



LEEDS BUILDING - 345 W. COMMERCE

HDCR EXHIBIT
FOR HDCR REVIEW AND REGULATORY APPROVAL ONLY, NOT FOR CONSTRUCTION

SITE CONTEXT



LEEDS BUILDING - 345 W. COMMERCE



NARRATIVE

ACCORDING TO THE CURATOR AT UTSA SPECIAL COLLECTIONS, IT IS ESTIMATED THAT THE BUILDING WAS BUILT SOMETIME AROUND 1914-1915 WITH A TIME OF COMPLETION IN 1916. ACCORDING TO CITY DIRECTORIES, IT WAS OCCUPIED BY THE CRESCENT LOAN OFFICE. SINCE THEN, IT HAS HAD MULTIPLE USES FROM PAWN SHOP TO SEVERAL RETAIL STORES AND SHOPS. MOST RECENTLY, IT WAS OCCUPIED BY THE CITY OF SAN ANTONIO AS A METRO HEALTH CLINIC.



HISTORIC PHOTO



SOUTH

EXISTING CONDITIONS OBSERVED AT THE SOUTH FACADE SHOW BRICK MASONRY IN GOOD CONDITION. HISTORIC WINDOWS ON UPPER LEVEL ARE BOARDED UP WITH NON HISTORIC INFILL BRICK BETWEEN OPENINGS.

THE LOWER FACADE CONSISTS OF NON- HISTORIC ELEMENTS INCLUDING :

- WOOD AND METAL CANOPY
- ALUMINUM STOREFRONT
- TILE
- THICK TEXTURED STUCCO.



WEST

THE WEST FACADE TREATMENT IS SIMILAR TO THE SOUTH. EVIDENCE OF A LARGER STOREFRONT OPENING CAN BE SEEN WITH A DIS-SIMILAR BRICK INFILL LEFT OF THE EXISTING STOREFRONT.

EXISTING WINDOW ARE WOOD AND APPEAR TO BE THE ORIGINAL DOUBLE HUNG TYPE ON LEVEL 2.

EXISTING CONDITIONS



EAST

THE EAST FACADE ADJOINS THE NEIGHBORING BUILDING WITH THE BRICK FACADE PAINTED GRAY.

ORIGINAL WINDOWS OPENINGS ON THE UPPER LEVEL HAVE BEEN INFILLED .



NORTH

OBSERVED FROM HISTORIC PHOTOS IS EVIDENCE OF A LOWER SMALLER BUILDING ONCE ATTACHED TO THE NORTH FACADE.

THE ORIGINAL WINDOW OPENING ON THE UPPER LEVEL HAVE BEEN INFILLED AND THE BRICK MASONRY PAINTED GRAY.

THE CURRENT USE OF THIS AREA IS FOR A SERVICE ENTRANCE WITH A SMALL MECHANICAL YARD AND PARKING

EXISTING CONDITIONS



LEVEL 1 INTERIOR

CURRENT SHELL SPACE WITH EXISTING LAY IN CEILING GRID. EXTERIOR WALLS ARE INFILLED WITH DRYWALL PARTITIONS



LEVEL 2 INTERIOR

OPEN CEILING WITH EXPOSED WOOD TRUSSES AND WOOD DECKING. THE CORRIDOR DOORWAYS WITH TRANSOMS ARE INTACT AND IN GOOD CONDITION.

