



Mission and Roosevelt

HDRC Concept Design Presentation

08/13/2026

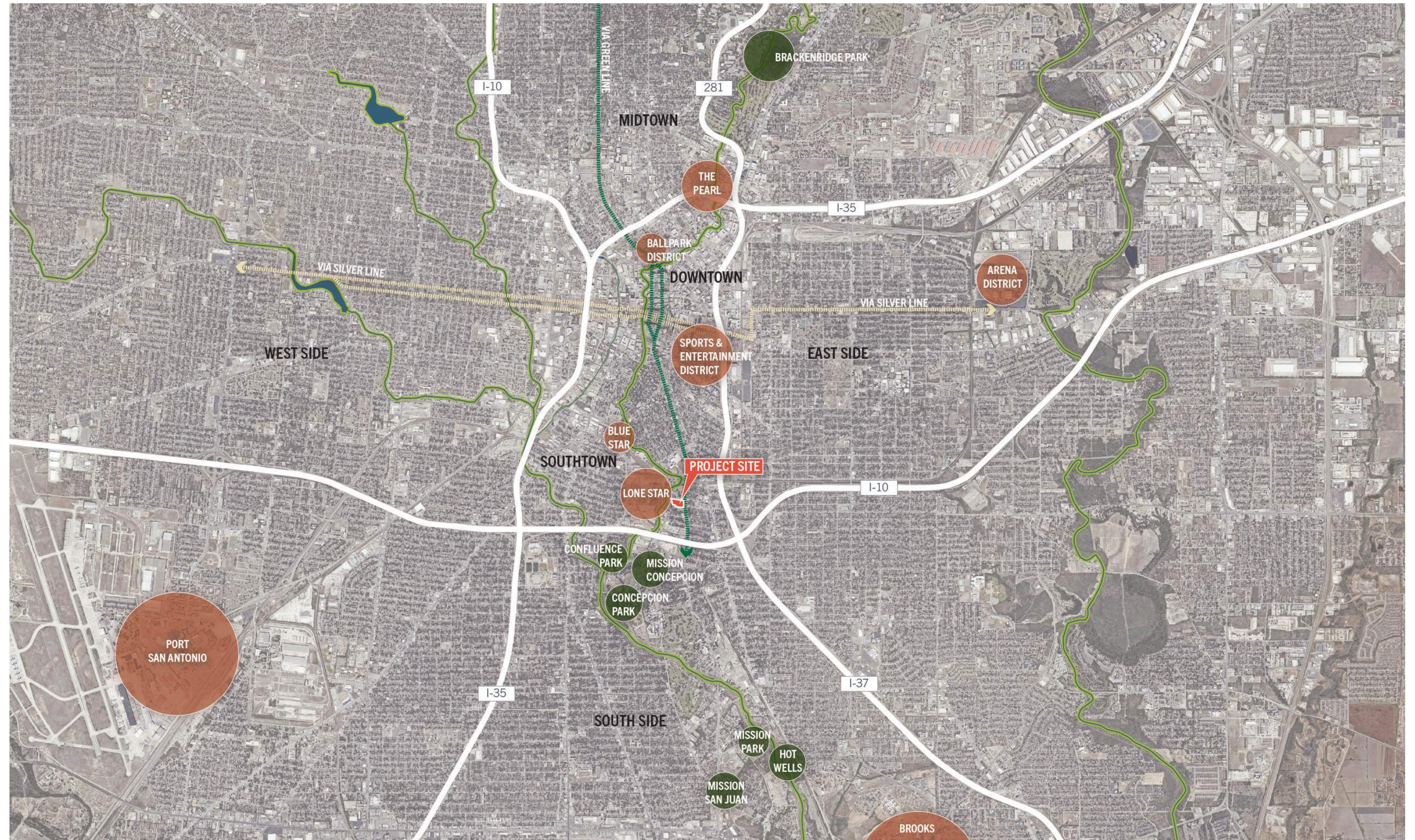
ALAMO
ARCHITECTS



Cultural and Architectural History

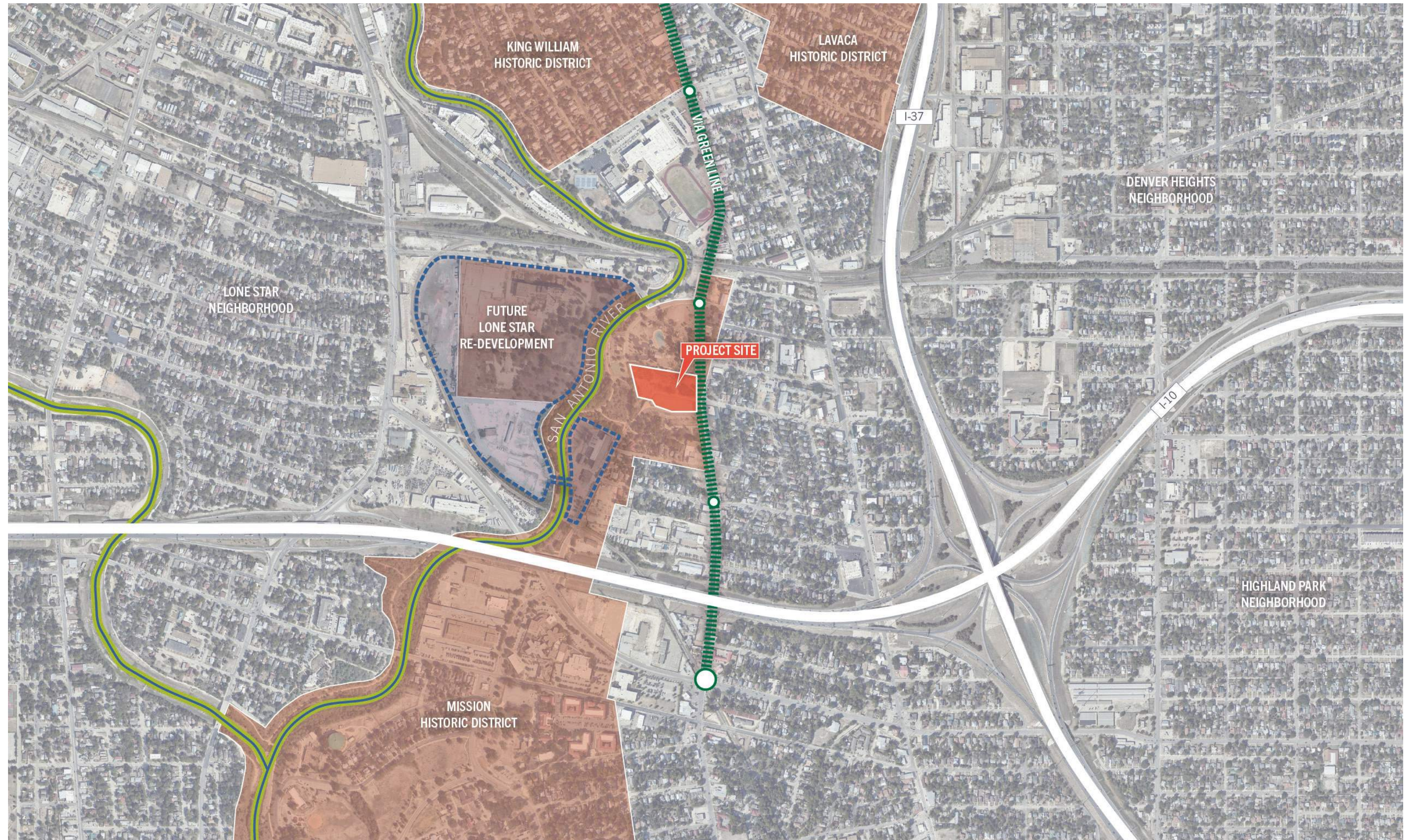
● Regional Context

- **5 min** drive to downtown, the Alamo, and the convention center.
- **1 Mile** walk to Mission Concepción and Confluence Park on the Mission Reach
- **2028** — VIA Rapid Green Line will open — connecting the airport to downtown and the Missions. Stations are adjacent to the site's edge.



