



**NEW RESIDENTIAL  
ADDITION**  
264 HERMINE BLVD.  
SAN ANTONIO, TEXAS 78212

**AREA CALCULATIONS:**

FIRST FLOOR -NEW CONSTRUCTION ADDITION	220 S.F.
INCLUDES CONCRETE STONE/BRICK LUG	
TOTAL LIVING AREA NEW CONSTRUCTION	220 S.F.

**AIR BARRIER AND INSULATION INSTALLATION ALONG  
CONDITIONED PERIMETER/ BUILDING THERMAL ENVELOPE**

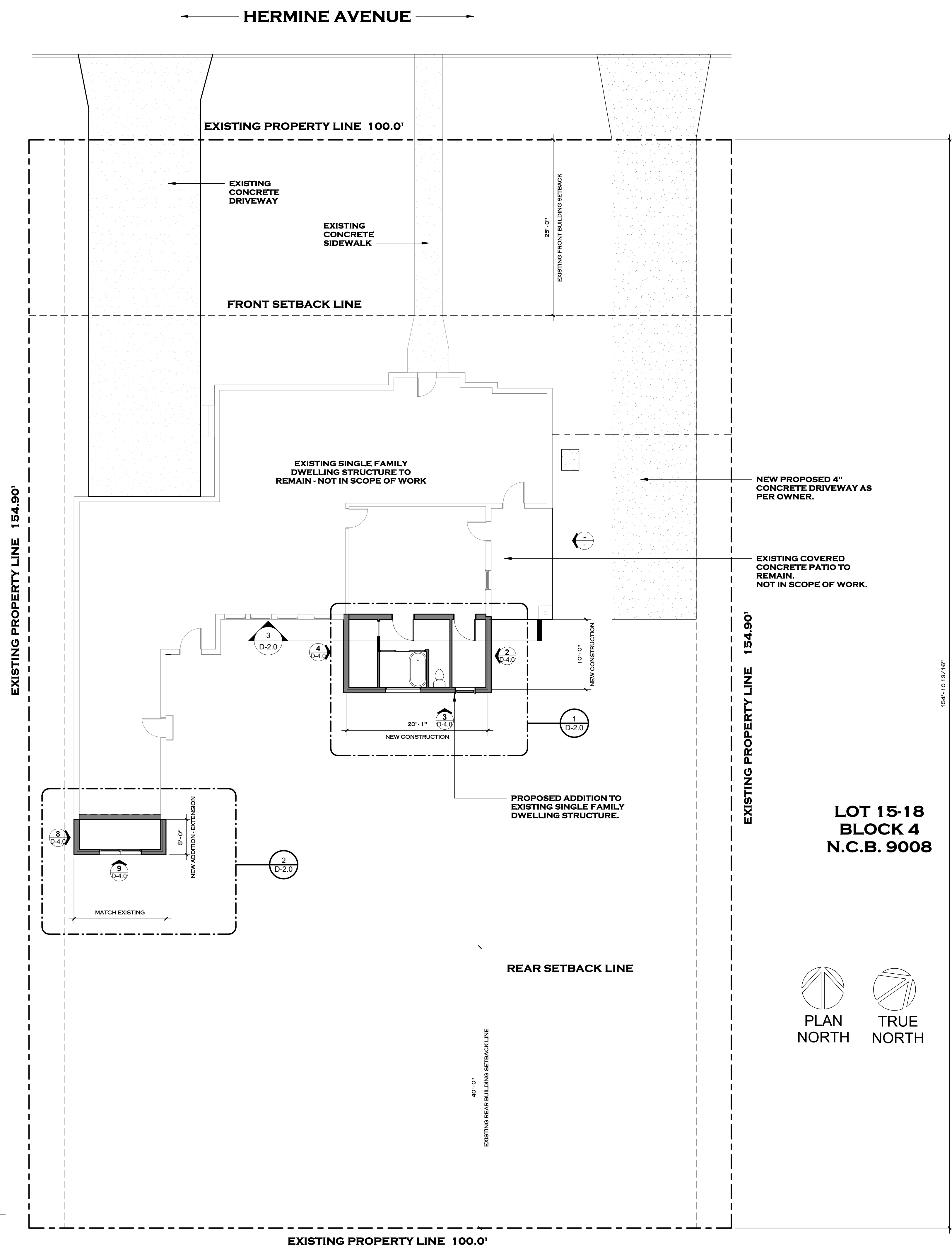
**R402.4.1 Building thermal envelope.**  
The building thermal envelope shall comply with Sections R402.4.1.1 through R402.4.1.3. The sealing methods between dissimilar materials shall allow for differential expansion and contraction.

**R402.4.1.1 Installation.**  
The components of the building thermal envelope as indicated in Table R402.4.1.1 shall be installed in accordance with the manufacturer's instructions and the criteria indicated in Table R402.4.1.1, as applicable to the method of construction. Where required by the code official, an approved third party shall inspect all components and verify compliance.

