDE WATERPROOF CEMENT BACKER BOARD AT ALL WET AREAS.

10. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CURRENT CITY BUILDING CODE INCLUDING INTERNATIONAL RESIDENTIAL CODE 2021 REQUIREMENTS, 2023 NATIONAL ELECTRIC CODE AND BEST TRADE PRACTICES.

11. ELECTRICAL INSTALLATIONS SHALL CONFORM TO CURRENT ADOPTED NATIONAL ELECTRIC CODE 2023. IF THIS REQUIRES THE ADDITION OF RECEPTACLES, WIRING, DEVICES, SPECIAL CIRCUITING, BREAKERS, INTERRUPTERS, OR OTHER ITEMS NOT INDICATED ON THE PLANS, THE ELECTRICIAN SHALL MAKE THE CONTRACTOR AND DESIGNER AWARE OF ANY OMISSIONS AND SHALL INCLUDE THEM AS PART OF THE COST OF THE WORK.

12. CONTRACTOR IS RESPONSIBLE TO VERIFY & COORDINATE WITH ENGINEER FOR M.E.P. DRAWINGS PERTAINING TO ALL PLUMBING FIXTURES LOCATED IN THE BUILDING AND FOLLOW THE NATIONAL STANDARD PLUMBING CODE (NSPC).

13. ALL PLANS ARE COMPLIANT WITH CITY OF SAN ANTONIO LOCAL CODE AMENDMENTS.

NOTE: CABINETRY SHOWN ON ARCHITECTURAL DRAWINGS ARE MERELY PLACEHOLDERS FOR INTERIOR DESIGNER'S DEVELOPMENT AND DELIVERY WITHIN THE INTERIOR DESIGNER'S DOCUMENTS. ALL INTERIOR CABINETS, COUNTERTOPS AND BACKSPASHES, PLUMBING FIXTURE, CABINET PULLS, DOOR HARDWARE, PAINT AND STAIN, INTERIOR DOORS, BASE AND CASE TRIM, FLOORING, ELECTRICAL AND LIGHTING FIXTURES, APPLIANCES, BATH AND CLOSET ACCESSORIES AS SELECTED AND DOCUMENTED BY INTERIOR DESIGNER/OWNER.

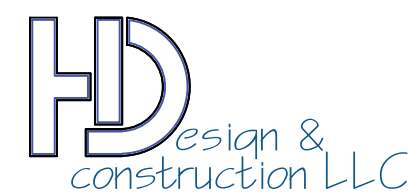
DEMOLITION WALL LEGEND

- EXISTING TO BE DEMOLISHED
- NEW FULL HEIGHT WALL

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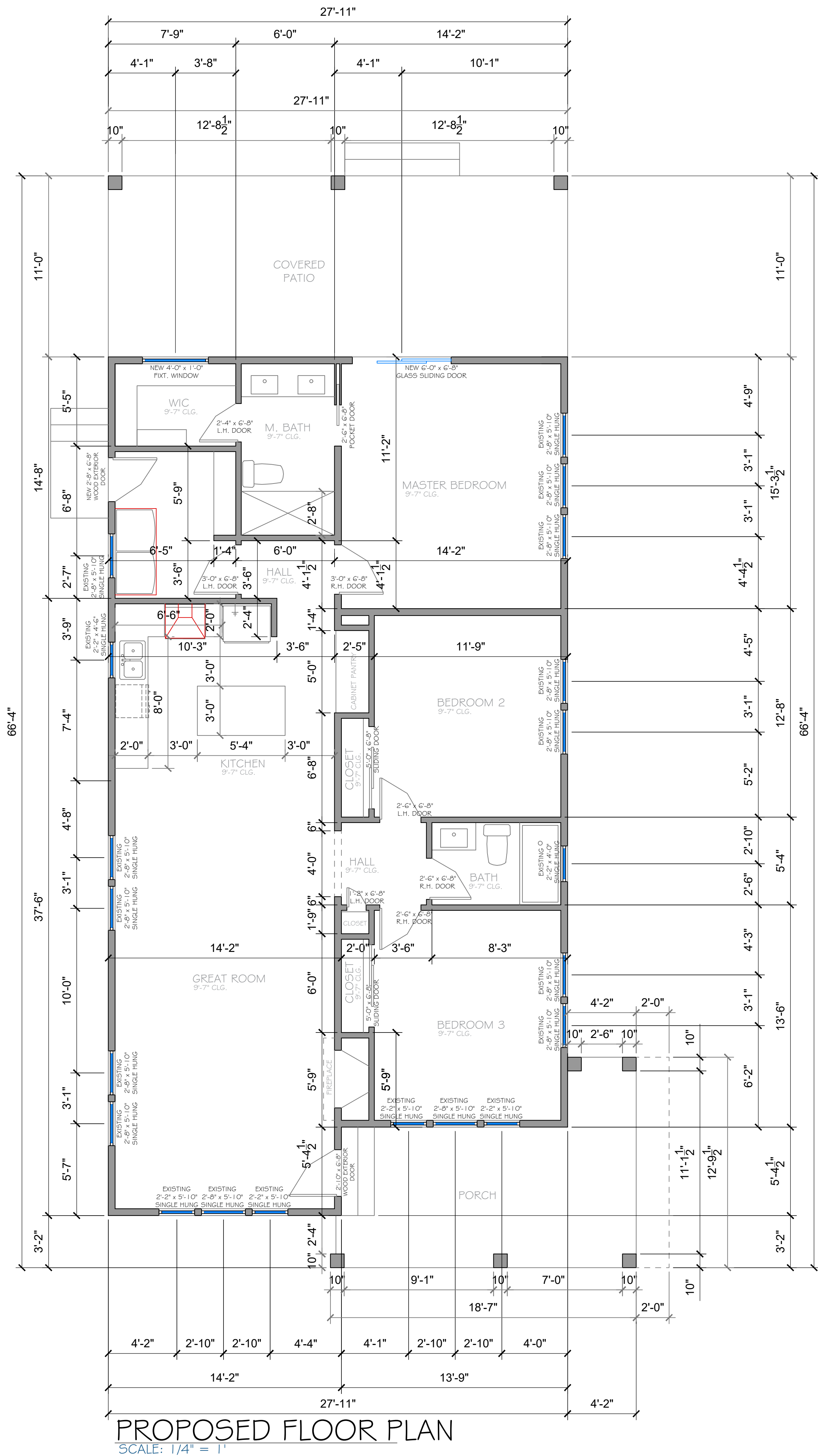
210-872-7072
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NEW ADDITION &
RENOVATION
615 E. EVERGREEN ST.
SAN ANTONIO, TX 78212