● Neighborhood Context

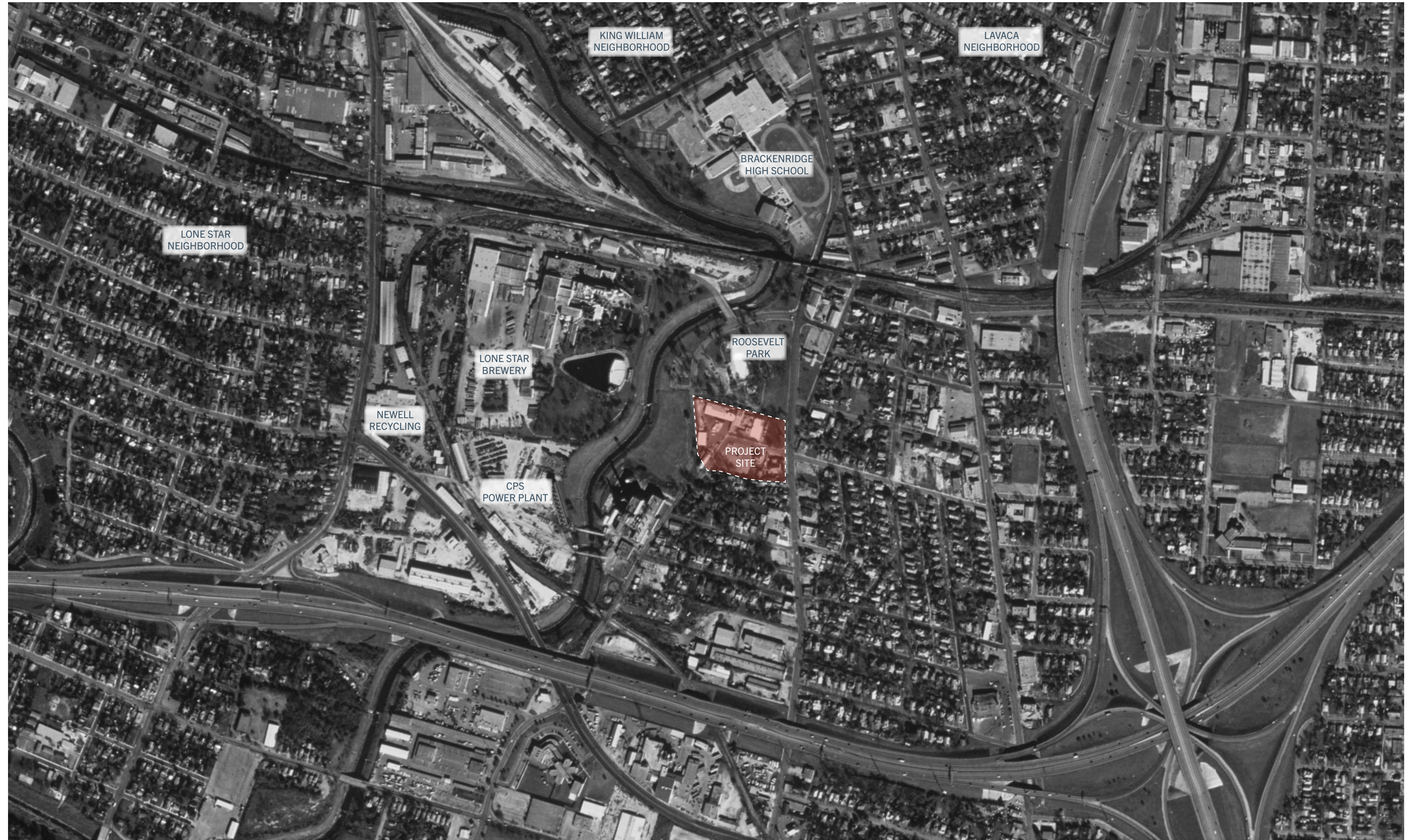
- Located within the Mission Historic District & RIO-4 Overlay
- Near the King William & Lavaca Historic Districts
- Adjacent to Roosevelt Park and the San Antonio River
- Next to the future Lone Star Redevelopment and VIA Green Line
- Connected to the Mission Reach Greenway Trail
- Surrounded by historic neighborhoods, regional parks, and emerging mixed-use development
- At the intersection of San Antonio's historic, cultural, recreational, and redevelopment districts



History of Site Location

Historic Evidence

- Historically part of San Antonio's industrial riverfront, supporting manufacturing and utility operations
- Adjacent to legacy industrial uses including the Lone Star Brewery, CPS Power Plant, and Newell Recycling.
- Now transitioning from industry to a vibrant mixed-use district.



1995

● Site History

- Original Buildings built in 1938 with additional buildings added in the 1940s and 1960s.
- Original use was industrial
- Current property was originally two parcels with Grove Ave running through the middle.
- In 2014, construction started on the new Mission Trail south of the property.
- Construction of Mission Trail was completed in 2015 with Grove Ave being abandoned by the City and becoming a private drive through the property.
- By 2019, the property was no longer operating as a business.
- Existing buildings were demolished in 2020.