**TABLE R402.4.1.1 AIR BARRIER, AIR SEALING AND INSULATION INSTALLATION\***

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. Breaks or joints in the air barrier shall be sealed. The air barrier in any dropped ceiling or soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material. The insulation in any dropped ceiling/soffits shall be aligned with the air barrier.
Ceilings/soffits	Access openings, drop-down stairs or knee wall doors to unconditioned attic spaces shall be sealed. The junction of the top plate and sill plate shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance, R-value, of not less than 1.3 per inch. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Walls	Knee walls shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed.	—
Windows, skylights and doors	The space between framing and skylights, and the joints of windows and doors, shall be sealed. Rim joints shall include an exterior air barrier. <sup>3</sup>	Rim joints shall be insulated so that the insulation maintains permanent contact with the exterior rim board. <sup>3</sup>
Rim joints	The junctions of the rim board to the sill plate and the rim board and the subfloor shall be air sealed.	—
Floors, including cantilevered floors and floors above garages	The air barrier shall be installed at any exposed edge of insulation. Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder barrier in accordance with Section R402.2.10. Penetrations through concrete foundation walls and sills shall be air sealed.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extending from the bottom to the top of all perimeter floor framing members. Crawl space insulation, where provided instead of floor insulation, shall be installed in accordance with Section R402.2.10. Conditioned basement foundation wall insulation shall be installed in accordance with Section R402.2.8.1. Sub-on-grade floor insulation shall be installed in accordance with Section R402.2.10.
Basement crawl space and slab foundations	Class I vapor retarders shall not be used as an air barrier on below-grade walls and shall be installed in accordance with Section R102.7 of the International Residential Code. Dust and flue shafts to exterior or unconditioned space shall be sealed.	Insulation shall be fitted tightly around utilities passing through shafts and penetrations in the building thermal envelope to maintain required R-value.
Shafts, penetrations	Utility penetrations of the air barrier shall be caulked, gasketed or otherwise sealed and shall allow for expansion, contraction of materials and mechanical vibration.	Seals to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space.
Narrow cavities	Narrow cavities of 1 inch or less that are not able to be insulated shall be air sealed.	Insulated portions of the garage separation assembly shall be installed in accordance with Sections R309 and R402.2.7.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	Recessed light fixtures installed in the building thermal envelope shall be airtight and IC rated, and shall be buried or surrounded with insulation.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be airtight and IC rated, and shall be buried or surrounded with insulation.	Insulation shall be installed to fill the available space and surround wiring, plumbing, or other obstructions, unless the required R-value can be met by installing insulation and air barrier systems completely to the exterior side of the obstructions.
Plumbing, wiring or other obstructions	All holes created by wiring, plumbing or other obstructions in the air barrier assembly shall be air sealed.	Exterior walls adjacent to showers and tubs shall be insulated.
Showers/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the shower or tub. The air barrier shall be installed behind electrical and communication boxes. Alternatively, air-sealed boxes shall be installed.	—
Electrical/phone box on exterior walls	HVAC supply and return register boots that penetrate building thermal envelope shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot. Where required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between the sprinkler cover plates and walls or ceilings.	—
HVAC register boots	—	—
Concealed sprinklers	—	—

\* Inspection of key walls shall be in accordance with the provisions of ICC-605.  
3. All barrier and insulation full enclosures is not required in unconditioned attic spaces and at rim joints.



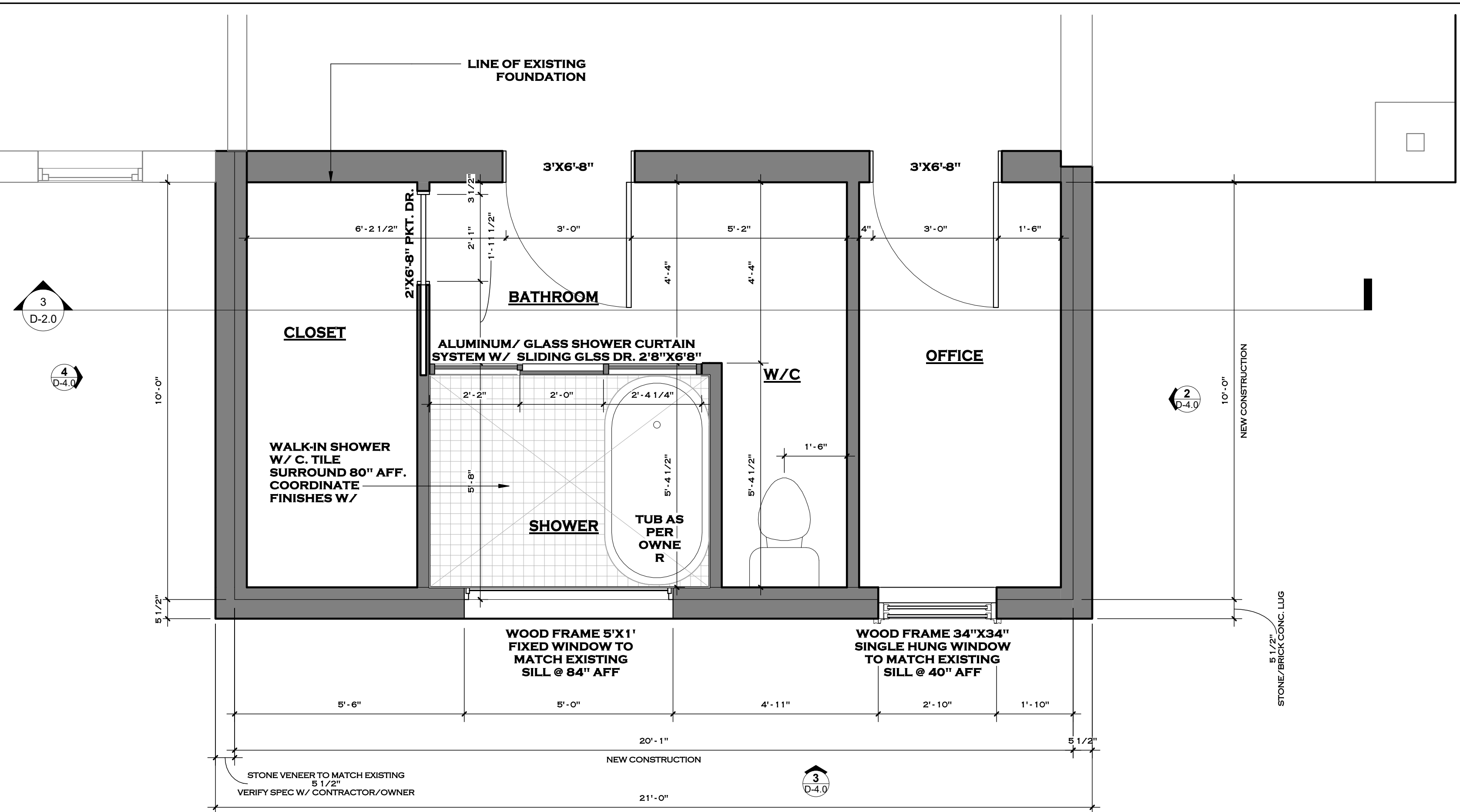
**1 OVERALL EXISTING SITE PLAN W/ PROPOSED ADDITION**  
1/8" = 1'-0"