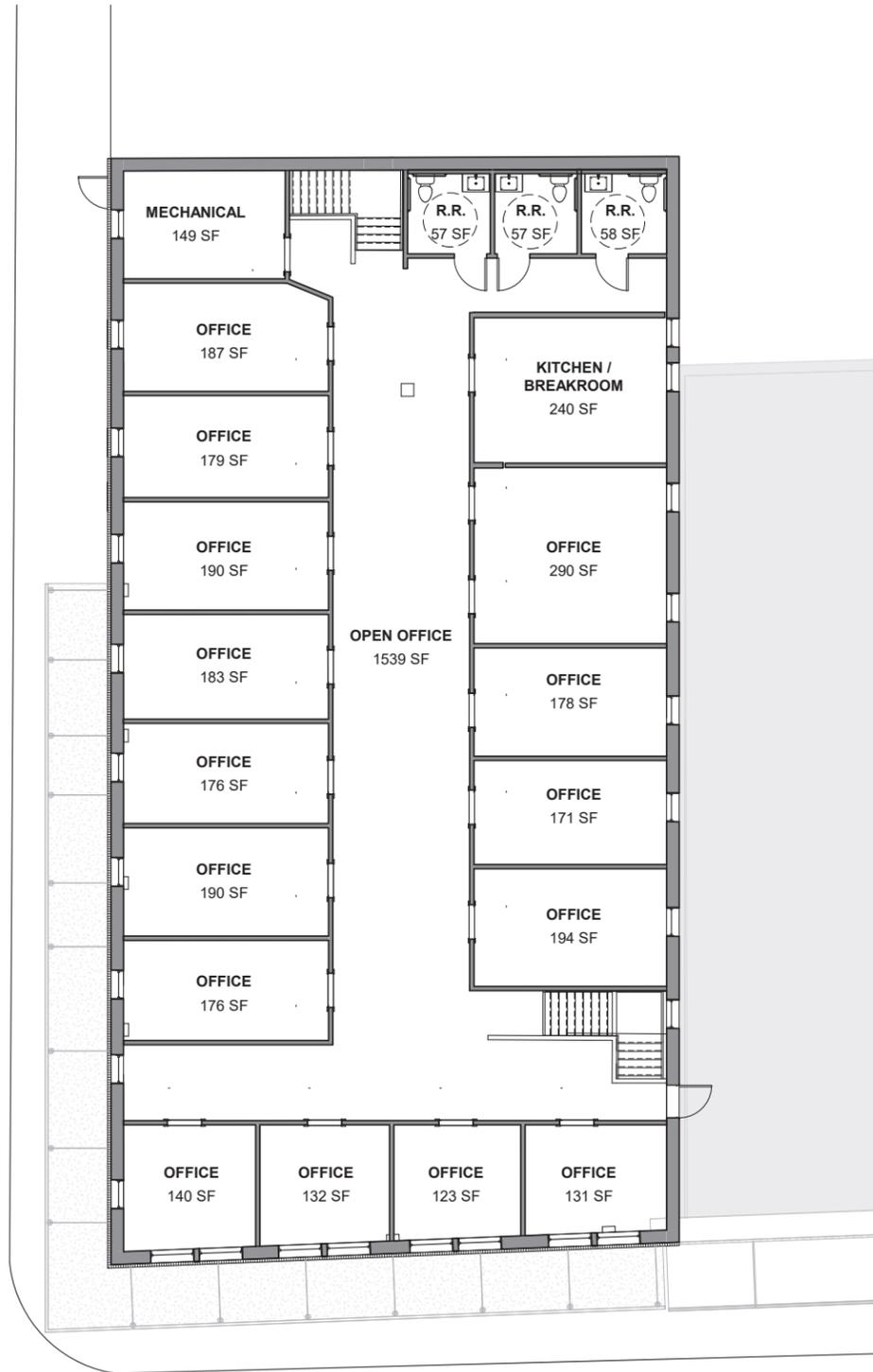
WOOD WINDOW AT THE EXTERIOR ARE RETAINED AND IN NEED OF REPAIR.