2017



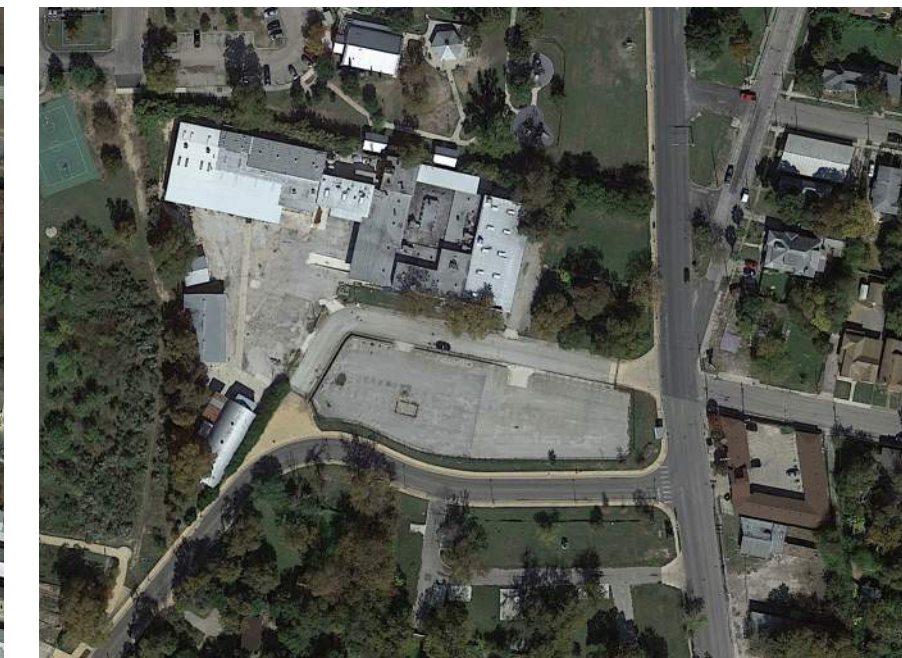
2026



2012



2014



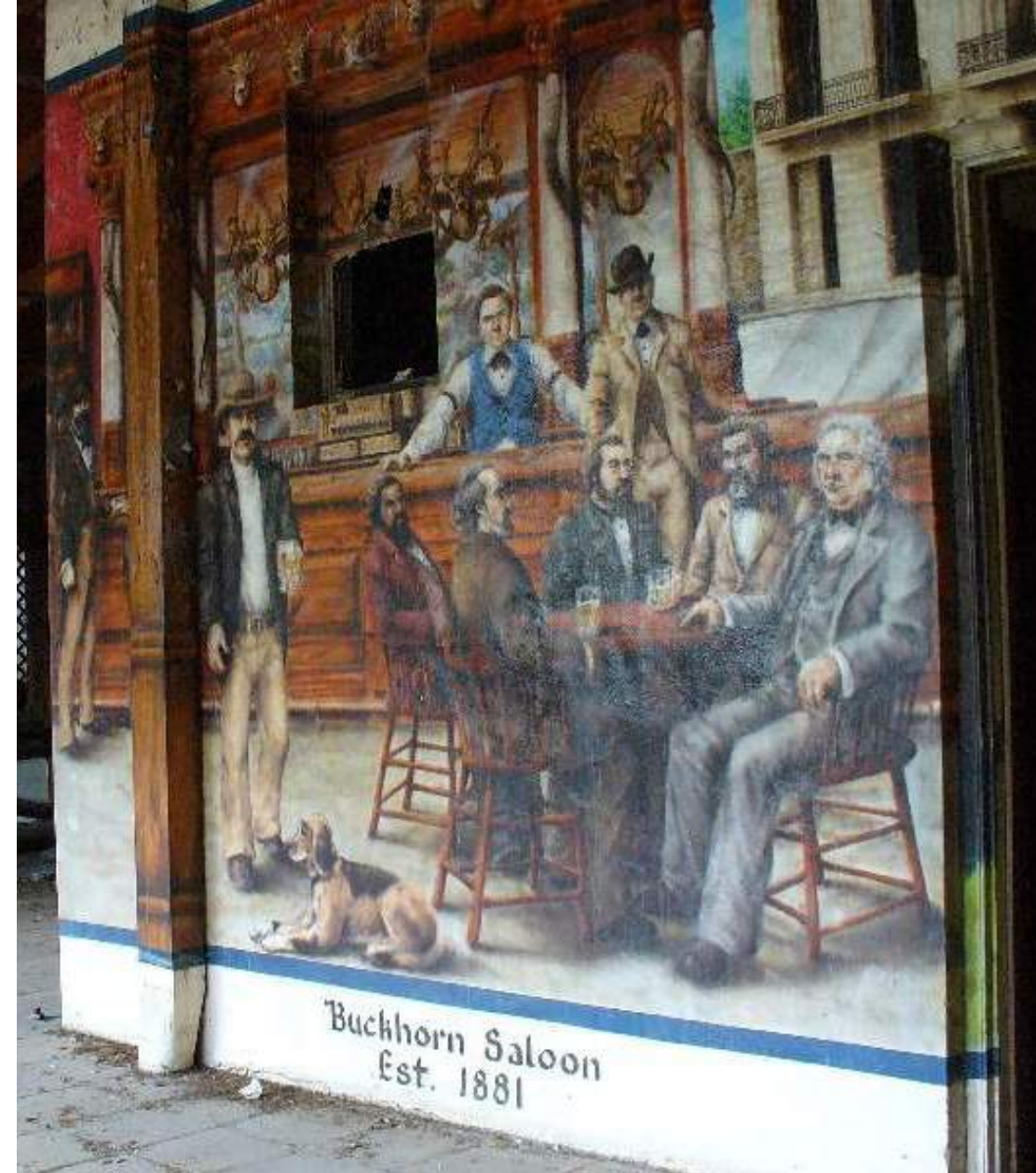
2019



2020



Lone Star 1950s



Lone Star Murals



Alameda Theater



CPS Site



CPS Site



Lavaca Commercial

● Architectural Context

Roosevelt and Mission Architectural Characteristics:

- Spanish Art Deco
Architecture in the
Roosevelt Park and Lavaca
Neighborhoods



2418 S. Presa



2701 S. Presa



926 S. Presa



830 S. Presa



Architectural Concept

Historic District Design Guidelines:
Commercial Construction -
Building Orientation and Site Development:

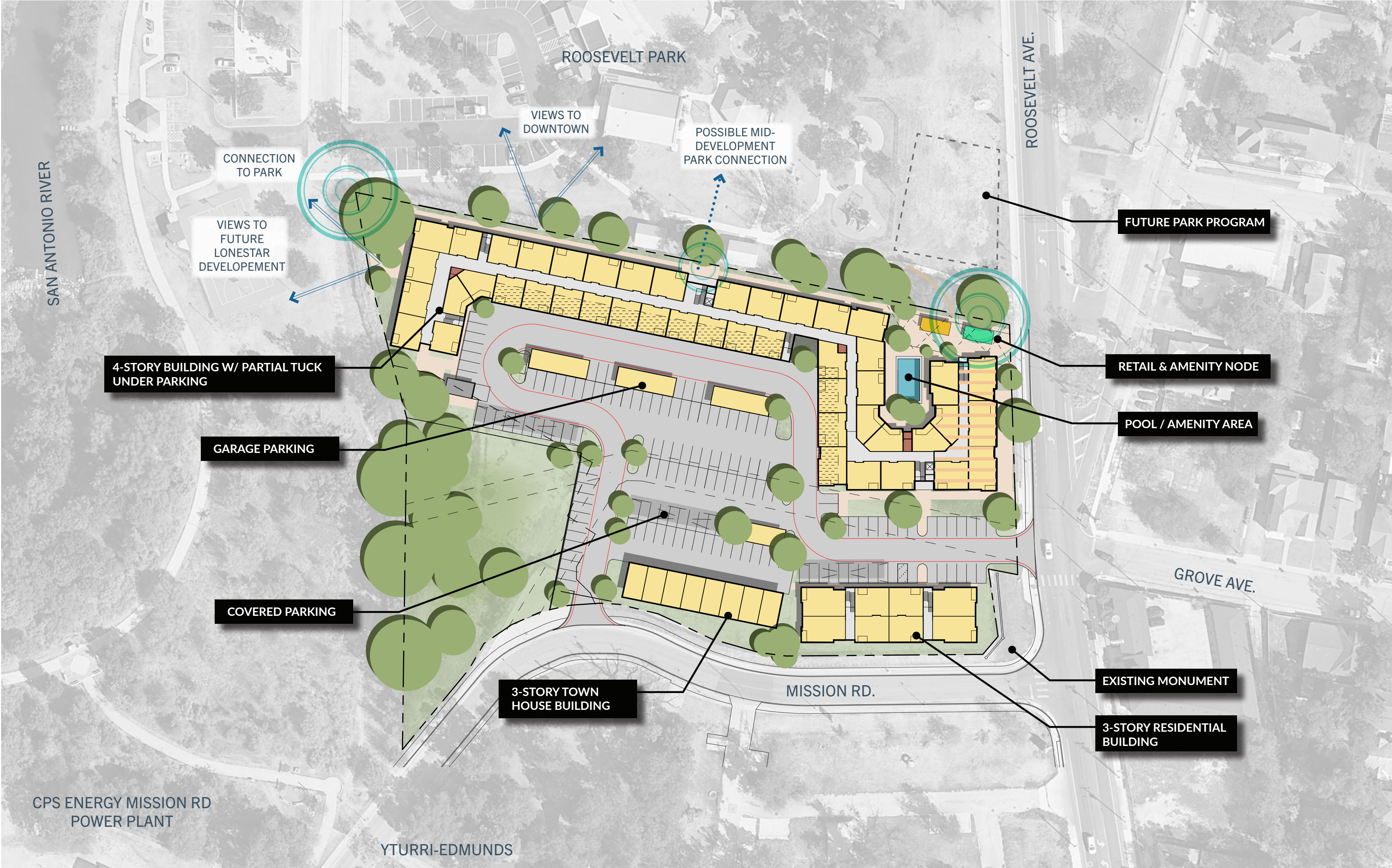
- i. Division of structures - Multifamily residential or mixed use developments consisting of multiple buildings should be divided, scaled, and arranged in a manner that is respectful of the surrounding context.
- ii. Site configuration - Multifamily residential or mixed used developments consisting of multiple buildings should be organized in a campus-like configuration with primary facades that address external view from the public right-of-way as well as create comfortable interior spaces such as courtyards and circulation spaces.
- iii. Building Spacing - Buildings should be arranged to include interstitial spaces between structures that maintain a comfortable pedestrian scale. **Because of fire separation requirements, all buildings will meet the minimum 50% separation.**
- v. Setbacks - On corridors where building setbacks vary or are not well-defined by existing contributing buildings, new buildings should maintain a minimum front setback of 15' from properties north of SE Military. **All buildings proposed for this development will maintain a minimum of 15' from the R.O.W.**
- vii. Vehicular access - In general, driveway widths should not exceed 24'-0". **No drive widths exceed the 24'-0" max.**