**NOTES:**

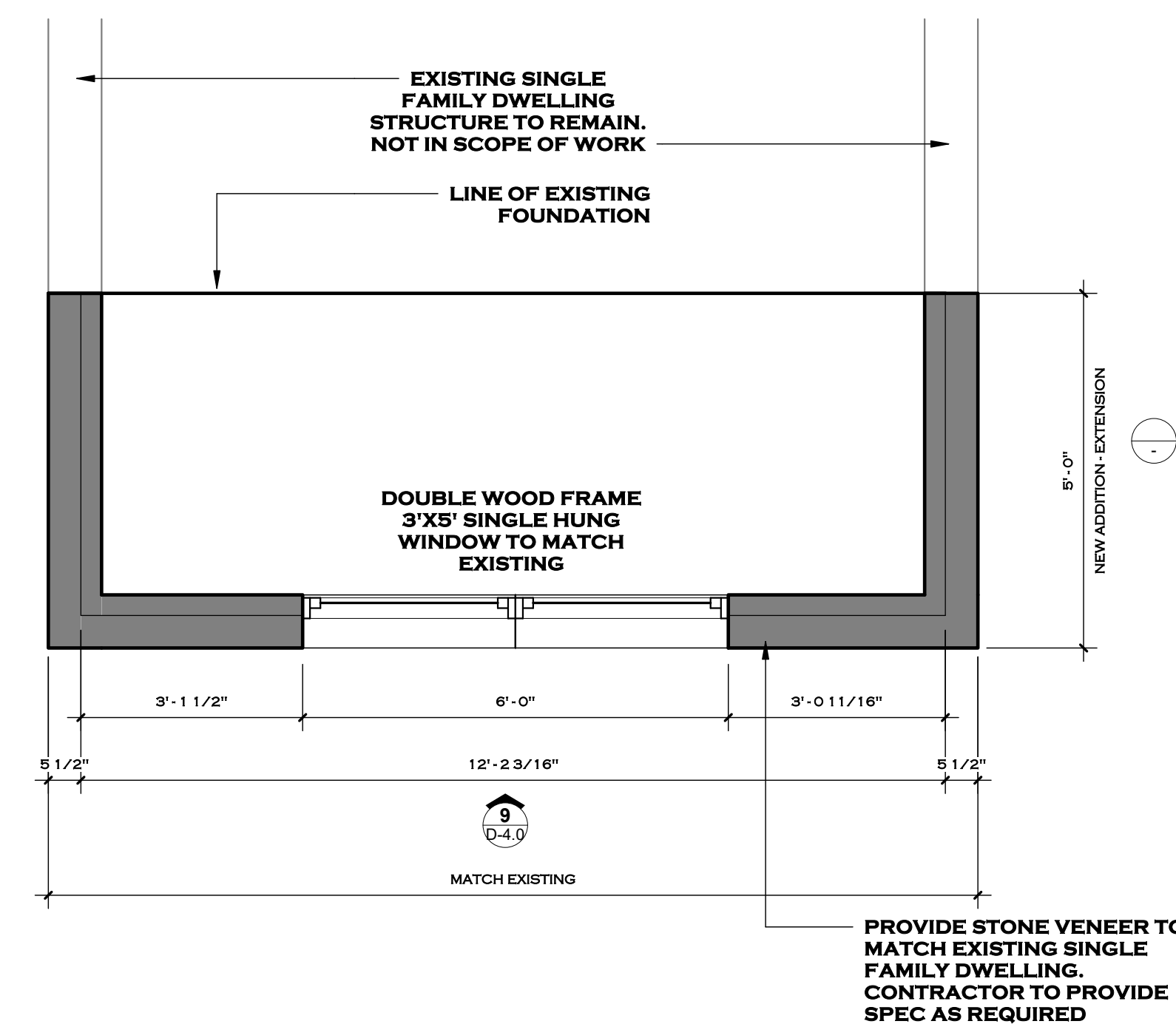
1. VERIFY ALL DIMENSIONS AT JOB SITE.
2. DO NOT SCALE DRAWINGS.
3. USE TREATED WOOD AS BASE PLATES @ ALL EXTERIOR WALLS
4. ALL STUDS ARE 16" O.C.
5. WINDOWS SIZES NOTED ARE NOMINAL UNIT SIZES. VERIFY ACTUAL ROUGH OPENING DIMENSIONS W/ MFR.
6. R-38 BATT INSULATION TO BE USED FOR CEILING, AND R-13 FOR EXTERIOR WALLS.
7. 5/8" DRYWALL TAPED AND SANDED.
8. ALL HEADER SPACERS TO BE CONTINUOUS 1/2" PLYWD.
9. SUPPORT POSTS TO BE TREATED AS PER OWNER.
10. FOR WIND BRACING @ CORNERS USE 1/2" PLYWD W/ BLOCKING @ SPLICE
11. ALL EXTERIOR SURFACES STONE & STUCCO AS INDICATED AT EXTERIOR ELEVATIONS.
12. PROVIDE CASING BEAD WITH WEEPS & FLASHING AT ALL STUCCO/WINDOW CONDITIONS.
12. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS & ARE FRAME DIMENSIONS.
13. PROVIDE REQUIRED VENTS AT ALL PLUMBING LOCATIONS AS PER IBC, IRC 2021 CODES