EXISTING CONDITIONS

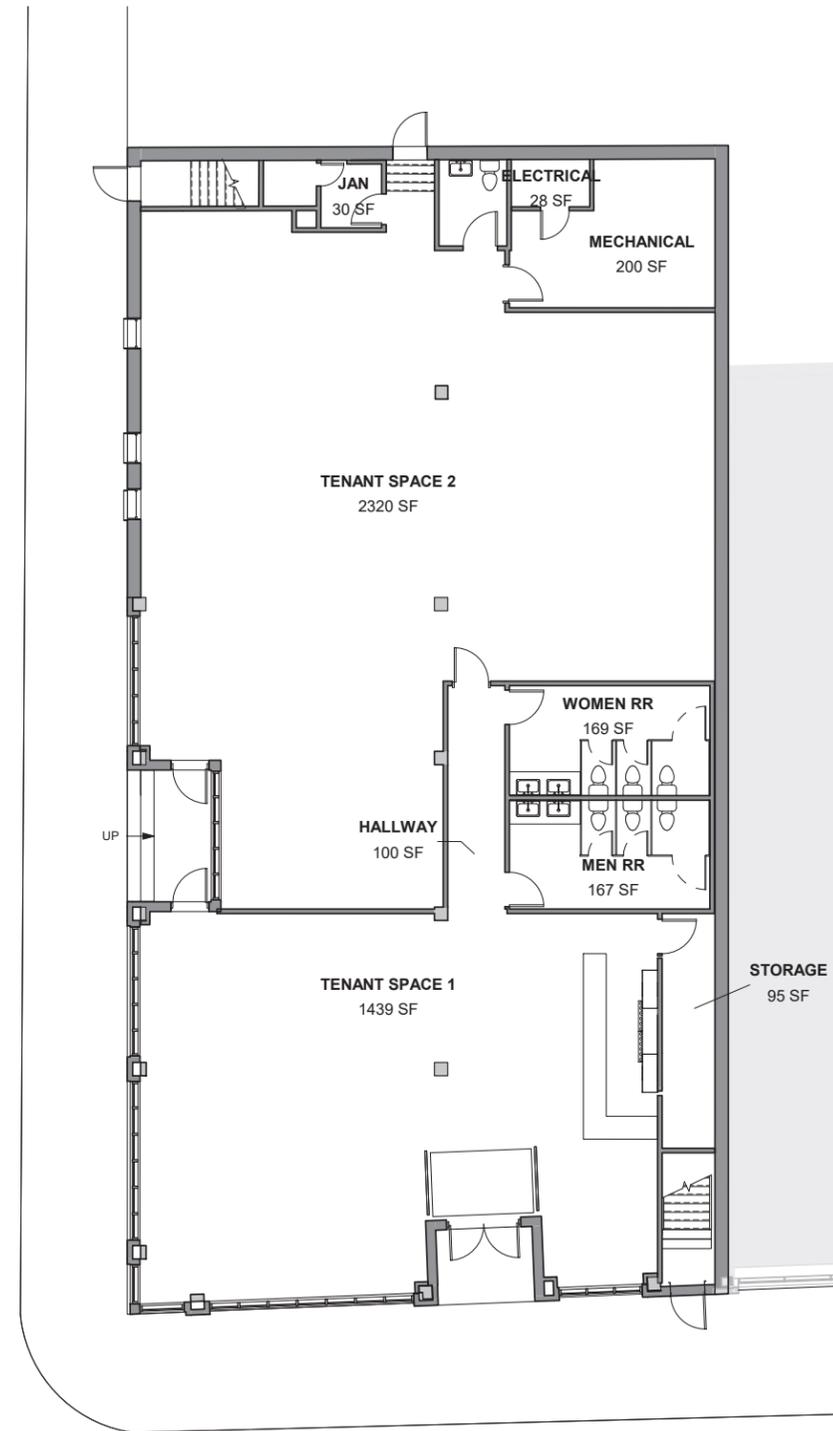
SITE PLAN



PROPOSED FLOOR PLANS



LEVEL 2



LEVEL 1

PROPOSED ELEVATIONS

- REPAIR / CLEAN EXISTING BRICK
- REFURBISHED EXISTING WOOD WINDOWS
- EXISTING TIE ROD ANCHOR WITH NEW TIE ROD
- NEW GLASS TRANSOM AND STUCCO FINISH SURROUND
- NEW METAL CANOPY
- NEW THERMALLY BROKEN ALUMINUM OPERABLE WINDOW SYSTEM
- NEW METAL PANEL SURROUND