Legend

Residential Unit

Residential Unit over Ground Floor
Amenity/Retail

Development Infrastructure Program
(i.e. Riser, IDF, etc.)



Site Plan - Not to Scale



Site Plan - Not to Scale

Historic District Design Guidelines:
Commercial Construction -
Building Orientation and Site Development

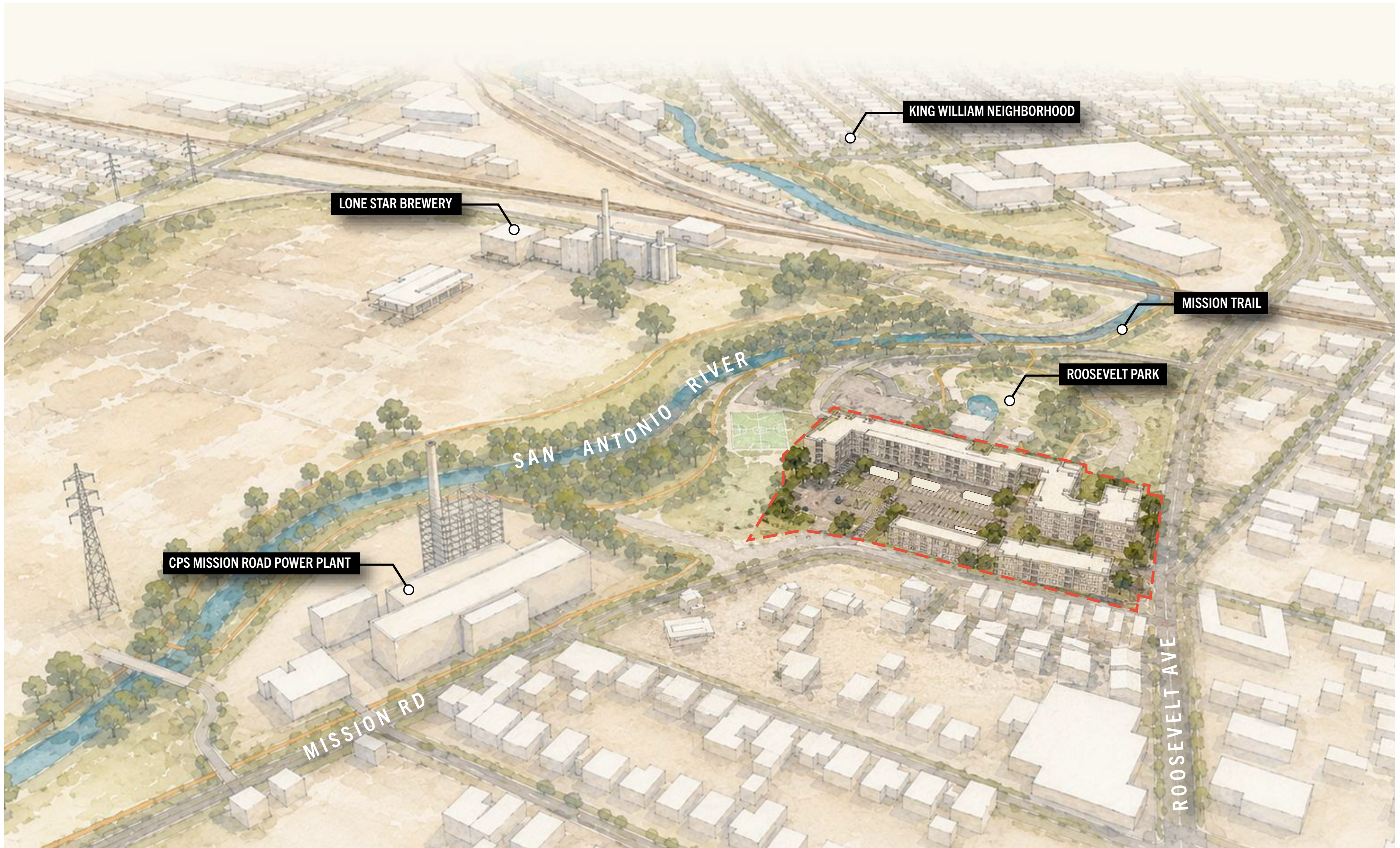
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Aerial looking Northwest- Not to Scale

Historic District Design Guidelines:

Commercial Construction -

Building Mass, Scale and Form:

i. Monolithic elements and fenestrations - Historic masonry construction in the Missions lack numerous voids in the wall plane resulting in a monolithic aesthetic that is appropriate to reference in new construction. Wall planes and fenestration patterns should be organized to yeild facades that appear monolithic and enduring while still allowing for visual interest through breaks in scale and pattern.

ii. Maximum facade length - Commercial structures in the Mission Historic District should not include uninterrupted wall planes of more than 50 feet in length. Building facades may utilize an offset, substantial change in materials, or change in building height in order to articulate individual wall planes.