**GENERAL NOTES:**

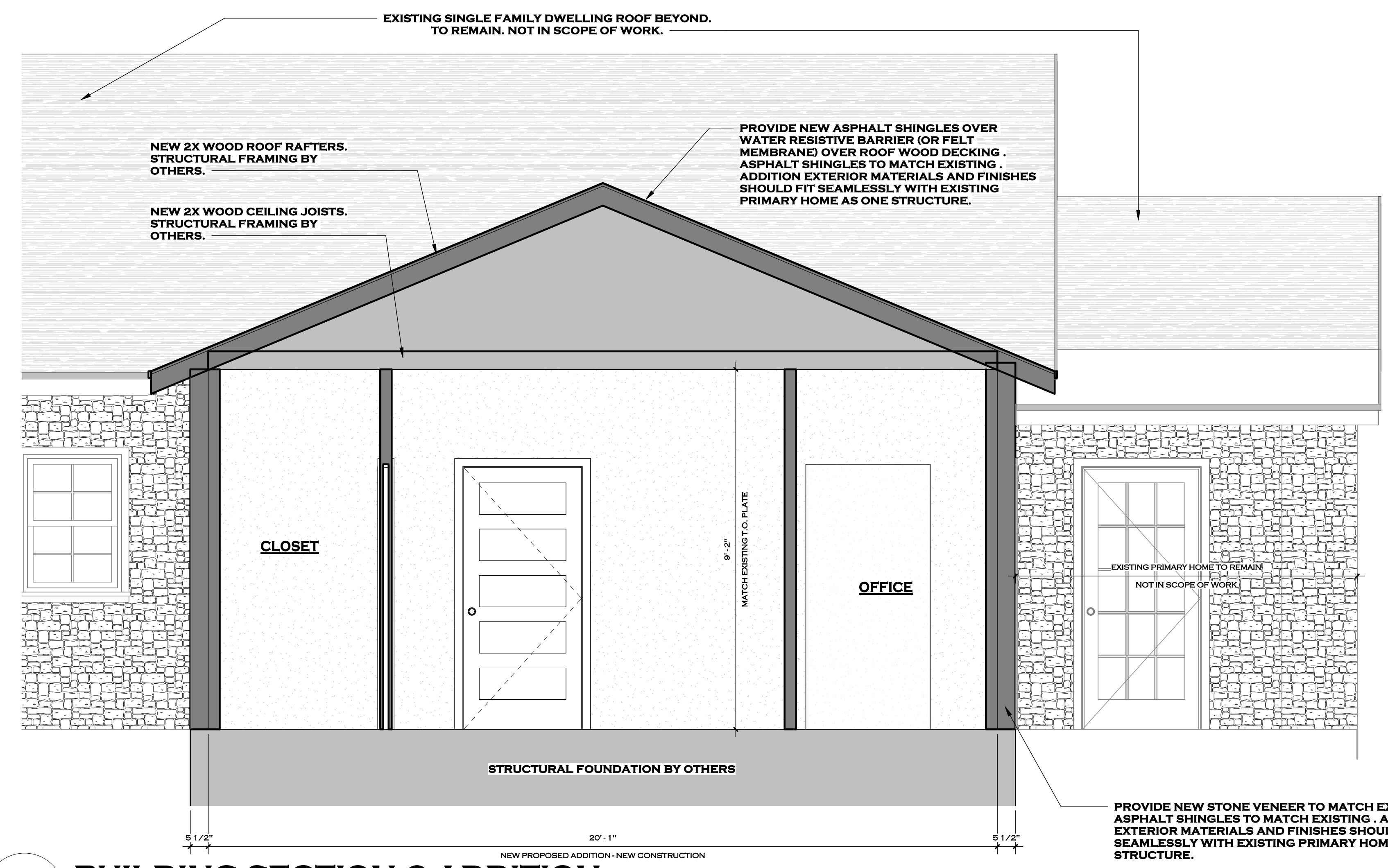
- A. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIAL INCLUDING THOSE FURNISHED BY SUB-CONTRACTORS.
- B. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE BUILDING CODE AND ALL LOCAL CODES.
- C. THE CONTRACTOR SHALL REPORT TO THE DESIGNER ANY ERROR INCONSISTENCIES, OR OMISSION HE/SHE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERROR AFTER THE START OF CONSTRUCTION WHICH HAS NOT BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- D. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HERE OR NOT. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES TO OBTAIN LOCATION, ADDITIONAL PERMITS, INSPECTIONS, AND SPECIAL APPROVALS. THE CONTRACTOR TO PROTECT ALL UTILITIES FROM DAMAGE AND SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF WORK.
- E. CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE CITY OR GOVERNING AGENCIES.
- F. CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE JOB IS IN PROGRESS AND UNTIL JOB IS COMPLETED.
- H. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS BE LEFT IN A CLEAN BROOM CONDITION AT ALL TIMES.
- I. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIAL OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER COMPLETION.
- J. CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, REGULATIONS, AND STATE DEPARTMENT OF INDUSTRIAL REGULATIONS, DIVISION OF INDUSTRIAL SAFETY (O.S.H.A.) REGULATIONS.
- K. CONTRACTOR SHALL REFER AND CROSS-CHECK DETAILS, DIMENSIONS, NOTES AND ALL REQUIREMENTS ON THE THIS SET OF DRAWINGS WITH THE REQUIREMENTS OF THE STRUCTURAL DRAWINGS.
- L. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE SAFETY OF THE OWNERS, EMPLOYEES, WORKMEN, AND ALL OTHERS AT LEAST DURING PROJECT CONSTRUCTION.
- M. PROVIDE ALL NECESSARY BLOCKING, BACKING, SLEEVES, FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT, COUNTERS, HANDRAILS, RAILS, AND ALL OTHER ITEMS REQUIRING SAME.
- N. HOME LOCATION & DRIVEWAY CONFIGURATION MAY VARY, VERIFY LOCATION W/ OWNER & BUILDER @ SITE.
- O. ATTIC A/C UNIT PROVIDE REQ. ELEC. AND OR GAS W/ OVERFLOW PAN TO OUTSIDE ON PLYWD. DECKING. INSTALL AS PER LOCAL LOCAL.
- P. BULLNOSE SHEETROCK @ ALL ARCHES AND TRAFFIC AREAS.
- Q. COAX CABLE @ ALL TV & PHONE LOCATIONS.
- R. ALL FRAMING AND STRUCTURAL DESIGN NEEDS TO MEET 115 M.P.H. WIND CRITERIA AS PER SEC. R301.2 [4].
- S. PRESSURE TREATED WOOD OR OTHER APPROVED DECAY-RESISTANT WOOD SILLS, SILL AND SLEEPERS, OR BOTTOM PLATES THAT REST ON CONCRETE OR MASONRY WALLS OR SLABS ON GRADE TO MEET SEC R404.2
- T. HANDRAILS SHALL BE PROVIDED ON ALL STAIRS/STEPS WITH A MINIMUM OF FOUR (4) RISERS AS PER SEC R311.7.8 (MIN. STAIR TREAD 10". MAX. RISER 7 3/4")
- U. OPENINGS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE EQUIPPED W/SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICKNESS, OR 20 MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE SECTION R302.5.1
- V. HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2" AS PER SECTION 311.7.8
- W. THE FLOOR PLANS AND DESIGN CONTAINED HEREIN ARE PROPERTY OF THE JT STUDIO AND MAY NOT BE REPRODUCED, ALL OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.
- X. WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE, NOR ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED REGARDING FRAMING, WINDBRACING AND FOUNDATION DESIGN.