SOUTH

- REPLACE EXISTING GUTTER AND DOWNSPOUTS
- ALUMINUM WINDOW WITH METAL SURROUND

- REPAIR / CLEAN EXISTING BRICK
- REFURBISHED EXISTING WOOD WINDOW
- EXISTING TIE ROD ANCHOR WITH NEW TIE ROD
- NEW GLASS TRANSOM AND STUCCO FINISH SURROUND
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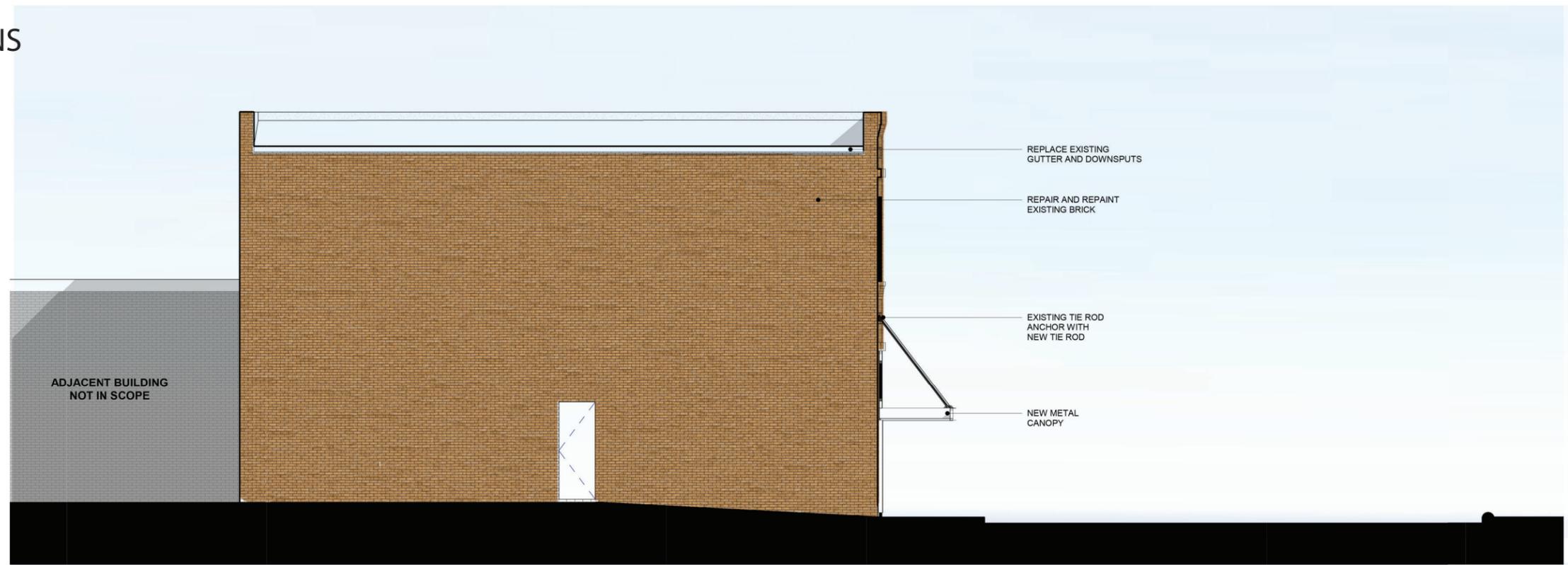