DATE: AUGUST / 2025

REVISIONS:

A-2
EXISTING / DEMO
FLOOR PLANS



AREA:	
EXISTING LIVING AREA:	1,320 SQ FT
NEW ADDITION:	62 SQ FT
TOTAL LIVING AREA:	1,382 SQ FT
PORCH:	172 SQ FT
NEW COVERED PATIO:	307 SQ FT
TOTAL:	1,861 SQ FT

- GENERAL CONSTRUCTION NOTES:**
1. ALL CONTRACTORS AND TRADES SHALL VERIFY CONDITIONS AFFECTING THEIR WORK, DIMENSIONS, HEIGHTS, QUANTIES, MATERIALS, ETC. AND SHALL COORDINATE ALL ITEMS INVOLVED INCLUDING BUT NOT LIMITED TO FINISHES, MATERIALS, PATTERNS, EQUIPMENT, PLUMBING, ELECTRICAL, MECHANICAL AND THE INTENDED QUALITY.
 2. CONTRACTORS SHALL SUPPLY ALL LABOR MATERIALS SCAFFOLDING APPARATUS, EQUIPMENT, TOOLS, SECURITY, TEMPORARY POWER AND LIGHTING, AS WELL ASS ALL NECESSARY PERMITS, LICENSES, INSURANCE, TAXES , FEES AND BONDS FOR THE ENTIRE AND PROPER EXECUTION AND COMPLETION OF THE WORK. CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE SAFE AND PROPER AND LAWFUL USE AND MAINTENANCE OF SAME. CONTRACTORS SHALL FURTHER PERFORM IN THE MOST COMPLETE AND BEST WORKMANLIKE MANNER ALL WORK COVERED WITH THESE DOCUMENTS, PROPERLY INCIDENTAL THERETO OF REASONABLY IMPLIED INCLUDING ALL MECHANICAL AND ELECTRICAL WORK.
 3. ALL BIDS SHALL QUALIFIED IF NECESSARY TO REFLECT THE INTEND AND REQUIREMENTS OF THESE PLANS AND ALL CLARIFICATION ITEMS DISCUSSED WITH OWNER AND AGREED TO BE FURNISHED. SUBMIT ADEQUATE SUPPLEMENTAL BID DATA AND SCHEDULE OF VALUE TO OWNER TO SUBSTANTIATE BIDS AND ALL PRICES. THE PARTIES MAY ELECT TO REVIEW AND CLARIFY SPECIFIC ITEMS PRIOR TO ENTERING AN AGREEMENT.
 4. ALL SUPPLEMENTARY ITEMS, TRIMS, MOLDINGS, FITTING GROUNDS, ANCHORS, CAULKING, SEALANTS, WATERPROOFING, FRAMING, CONNECTIONS, BLOCKING, FORMING, ETC., NECESSARY TO PROPERLY EXECUTE EACH ITEM OF WORK SHALL BE PROVIDED IN A COMPLETE MANNER BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, IF REASONABLY IMPLIED AND IS A COMMON TRADE PRACTICE FOR SUPERIOR WORK IN THIS AREA.
 5. COORDINATE AND CLARIFY WITH OWNER ALL ALLOWANCE, CONTINGENCIES, POTENTIAL EXTRAS AND OPTIONAL ITEMS WITH BID SUBMITTAL. SUBMIT A LIST OF EQUIPMENT, FIXTURES, MATERIALS, TRIM, ETC., PROPOSED THAT NOT IS CLEARLY SPELLED OUT IN PLAN AND SPECS TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
 6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY BUILDING CODE REQUIREMENTS, NATIONAL ELECTRIC CODE AND BEST TRADE PRACTICES.
 7. SUBMIT PLAN TO ARCHITECTURAL CONTROL COMMITTEE FOR APPROVAL (OR VERIFY APPROVAL HAS BEEN OBTAINED) IF APPLICABLE. NOTIFY OWNER OF BUILDING PERMIT "NOTATIONS" AND RELATED INSPECTOR PROBLEMS DURING CONSTRUCTION. VERIFY THAT ALL PERMITS HAVE BEEN PROPERLY OBTAINED.
 8. FOUNDATION CONTRACTOR MUST COORDINATE FOUNDATION DRAWINGS WITH ARCHITECTURAL PLANS OF THE JOB. GENERAL CONTRACTOR SHALL MAKE SURE THIS IS DONE SPECIALLY DROPS, LUGS, DIMENSIONS, CURBS, WATERPROOFING, GRADES, ETC. MASONRY LUGS WILL BE LOWERED TO A DESIGNATED MAXIMUM DISTANCE ABOVE FINISH GRADES AND MUST BE "DROPPED" AS REQUIRED.