**1 01 - ENLARGED FLOOR PLAN @ ADDITION**  
1/2" = 1'-0"



**2 01 - ENLARGED FLOOR PLAN @ SECOND ADDITION**  
1/2" = 1'-0"



**3 BUILDING SECTION @ ADDITION**  
1/2" = 1'-0"

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INCLUDES CONCRETE STONE/BRICK LUG	
<b>TOTAL LIVING AREA NEW CONSTRUCTION</b>	<b>220 S.F.</b>

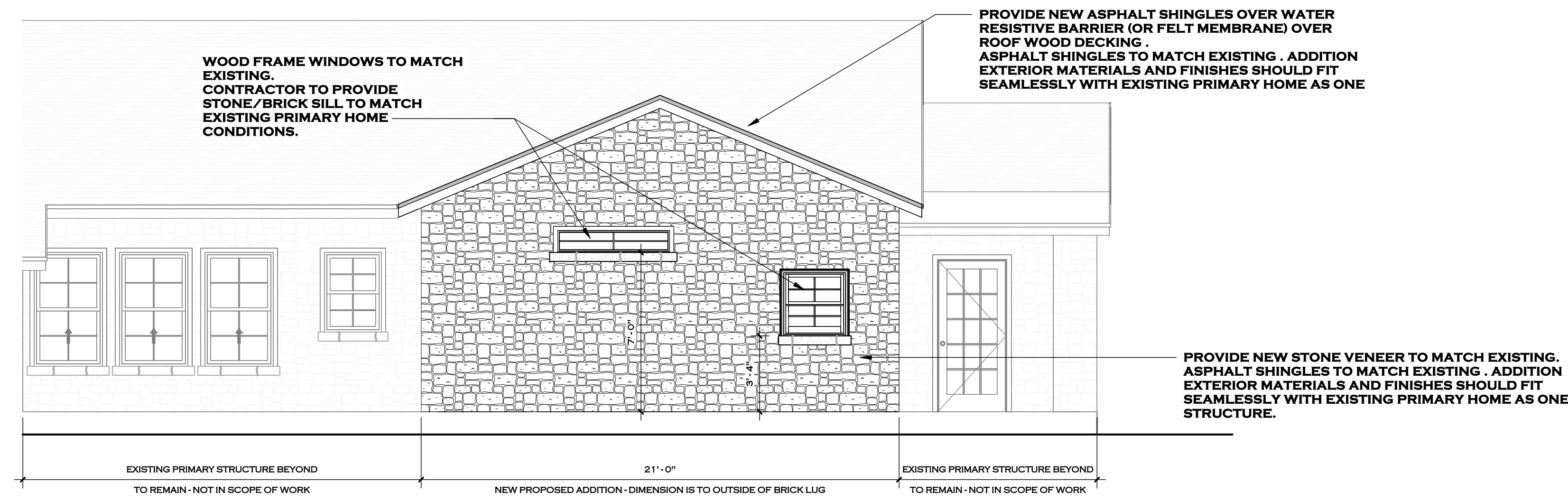
PROVIDE NEW STONE VENEER TO MATCH EXISTING. ASPHALT SHINGLES TO MATCH EXISTING. ADDITION EXTERIOR MATERIALS AND FINISHES SHOULD FIT SEAMLESSLY WITH EXISTING PRIMARY HOME AS ONE STRUCTURE.



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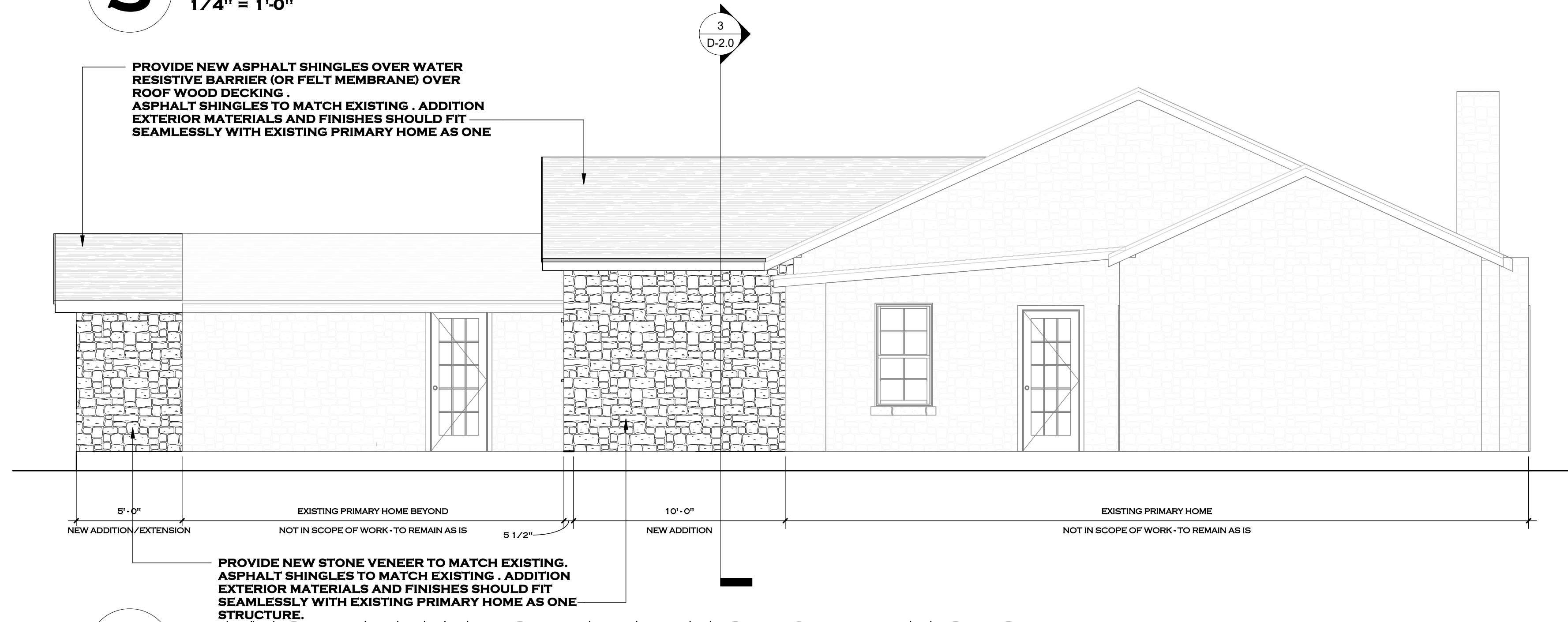
**GENERAL NOTES**