Roof Form:

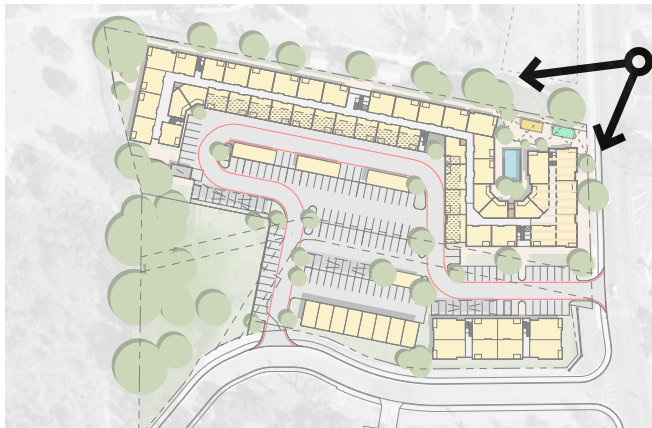
i. Primary roof forms - A flat roof with a parapet wall is recommended as a primary roof form for all commercial buildings. Parapets may vary in height to articulate individual wall planes or programmatic elements such as entrances.

Facade Arrangement and Architectural Details:

i. Human scaled elements - Porches, balconies, and additional human-scaled elements should be integrated wherever possible. **Human scaled elements will be incorporated on each facade of the proposed development.**

ii. Entrances - The primary entrance to a commercial and mixed use structure, such as a lobby, should be clearly defined by an architectural element or design gesture. Entrances may be recessed with a canopy, defined by an architectural element such as a prominent trim piece or door surround, or projecting mass to engage the pedestrian streetscape.

iii. Windows - Windows should be recessed into the facade by a minimum of 2 inches and should feature profiles that are found historically within the immediate vicinity.



Roosevelt looking Southwest- Not to Scale

Preliminary Building Elevations

Note: Elevations are schematic in nature and intended to communicate design intent for conceptual approval. Further development is pending, additional and final elevations will be submitted for final HDRC approval at a later date.

Historic District Design Guidelines: Commercial Construction - Materials:

i. Traditional materials - Predominant facade materials should be those that are durable, high-quality and vernacular to San Antonio such as regionally-sourced stone, wood and stucco. The use of traditional materials is also encouraged for durability at the ground level and in site features such as planters and walls.

ii. Traditional stucco - Stucco, when correctly detailed, is historically and aesthetically appropriate material selection within the Mission Historic District.

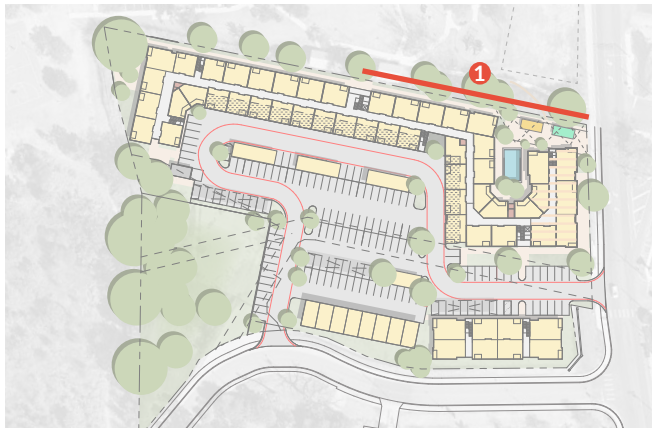
iii. Primary materials - The use of traditional materials that are characteristic of the Missions is strongly encouraged through the historic district as primary materials on all building facades. For all new buildings, a minimum of 75% of the exterior facades should consist of these materials. Glass curtain walls or uninterrupted expanses of glass may be counted towards the minimum requirement.

iv. Secondary materials - Non-traditional materials, such as metal, tile, or composition siding may be incorporated into a building facade as a secondary or accent material. For all new buildings, a maximum 25% of the exterior facades should consist of these non-traditional materials.

v. Visual interest - A variety and well proportioned combination of exterior building materials, textures, and color should be used to create visual interest and avoid monotony.

vi. Decorative patterns and color - The use of decorative patterns and color is encouraged and any may be conveyed through a variety of contemporary means such as tile, cast stone, and repetition in architectural ornamentation. In general, the use of natural colors and matte finishes is encouraged; vibrant colors which reflect the historic context of the area are encouraged as accents.

vii. Massing and structural elements - The use of materials and textures should bear a direct relationship to the building's organization, massing, and structural elements. Structural bays should be articulated wherever possible through material selection.



1

Windows

Mission Historic District Design Guidelines: Commercial Construction - Facade Arrangement and Architectural Details:

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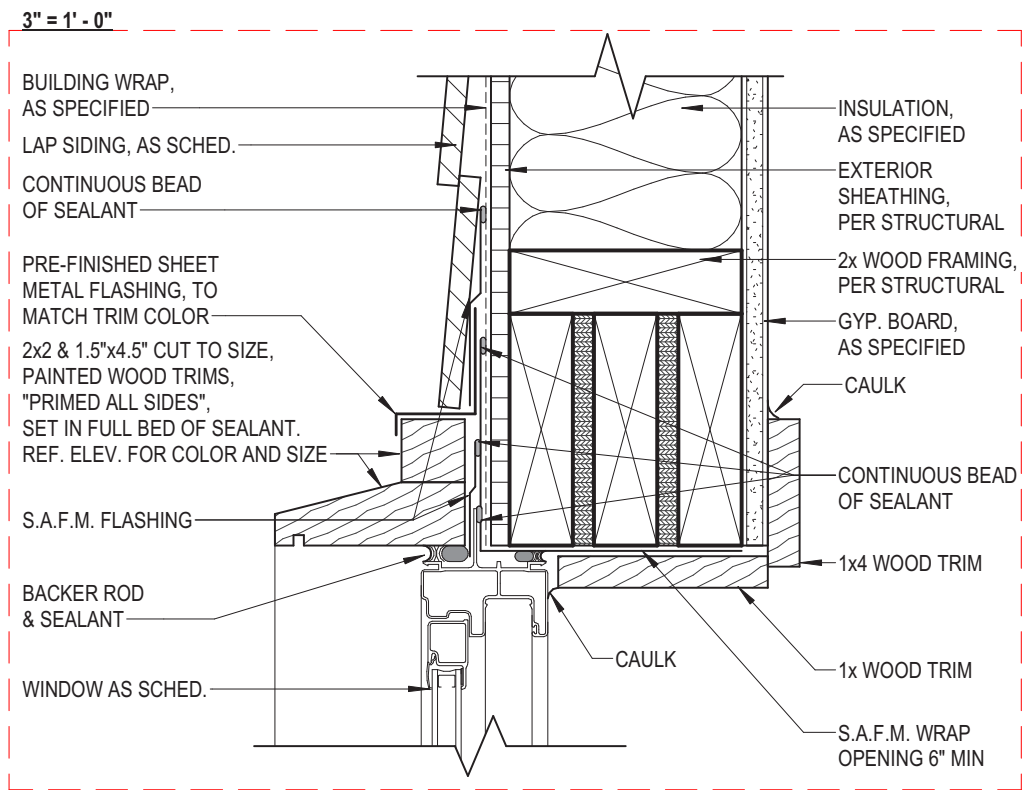
HEAD