- GENERAL PLANS NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND GRADE PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT/DESIGNER OF ANY DISCREPANCIES. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS STATED OTHERWISE.
 2. ALL EXTERIOR WALLS TO BE 2X4 CONSTRUCTION AT 16" O.C. ALL INTERIOR WALLS TO BE 2X4 AT 16 O.C. UNLESS OTHERWISE NOTED, (ALL SOUTHERN YELLOW PINE #2 MIN.)
 3. ALL INTERIOR GYP BD. CEILING TO BE 5/8" AS SPEC. ALL GYP BD. WALLS TO BE 1/2" GYM BD., TAPE, FLOAT, TEXTURE AND PAINT UNLESS NOTED OTHERWISE, BASE BID ICI PAINT. BASE BID 1 COAT OF PRIMER AND TWO FINISH COATS.
 4. CONTRACTOR TO PROVIDED WATERPROOF CEMENT BACKER BOARD AT ALL WET AREAS.
 5. ALL CONSTRUCTION SHALL CONFORM TO ALL BUILDING CODES AND REGULATIONS, CITY ORDINANCES AND OSHA SAFETY STANDARDS.

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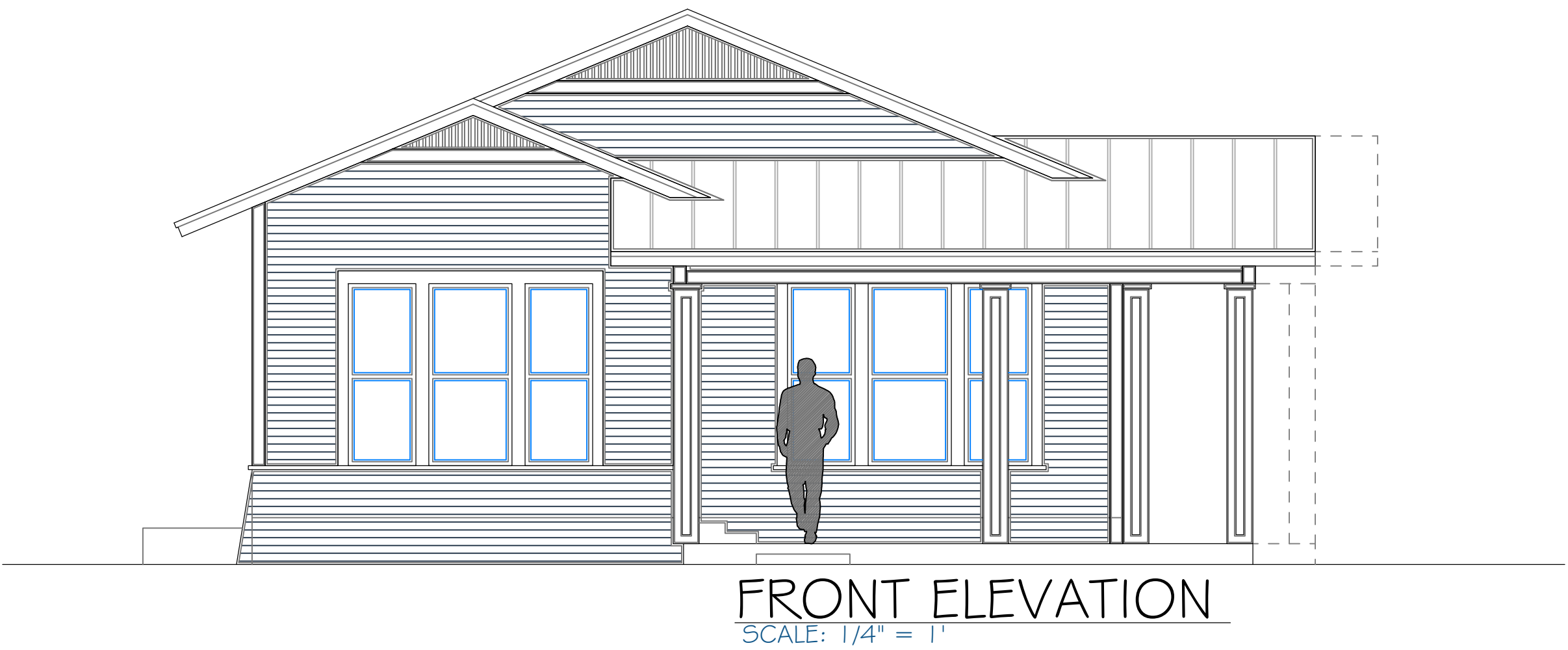
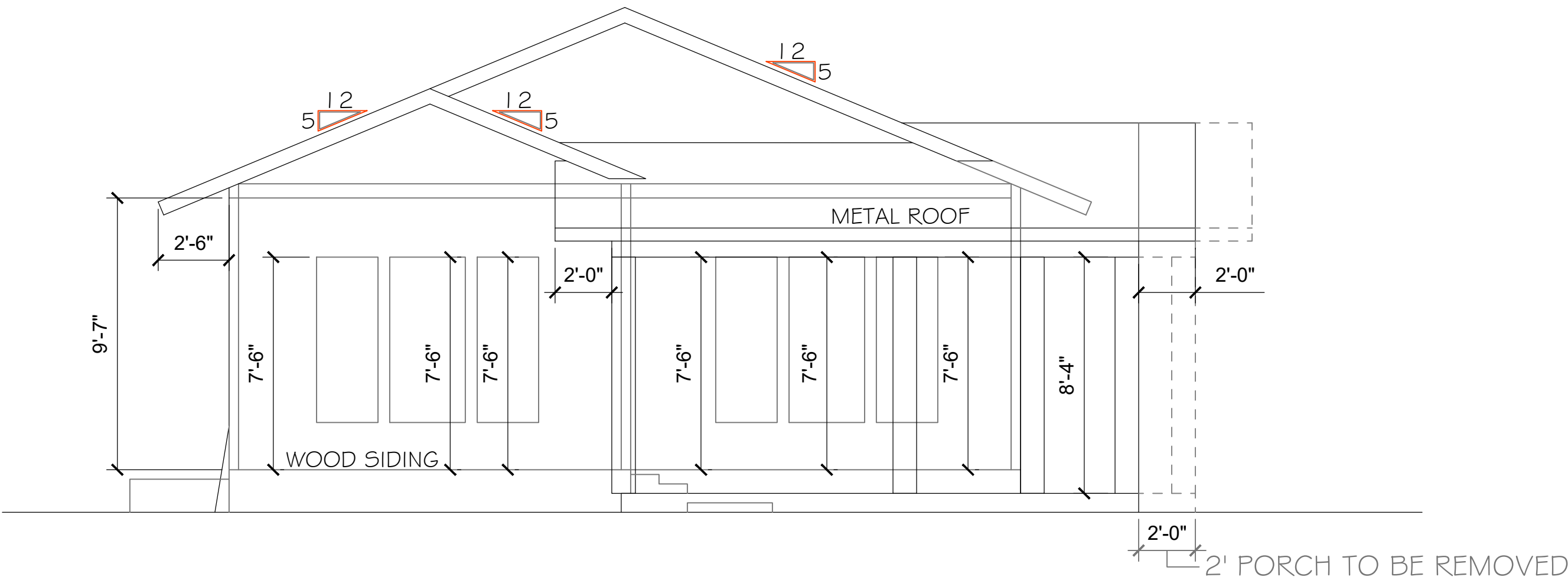
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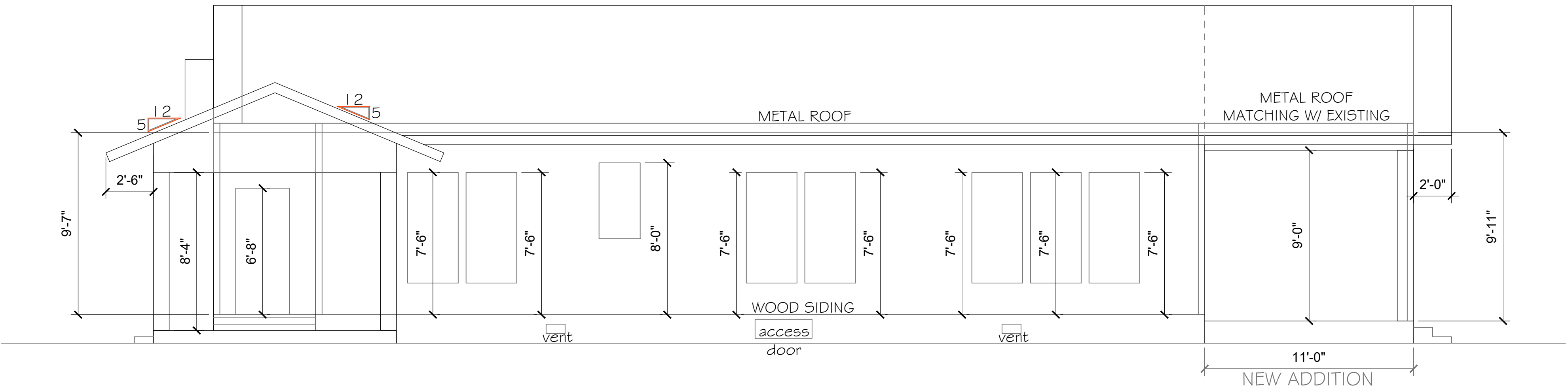
REVISIONS:

A-3

PROPOSED FLOOR
PLAN



FRONT ELEVATION
SCALE: 1/4" = 1'



RIGHT ELEVATION
SCALE: 1/4" = 1'

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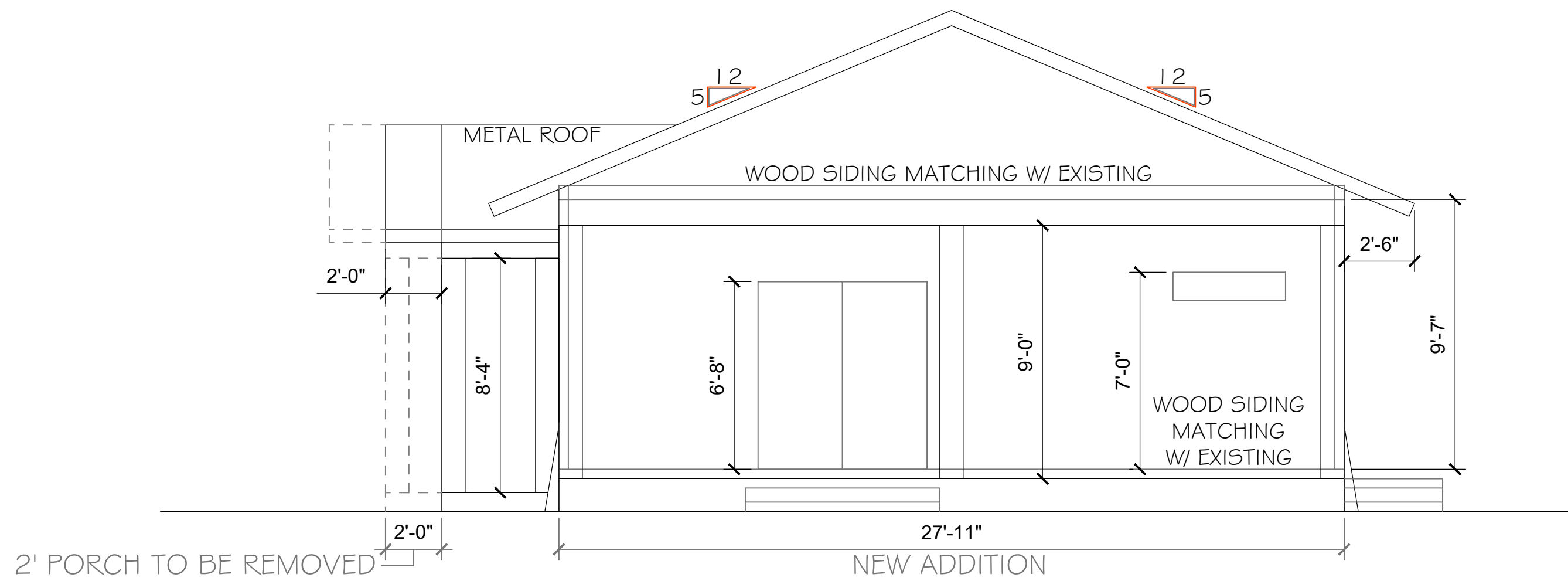
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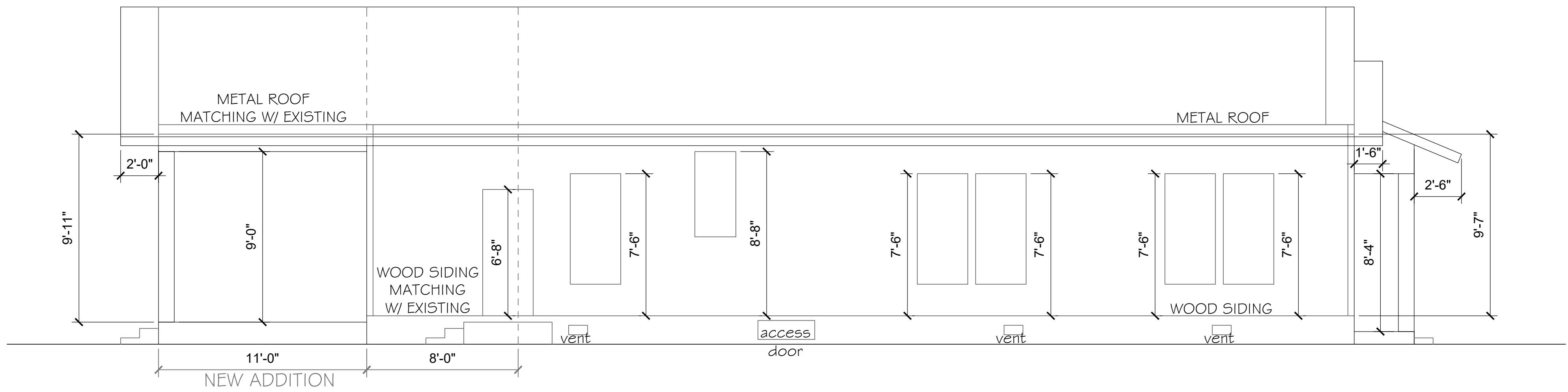
DATE: AUGUST / 2025