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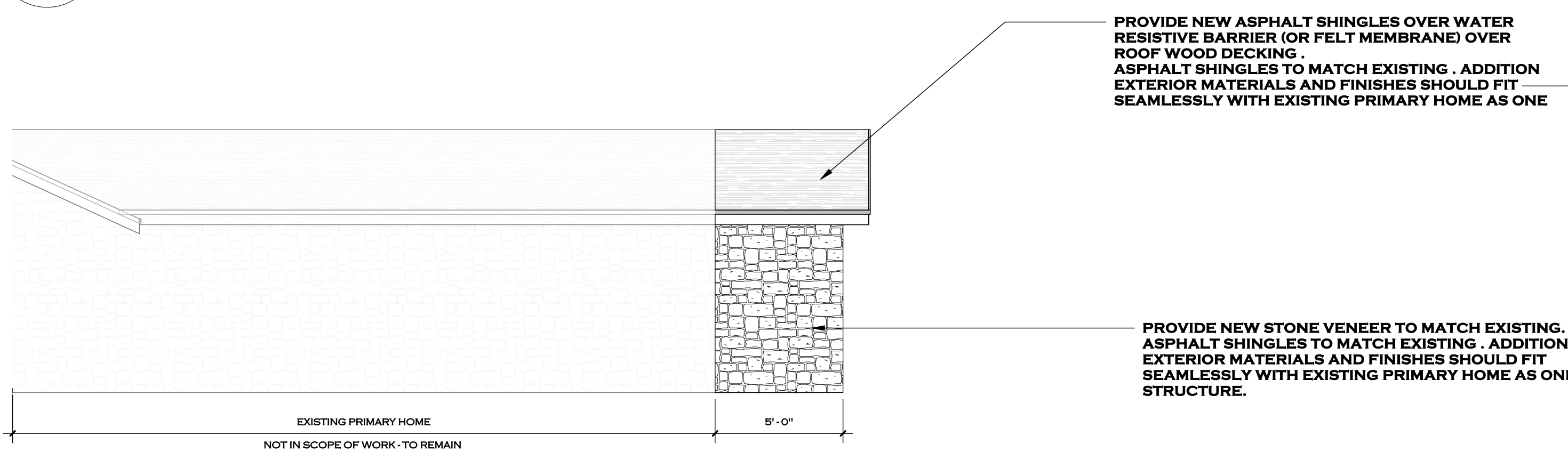
**3 REAR ELEVATION @ ADDITION**

1/4" = 1'-0"



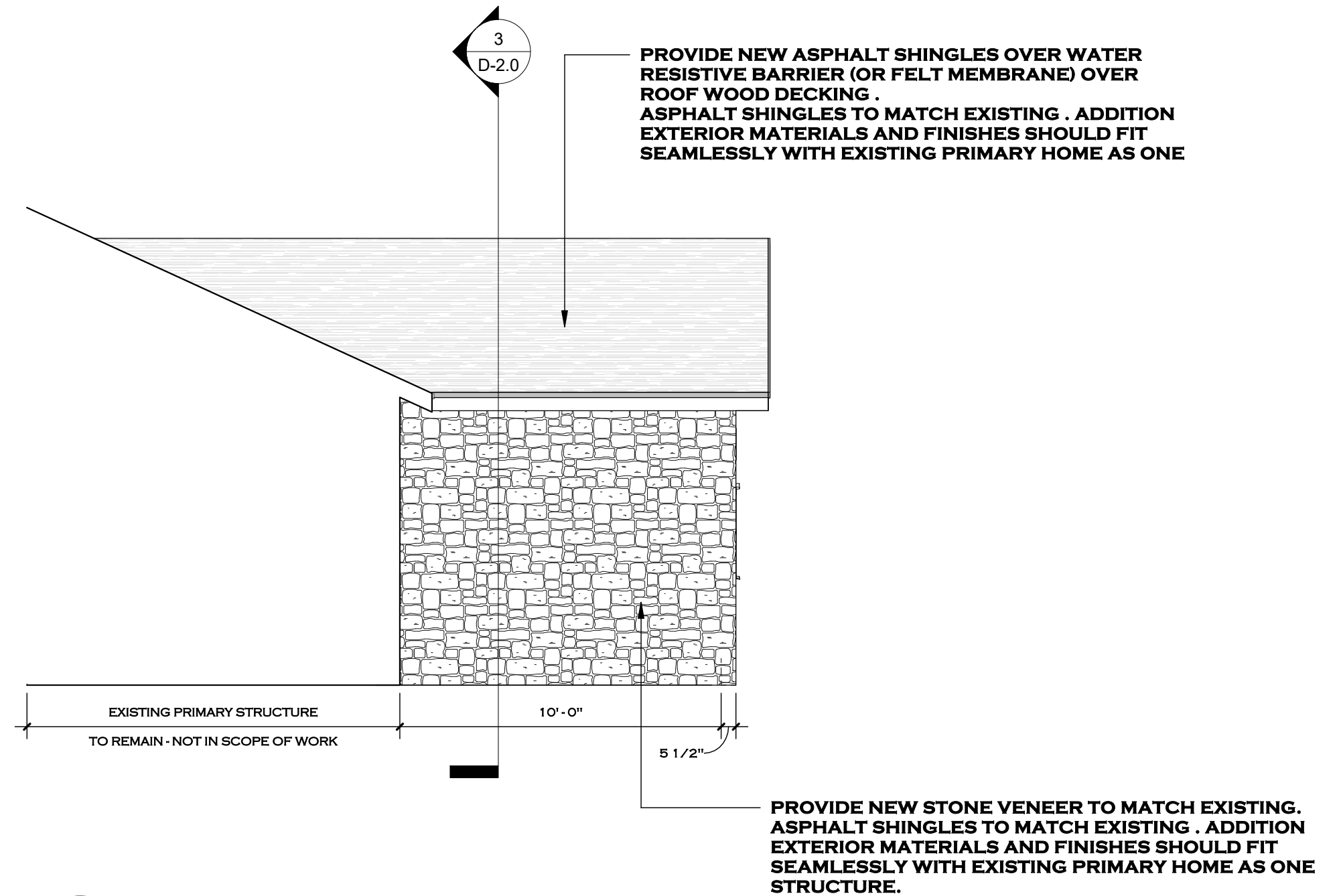
**2 LEFT SIDE EXTERIOR ELEVATION @ ADDITIONS**

