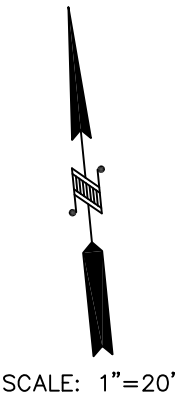
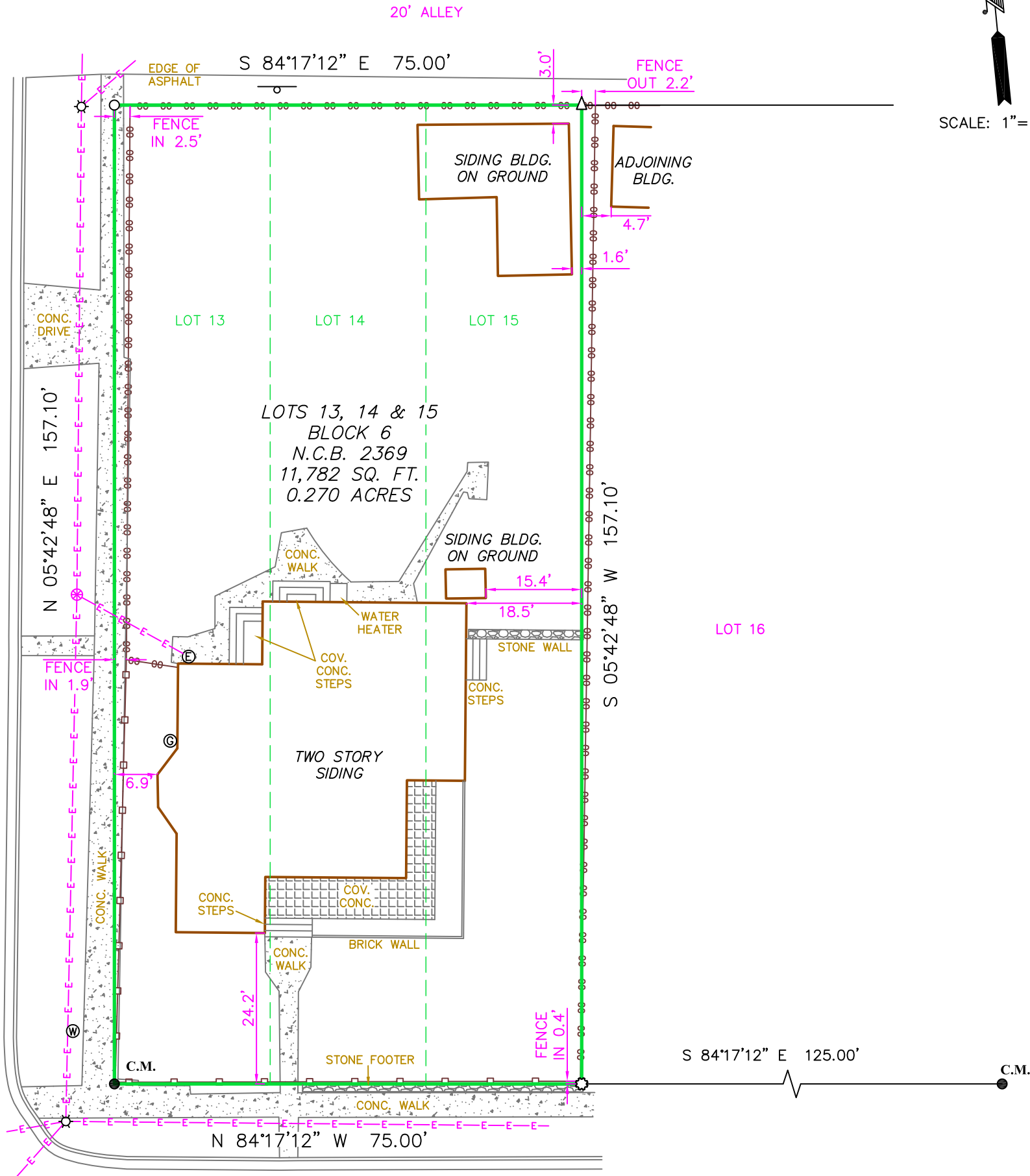


NOTE:
THE SIGNING SURVEYOR WAS NOT PROVIDED A CURRENT
TITLE COMMITMENT AND THERE MAY BE EASEMENTS,
RIGHTS OF WAY OR OTHER INSTRUMENTS OF RECORD
WHICH MAY AFFECT THIS PROPERTY WHICH ARE NOT
SHOWN ON THE FACE OF THIS SURVEY.