REVISIONS:

A-4
FRONT & RIGHT
ELEVATIONS



REAR ELEVATION
SCALE: 1/4" = 1'



LEFT ELEVATION
SCALE: 1/4" = 1'

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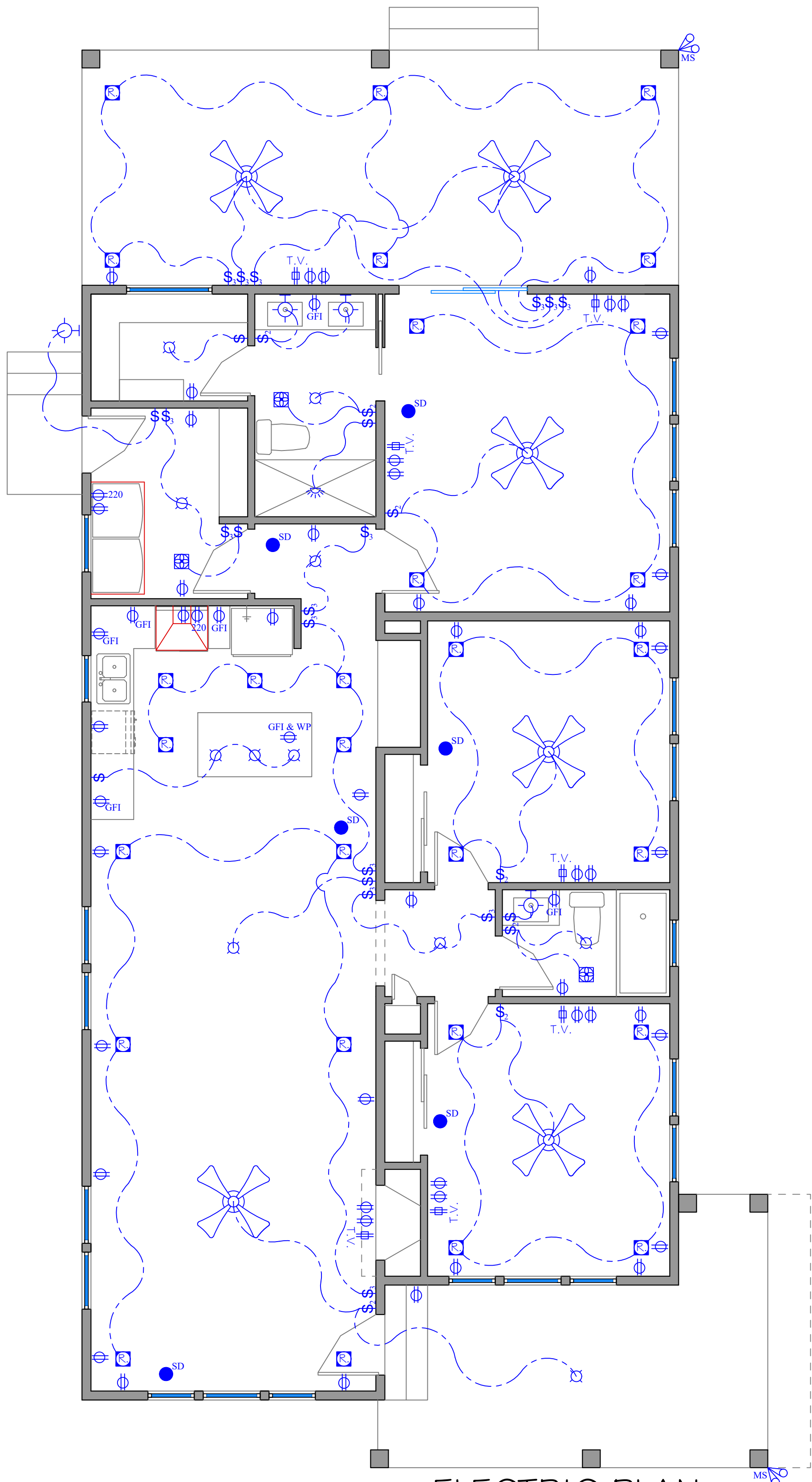
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DATE: AUGUST / 2025