JAMB

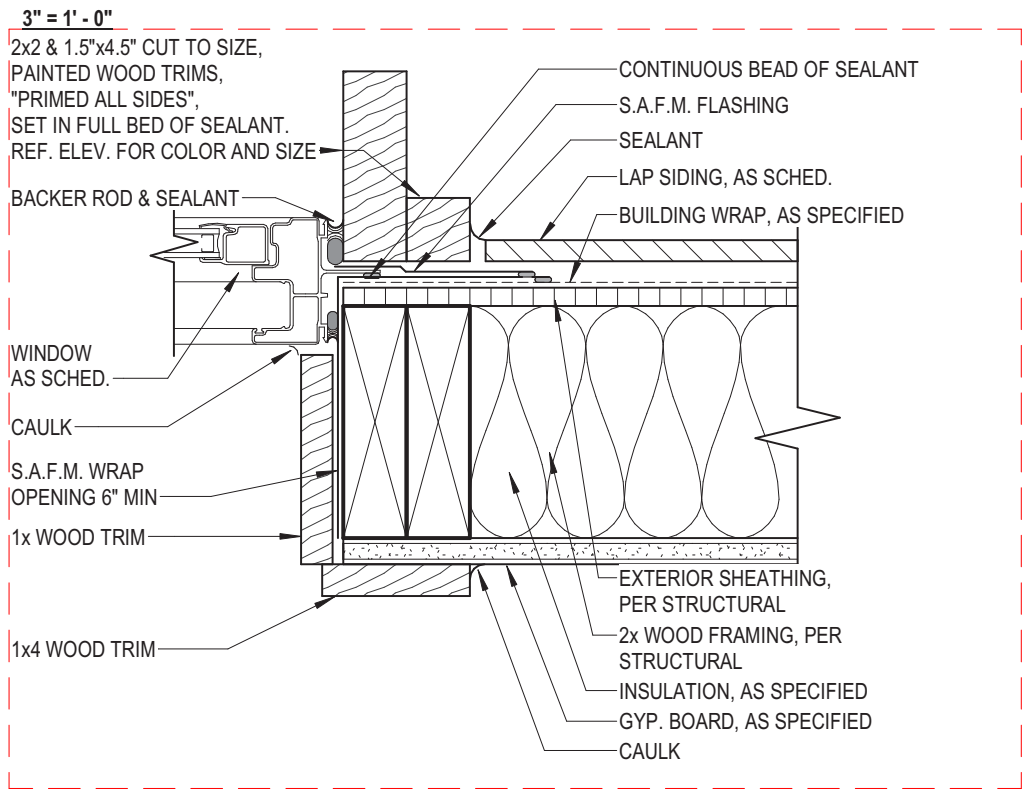
SILL

RESIDENTIAL DETAILS FOR WINDOWS

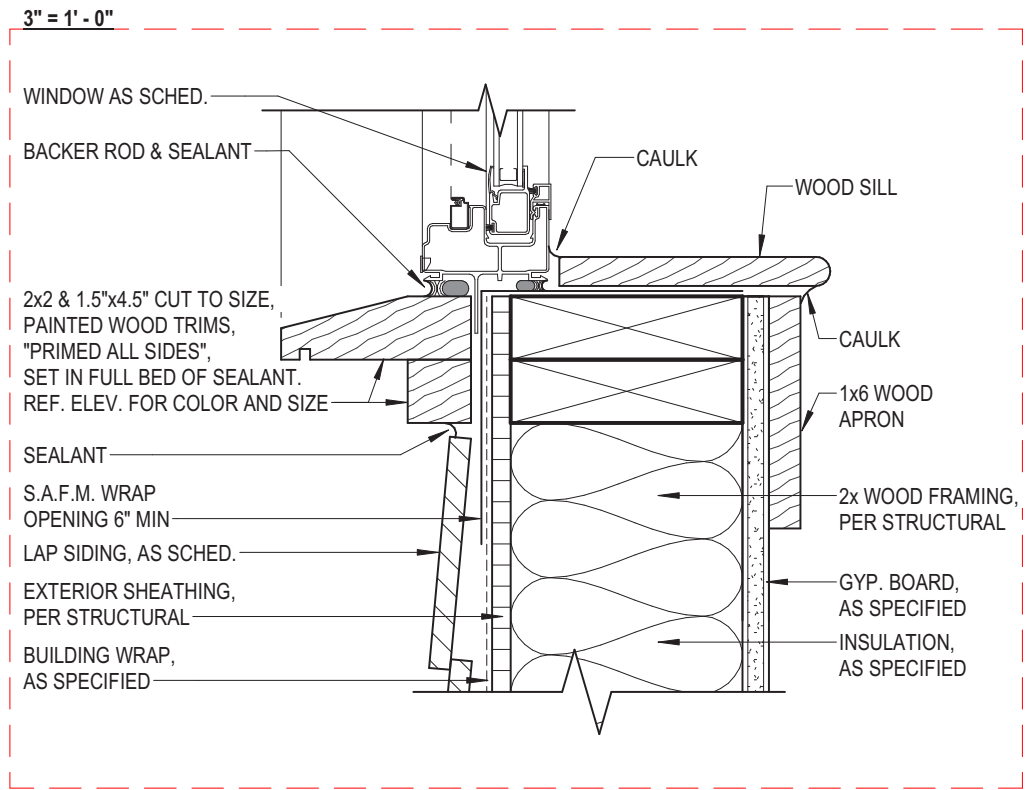
Manuf: Plygem
Color: Bronze
Style: Single-hung