NOTE:
NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.



S. PINTO ST.
(55.6' R.O.W.)



W. CESAR E. CHAVEZ BLVD.
(55.6' R.O.W.) (DURANGO ST. PER PLAT)

NOTE:
THE ORIGINAL PLAT OF RECORD IS WITHOUT BEARINGS.

NOTE:
BEARINGS SHOWN HEREON ARE BASED ON ACTUAL GPS
OBSERVATIONS, TEXAS STATE PLANE COORDINATES,
SOUTH CENTRAL ZONE, GRID.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:



FLOOD ZONE INTERPRETATION: IT IS THE
RESPONSIBILITY OF ANY INTERESTED PERSONS TO
VERIFY THE ACCURACY OF FEMA FLOOD ZONE
DESIGNATION OF THIS PROPERTY WITH FEMA AND
STATE AND LOCAL OFFICIALS, AND TO DETERMINE
THE EFFECT THAT SUCH DESIGNATION MAY HAVE
REGARDING THE INTENDED USE OF THE
PROPERTY. The property made the subject of
this survey appears to be included in a FEMA
Flood Insurance Rate Map (FIRM), identified as
Community No. 48029C, Panel No. 0395 G,
which is Dated 09/29/2010. By scaling from
that FIRM, it appears that all or a portion of
the property may be in Flood Zone(s) X.
Because this is a boundary survey, the surveyor
did not take any actions to determine the Flood
Zone status of the surveyed property other than
to interpret the information set out on FEMA's
FIRM, as described above. THIS SURVEYOR DOES
NOT CERTIFY THE ACCURACY OF THIS
INTERPRETATION OF THE FLOOD ZONES, which
may not agree with the interpretations of FEMA
or State or local officials, and which may not
agree with the tract's actual conditions. More
information concerning FEMA's Special Flood
Hazard Areas and Zones may be found at
<https://msc.fema.gov/portal>.

Property Address:

1723 W. CESAR E. CHAVEZ BLVD. (DURANGO ST. PER PLAT)

Property Description:

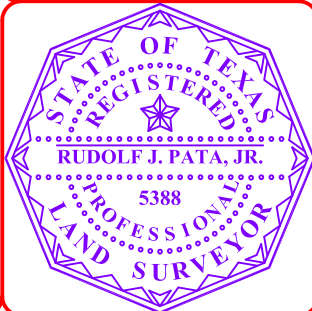
LOTS 13, 14 AND 15, BLOCK 6, NEW CITY BLOCK 2369,
SITUATED IN THE CITY OF SAN ANTONIO,
BEXAR COUNTY, TEXAS.

Owner:

T.B.D.

I, RUDOLF J. PATA, JR., Registered Professional Land
Surveyor, State of Texas, certify that the above plat
represents an actual survey made on the ground under
my supervision, and that my professional opinion is that
there are no discrepancies, conflicts, shortages in area
or boundary lines, or any encroachment or overlapping
of improvements, except as may appear herein, to the
best of my knowledge and belief.

RUDOLF J. PATA, JR.
Registered Professional Land Surveyor
Texas Registration No. 5388



DATE: 01/03/2024

TITLE COMPANY: N/A

JOB NO. 123435

DWG: AJS RVD: RJR

FIRM REGISTRATION NO.
10111700
**Westar
Alamo**
LAND SURVEYORS, LLC.
P.O. BOX 1645 BOERNE, TEXAS 78006
PHONE (210) 372-9500 FAX (210) 372-9999

G.F. NO. N/A