1/4" = 1'-0"



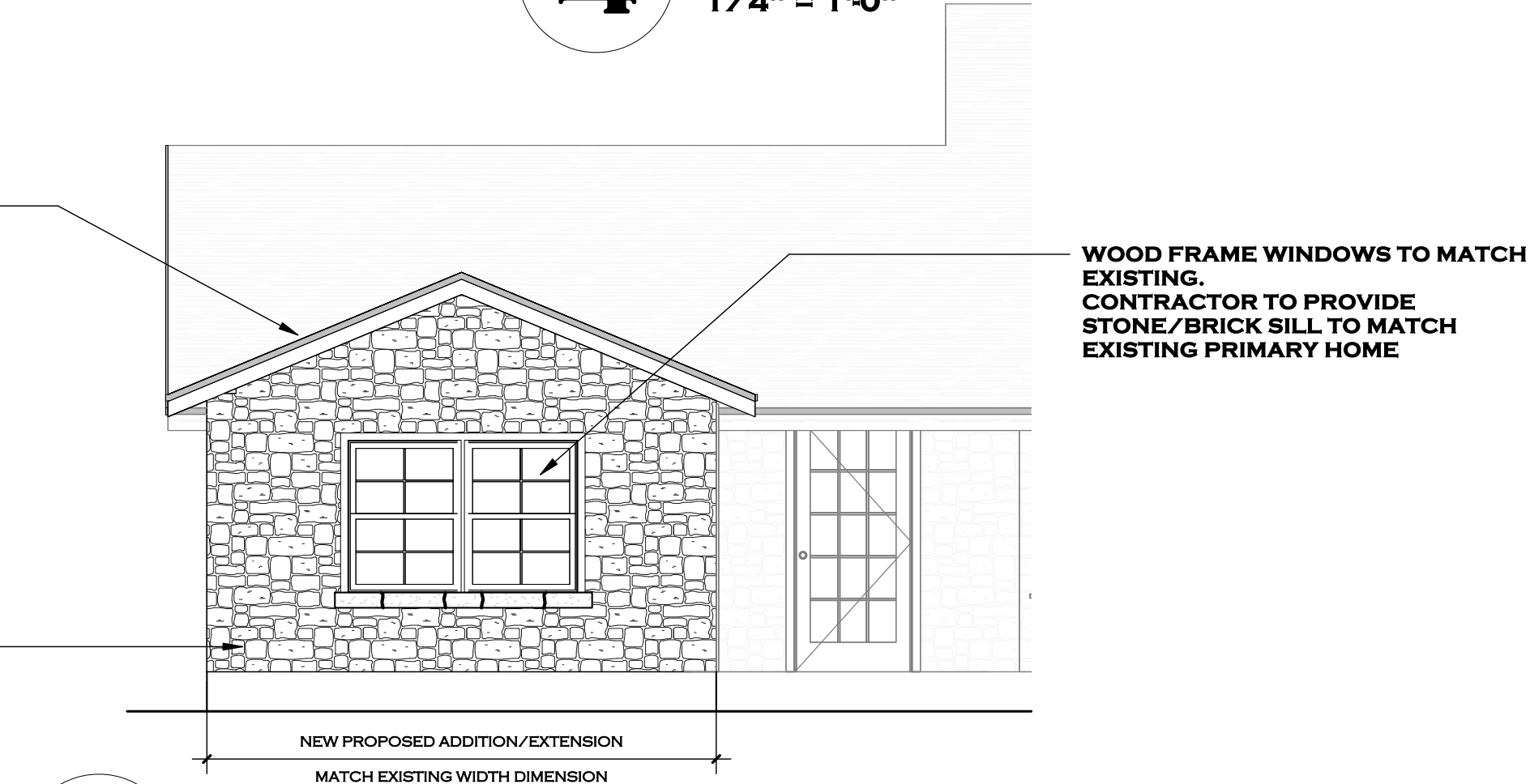
**8 ELEVATION 4 - A 1**

1/4" = 1'-0"



**4 LEFT SIDE ELEVATION @ ADDITION**

1/4" = 1'-0"



**9 ELEVATION 3 - A**

1/4" = 1'-0"

DESIGNER:



JTERRAZAS@THEJTSTUDIO.COM

TEL: (210) 452-4895

PROJECT DESCRIPTION:

PROJECT:

# NEW RESIDENTIAL ADDITION

264 HERMINE BLVD.  
SAN ANTONIO, TEXAS 78212

REVISIONS:

PROJECT STATUS

SHEET TITLE  
**OVERALL ROOF  
PLAN NEW  
CONSTRUCTION @  
ADDITION**

DATE

PROJECT NO.