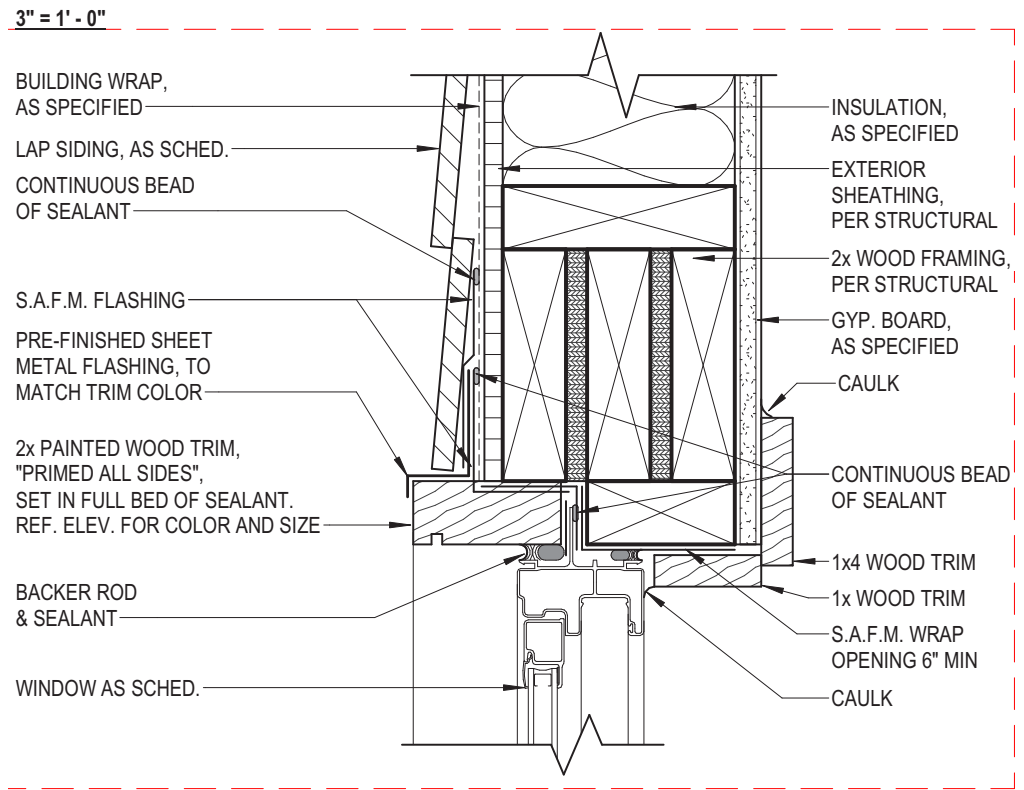
HEAD - FRAMED WINDOW @ SIDING



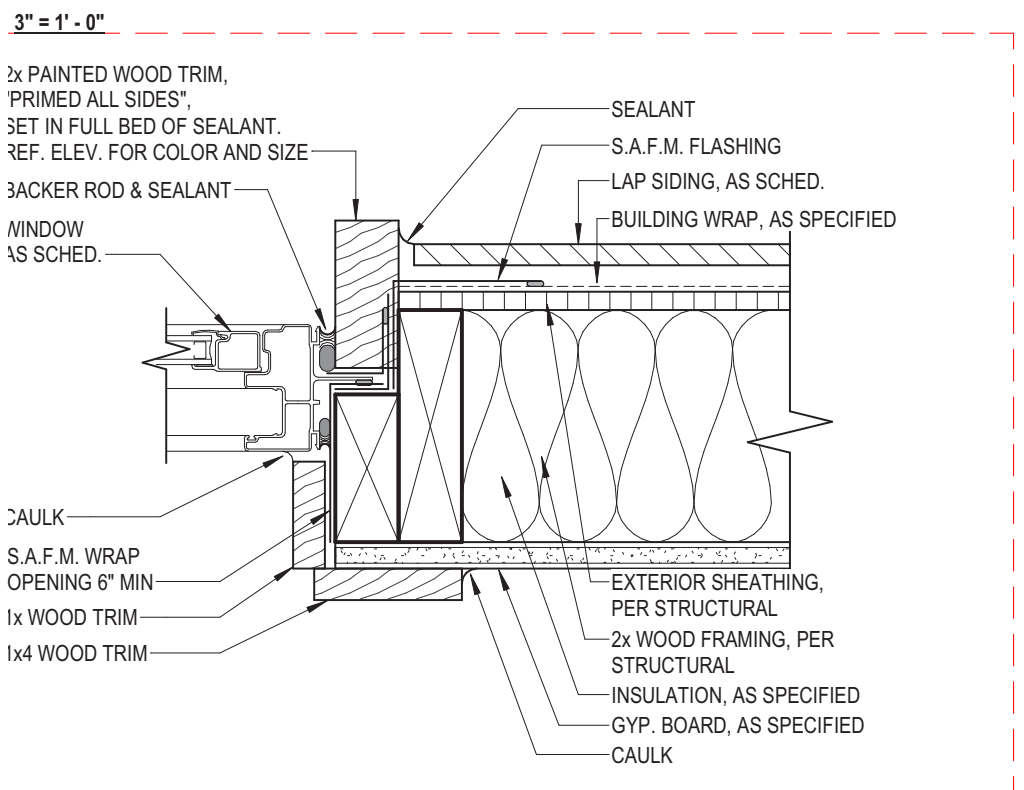
JAMB - FRAMED WINDOW @ SIDING



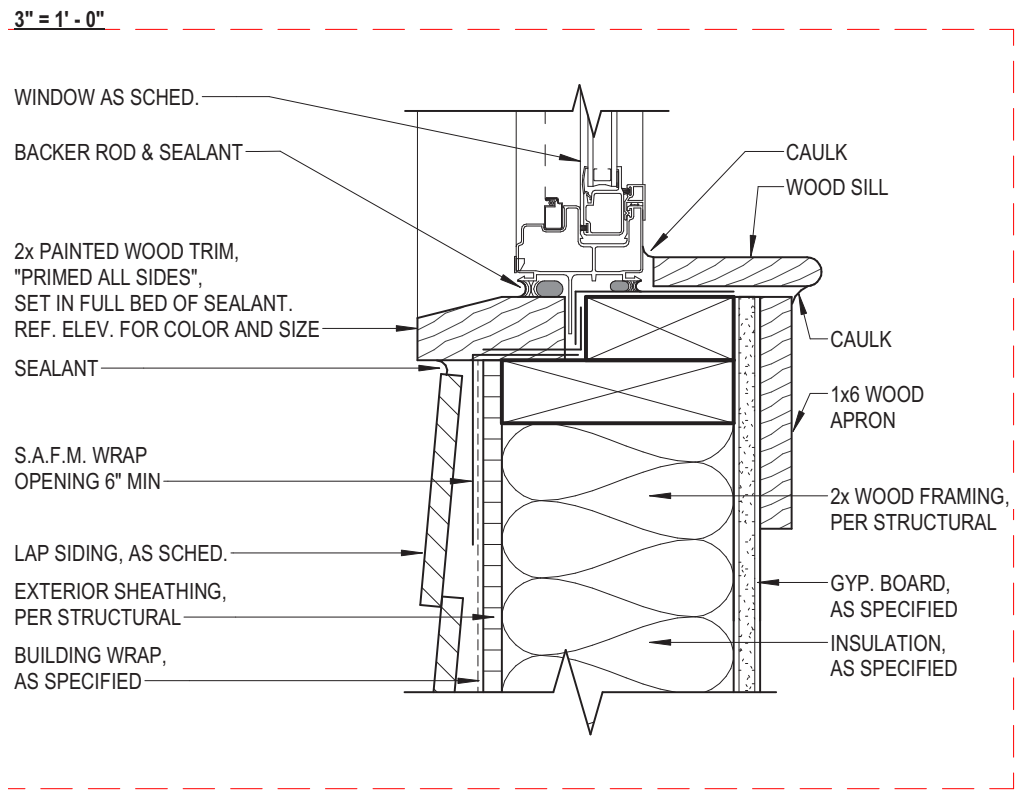
SILL - FRAMED WINDOW @ SIDING



HEAD - RECESSED FRAMED WINDOW @ SIDING



JAMB - RECESSED FRAMED WINDOW @ SIDING



SILL - RECESSED FRAMED WINDOW @ SIDING

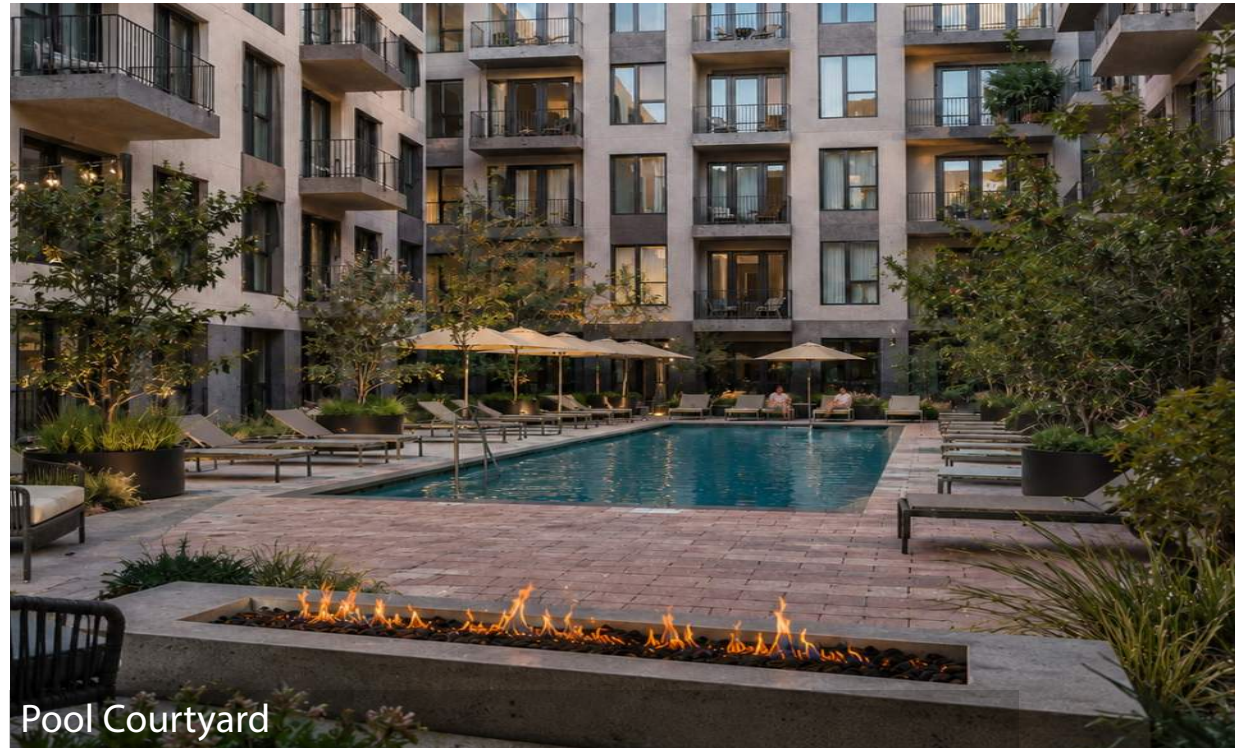


Landscape Concept

Character Identity



Loop Trail & Seating



Pool Courtyard



Healthy Community Offerings



Park Overlook



Community Gathering



Shade+ Public Realm



Park Connections



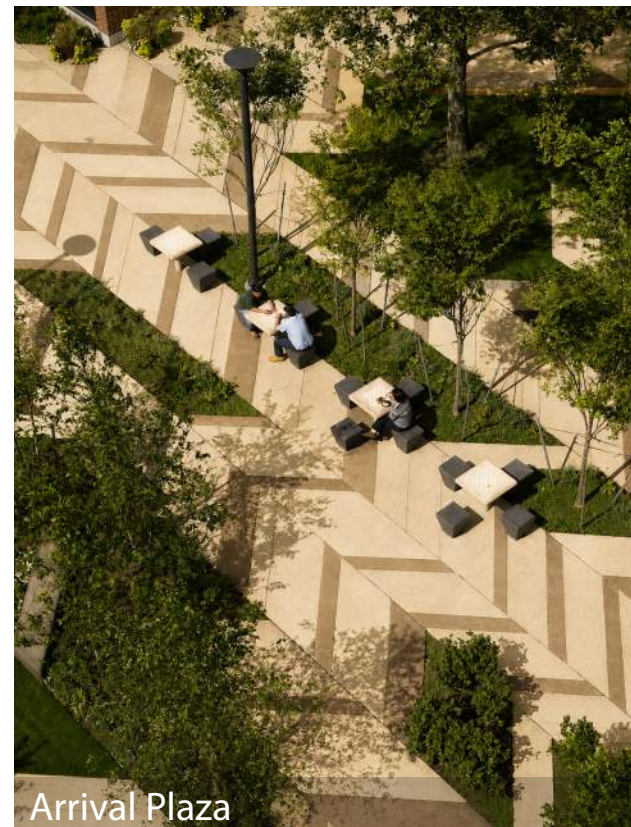
Streetscape + Plantings



Retail + Activation



Local Material Palette



Arrival Plaza

Roosevelt Multi-Family is designed as an extension of the Southtown neighborhood, strengthening connections between the Mission Reach, Roosevelt Park, and Mission Road. The landscape creates a sequence of welcoming public-facing spaces—including plazas, retail, gardens, overlooks, and park connections—that enhance the pedestrian experience while respecting the area's industrial heritage and mature urban character.

LEGEND

- 1.Pool Courtyard
- 2.Retail Kiosk
- 3.Entry Plaza
- 4.Terrace/Streetscape
- 5.Food Truck Court
- 6.Dog Park
- 7.Detention Pond / Amenity
- 8.Sculpture Garden
- 9.Overlook Deck
- 10. Park Connection
- 11. Carraige House
- 12. Parking Shade Struct.



RIO-4 OVERLAY
& ROOSEVELT AVENUE
METROPOLITAN CORRIDOR
OVERLAY DISTRICT

PLANT SELECTION GUIDELINES

- Prioritize native and climate-adapted species
- Support the character of the river corridor
- Reduce irrigation and maintenance requirements
- Provide year-round structure and seasonal interest