WEST



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PROPOSED ELEVATIONS

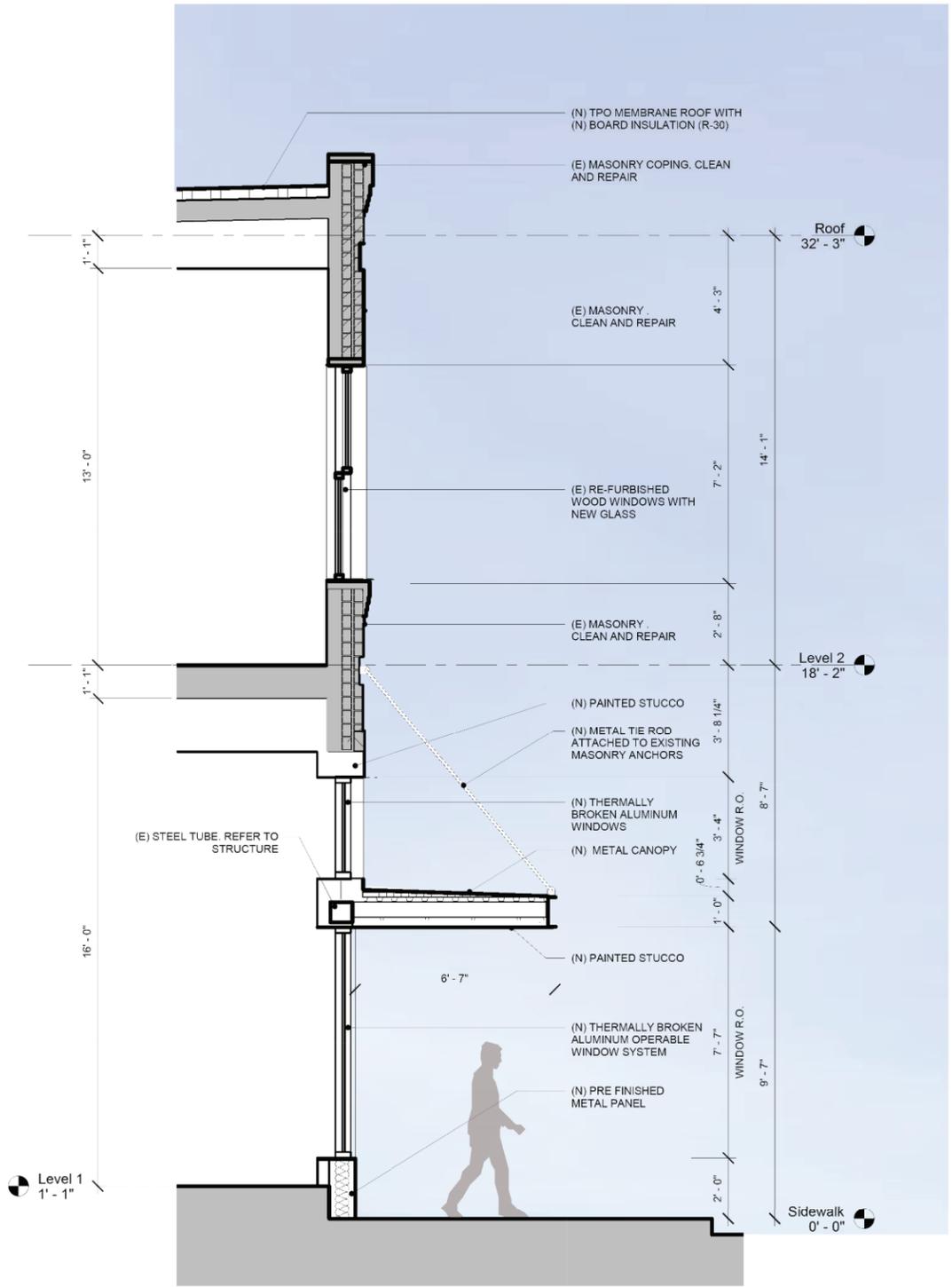


NORTH



EAST

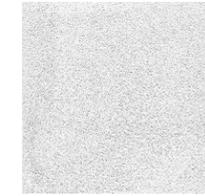
PROPOSED STREET SECTION



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MATERIALS



WHITE STUCCO
-CANOPY SOFFIT AND TRANSOM



METAL PANEL (GREY)
-BASE MATERIAL



ALUMINUM BI-FOLD
STOREFRONT



LIGHTING



LINEAR LED IN SOFFIT



MINI LED SPOT



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