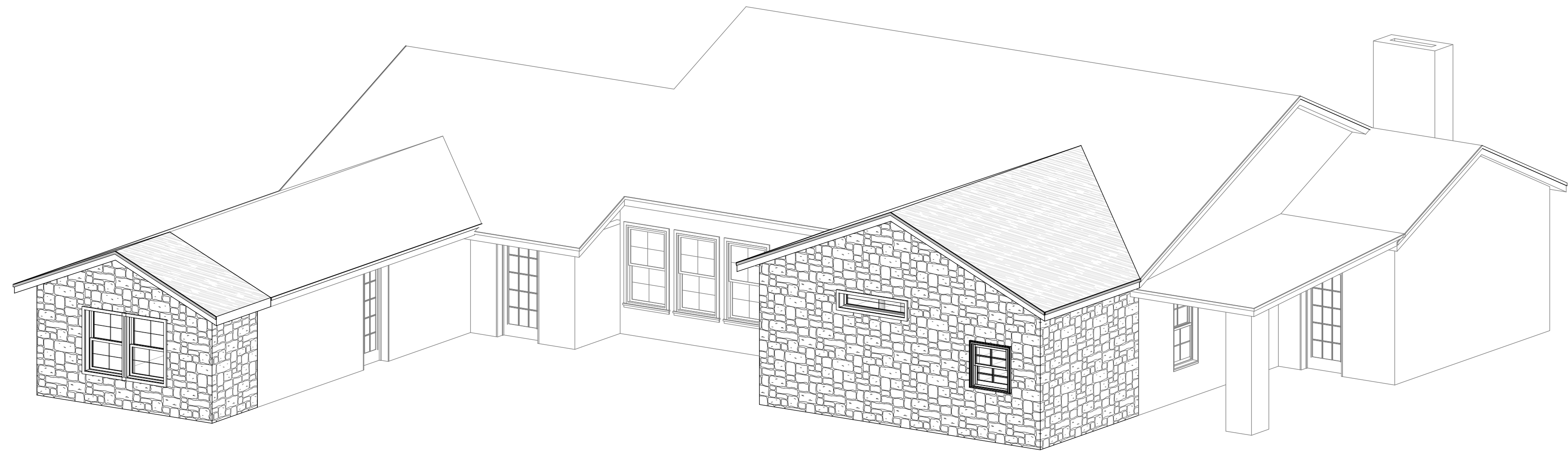
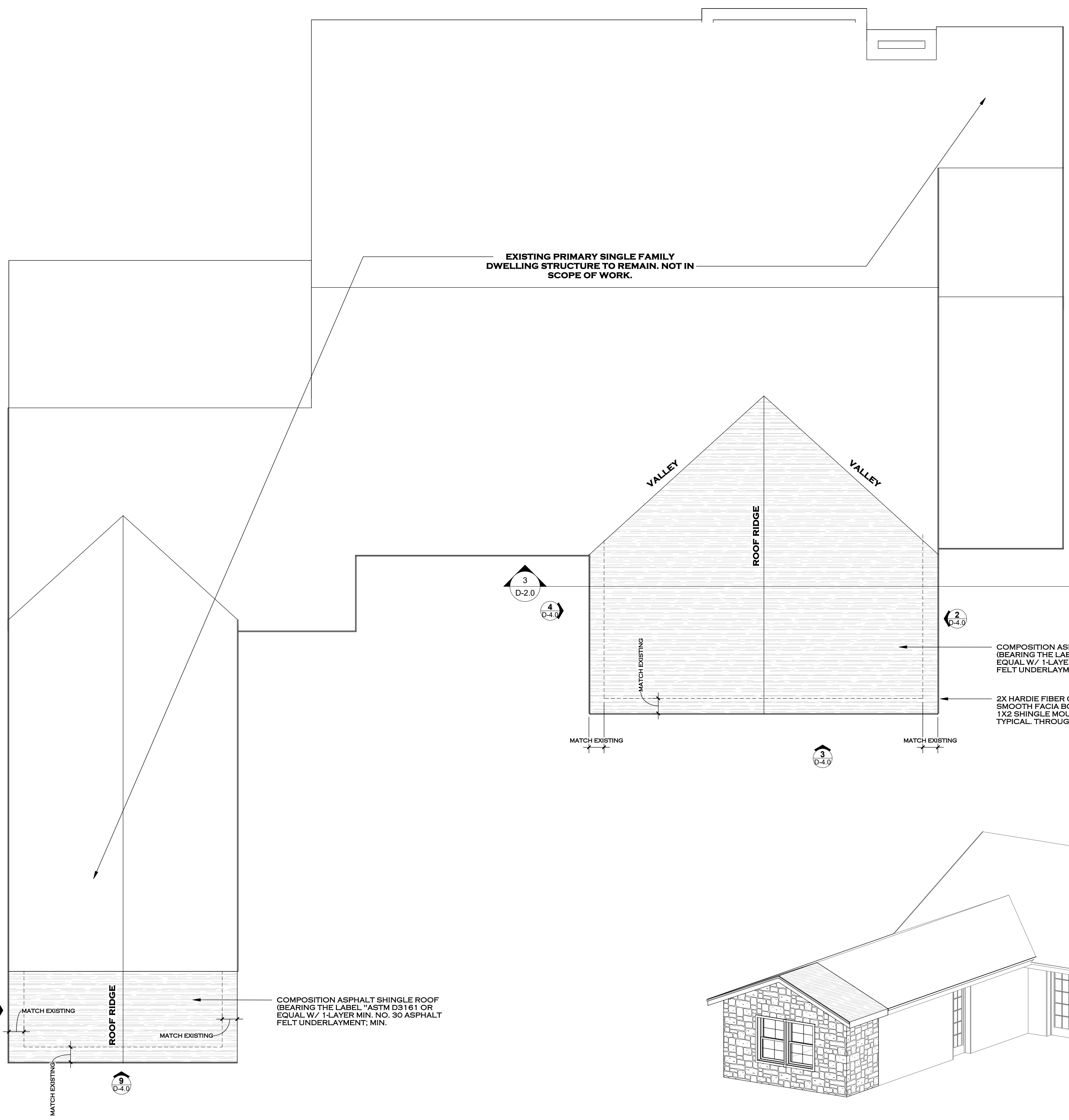
DRAWN BY.

CHECKED BY.

SHEET NUMBER

## D-5.0

PERMIT DOCUMENTS  
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**1** OVERALL ROOF PLAN @ EXISTING AND NEW ADDITIONS  
1/4" = 1'-0"

**2** {3D}