REVISIONS:

A-5
REAR & LEFT
ELEVATION'S



ELECTRIC PLAN
SCALE: 1/4" = 1'

ELECTRICAL NOTES:

1. ALL GARAGE AND EXTERIOR PLUGS AND LIGHT FIXTURES TO BE ON GFI CIRCUIT.
2. ALL KITCHEN PLUGS AND LIGHT FIXTURES TO BE ON GFI CIRCUIT.
3. PROVIDE A SEPARATE CIRCUIT FOR MICROWAVE OWNER VERIFIED.
4. PROVIDE A SEPARATE CIRCUIT FOR PERSONAL COMPUTER.VERIFY ALL ELECTRICAL LOCATIONS WITH OWNER.
5. VERIFY ALL ELECTRICAL LOCATIONS WITH OWNER.
6. EXTERIOR SPOTLIGHTS TO BE ON PHOTO-ELECTRIC CELL W/ TIMER.
7. ALL RECESSED LIGHTS TO EXTERIOR CEILINGS TO BE INSULATED COVER RATED.
8. ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON RECEPTACLE, SWITCH, AND ANY OTHER BOXES IN EXTERIOR WALL.
9. PROVIDE THERMOSTATICALLY CONTROLLED FAN IN ATTIC WITH MANUAL OVERRIDE (VERIFY LOCATION W/ OWNER.)
10. ALL FANS TO VENT TO OUTSIDE AIR. ALL FAN DUCTS TO HAVE AUTOMATIC DAMPERS.
11. HOT WATER TANKS TO BE INSULATED TO R-11 MINIMUM.
12. INSULATE ALL HOT WATER LINES TO R-4 MINIMUM. PROVIDE AN ALTERNATE BID TO INSULATE ALL PIPES FOR NOISE CONTROL.
13. PROVIDE 6 SQ.FT. OF VENT FOR COMBUSTION AIR TO OUTSIDE AIR FOR FIREPLACE CONNECTED DIRECTLY FIREBOX PROVIDE FULLY CLOSEABLE AIR INLET.
14. ALL SMOKE DETECTORS SHALL BE ELECTRICALLY INTERCONNECTED, SO THAT IF ONE GOES INTO ALARM, ALL GO INTO ALARM.

NOTE: ALL ELECTRICAL INSTALLATIONS AS PER 2023 NEC

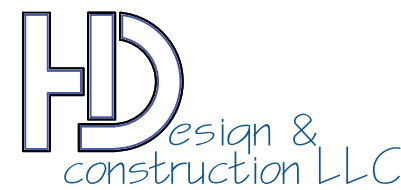
ELECTRICAL LEGEND:

	WIRLESS DOORBELL		SMOKE/CARBON MONOXIDE DETECTOR
	ELECTRIC DOOR OPENER		WALL MOUNTED LIGHTS
	DOORBELL CHIME		CABLE T.V. OUTLET
	WALL-MOUNTED CIRCUIT BREAKER		PERSONAL COMPUTER CONNECTION
	SWITCHES LEG		THERMOSTAT
	FAN & LIGHT		MOTOR
	YARD LIGHT		SINGLE-POLE SWITCH
	DUPLEX CONVENIENCE OUTLET (WALL OUTLET)		DOUBLE-POLE SWITCH
	GROUND-FAULT CIRCUIT & WEATHERPROOF OUTLET		THREE WAY SWITCH
	GROUND-FAULT INTERRUPTER/ RECEPTACLE CIRCUIT		FOUR WAY SWITCH
	SOFFIT OUTLET		CEILING-MOUNTED LIGHT
	220-VOLT OUTLET		WATER LIGHT
	MOTION SENSOR LIGHT		WALL-MOUNTED LIGHT
	PHONE		WATER PUMP
	RECESSED LIGHTS		FLOOD LIGHTS
	ELECTRIC METER		CEILING SURFACE-MOUNT FLOURECENT LIGHT
	WALL MOUNTED SMOKE DETECTOR		FAN
	INDIRECT LIGHTS		ELECTRIC PANEL

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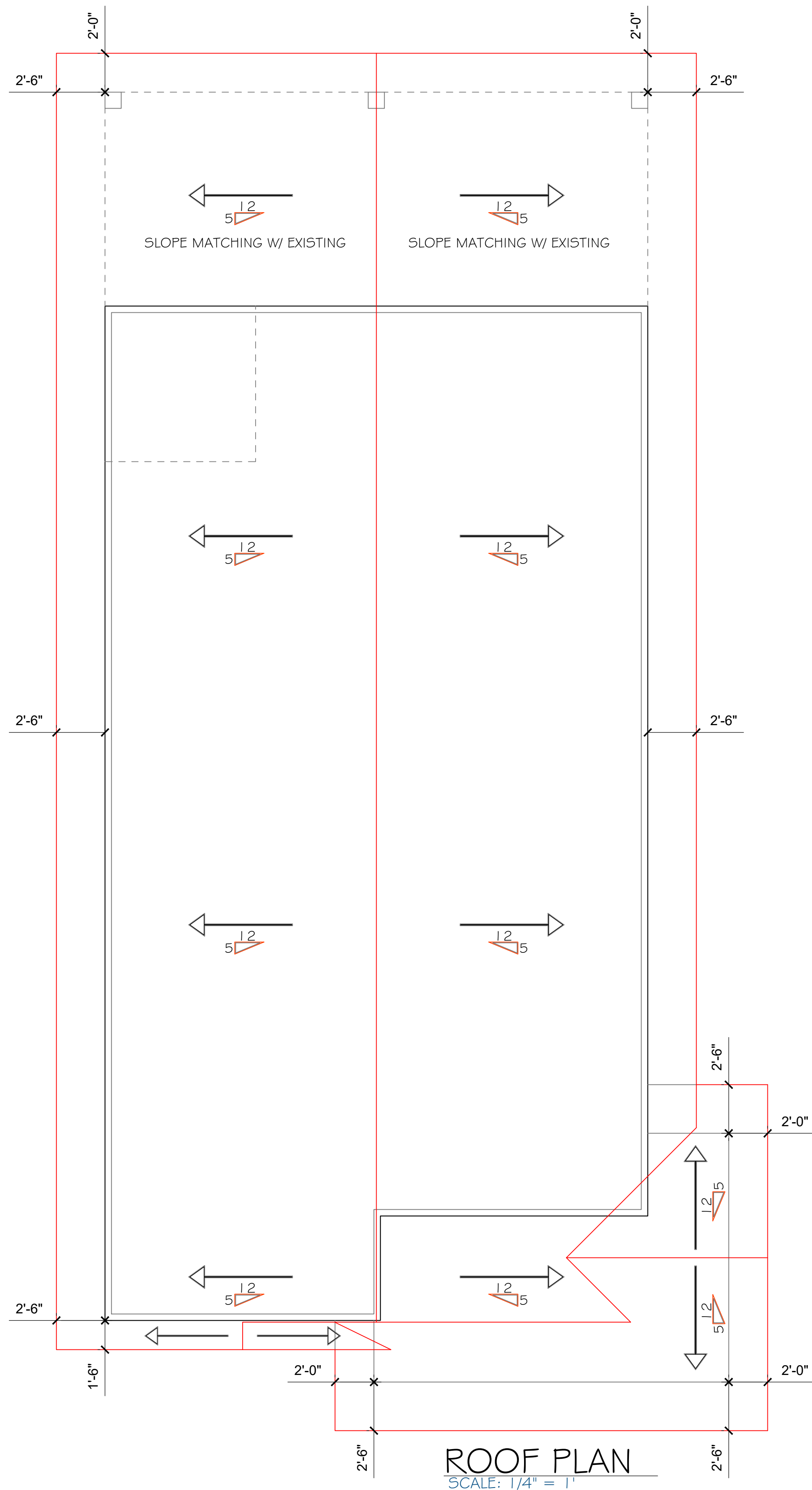
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A-6

ELECTRIC PLAN



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A-7
ROOF PLAN