NOTE:
THE SIGNING SURVEYOR WAS NOT PROVIDED A CURRENT
TITLE COMMITMENT AND THERE MAY BE EASEMENTS,
RIGHTS OF WAY OR OTHER INSTRUMENTS OF RECORD
WHICH MAY AFFECT THIS PROPERTY WHICH ARE NOT
SHOWN ON THE FACE OF THIS SURVEY.

NOTE: NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.

S 84°17'12" E 75.00' **FENCE** SCALE: 1"=20' IN 2.5 SIDING BLDG. ADJOINING ON GROUND BLDG. LOT 13 LOT 14 LOT 15 DRIVE .7 LOTS 13, 14 & 15 157 BLOCK 6 N.C.B. 2369 11,782 SQ. FT. 157.10 0.270 ACRES 05.42, SIDING BLDG. ON GROUND WALK ≥ ,48° Z 18.5 WATER HEATER LOT 16 STONE WALL *****42, 05 CONC. STEPS IN 1.9 STEPS S TWO STORY SIDING CONC. STEPS BRICK WALL WALK W S 84°17'12" E 125.00' STONE FOOTER C.M. CONC. WALK N 84°17'12" W 75.00

20' ALLEY

W. CESAR E. CHAVEZ BLVD. (55.6' R.O.W.) (DURANGO ST. PER PLAT)

THE ORIGINAL PLAT OF RECORD IS WITHOUT BEARINGS.

BEARINGS SHOWN HEREON ARE BASED ON ACTUAL GPS OBSERVATIONS, TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE, GRID.

THIS SURVEY IS ACKNOWLEDGED AND IS ACCEPTED:



MAN MANAMA

LEGEND = CALCULATED POINT = FOUND 1/2" IRON ROD = SET 1/2" IRON ROD CAPPED WALS = SET SPINDLE = RECORD INFORMATION = CONTROLLING MONUMENT E CONTROLLING MONUM
POWER POLE
ELECTRIC METER
OVERHEAD ELECTRIC
LIGHT POST
GAS METER
WATER METER
CHAIN LINK FENCE

RVD: RJP

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. $\frac{48029C}{C}$, Panel No. $\frac{0.395}{C}$, which is Dated $\frac{0.9/29/2010}{C}$. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) \underline{X} Because this is a boundary survey, the surveyor did not take any actions to determine the Flood Zone status of the surveyed property other that to interpret the information set out on FEMA's FIRM. as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or State or local officials, and which may not agree with the tract's actual conditions More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at https://msc.fema.gov/portal.

Property Address:

1723 W. CESAR E. CHAVEZ BLVD. (DURANGO ST. PER PLAT) **Property Description:**

LOTS 13, 14 AND 15, BLOCK 6, NEW CITY BLOCK 2369, SITUATED IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

Owner:

OF RUDOLF J. PATA, JR. 5388 DESSION SURVE AND

DATE: 01/03/2024

I, RUDOLF J. PATA, JR., Registered Professional Land Surveyor, State of Texas, certify that the above plat represents an actual survey made on the ground under my supervision, and that my professional opinion is that there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, except as may appear herein, to the best of my knowledge and belief.

RUDOLF J. PATA, JR. Registered Professional Land Surveyor Texas Registration No. 5388

FIRM REGISTRATION NO. 10111700

LAND SURVEYORS, LLC. P.O. BOX 1645 BOERNE, TEXAS 78006 PHONE (210) 372-9500 FAX (210) 372-9999

G.F. NO. N/A

DWG: AJS JOB NO. 123435

-D-D- = METAL FENCE O = SIGN

TITLE COMPANY: N/A