- Tolerate periodic flooding or wet conditions where located near drainage areas, detention facilities, or the floodplain
- Avoid invasive species
- Support the applicable landscape design "75% rule"

Plant selection should also be coordinated with the maintenance requirements established by the San Antonio River Authority.

SHADE TREES



MONTERREY OAK
Quercus polymorpha



LACEY OAK
Quercus laceyi



ANACUA
Ethretia anacua



MEXICAN SYCAMORE
Platanus mexicana



PECAN
Carya illinoensis



MONTEZUMA CYPRESS
Taxodium mucronatum



SABAL PALMETTO
Sabal palmetto



DWARF PALMETTO
Sabal minor

FLOWERING TREES



REDBUD
Cercis canadensis



DESERT WILLOW
Chilopsis linearis



PALO VERDE
Parkinsonia florida



MEXICAN PLUM
Prunus mexicana



YAUPON HOLLY
Ilex vomitoria



MEXICAN FEATHER GRASS
Nassella tenuissima



INLAND SEA OATS
Chasmanthium latifolium



LINDHEIMER MUHLY
Muhlenbergia lindheimeri

SHRUBS



TEXAS SAGE
Leucophyllum frutescens



PRIDE OF BARBADOS
Caesalpinia pulcherrima



ESPERANZA
Tecoma stans



RESINBUSH
Viguiera stenoloba



GLOBEMALLOW SPHEALEA
Sphaeralcea ambigua



SALVIA GREGGI
Salvia greggii



SALVIA INDIGO SPIRES
Salvia indigo



SALVIA DARCYI
Salvia darcyi



FALL ASTER
Symphotrichum oblongifolium



TURK'S CAP
Malvaviscus arboreus

ACCENT



SPINELESS PRICKLY PEAR
Opuntia ellisiana



PALE LEAF YUCCA
Yucca pallida



RED YUCCA
Hesperaloe parviflora



BLUE SOTOL
Dasylirion wheeleri



HARVARD AGAVE
Agave havardiana



WEDELIA TEXANA
Wedelia acapulcensis



GREGG'S MISTFLOWER
Conclinium greggi



WHITE SAGE
Artemisia ludoviciana



BUTTONBUSH
Cephalanthus occidentalis



FROG FRUIT
Phyla nodiflora

GROUNDCOVERS

Thank You.