320 MADISON ST GARAGE ADDITION

CODE ANALYSIS

BUILDING CODES:

2021 INTERNATIONAL RESIDENTIAL CODE AND LOCAL AMENDMENTS

- INTERNATIONAL FIRE CODE
- INTERNATIONAL PLUMBING CODE INTERNATIONAL MECHANICAL CODE
- NATIONAL ELECTRICAL CODE INTERNATIONAL ENERGY CONSERVATION CODE

INDEX OF DRAWINGS

- A1.1 SITE PLAN
 A1.2 ENVELOPE PLANS
 A2 FLOOR PLANS
 EXTERIOR ELEVATIONS TYPICAL WALL SECTIONS
- ROOF PLAN ELECTRICAL PLANS
- A5 STAIR SECTION & STAIR PLANS

SCOPE OF WORK

PROJECT WORK INCLUDES NEW DETACHED GARAGE TO BE BUILT ON SITE. 2X WOOD FRAMING ON CONCRETE SLAB ON GRADE FOUNDATION. CEMENT BOARD SIDING W/ SHINGLE ROOF TO

PROJECT

SITE LOCATION -

MATCH EXISTING HOME.

Square Foot Chart

TOTAL AREAS:

GARAGE ADDITION

FIRST FLOOR PLAN: SECOND FLOOR PLAN:

contractor shall provide temporary security

all work shall comply with all applicable local

Do not scale drawings, all dimensions indicated shall govern any larger scale details of lesser scale

9. site access and hours/days of construction shall

contractor shall be responsible for restoring to

contractor shall be responsible for coordinating with all necessary utility companies for providing

contractor shall be responsible for acquiring all permits, tests, approvals and acceptances required to

 geotechnical engineering report that is the basis for the structural concrete foundation design is available for reveiw by any interested parties. Contact the structural engineer for this project to obtain a copy of the report.

REV 2 1.6.2024 1. MOVE GARAGE ADDITION TO BE 5'-5" FROM BACK OF PROPERTY LINE ~~~~\\\ 21'-7 1/2" PROPERTY LINE WATER TO DRAIN AWAY FROM FOUNDATION A ----grammer on the second section to the second PORCH GRASS/TURF AREA SHADING DEVICE BETWEEN EXIST HOME -----EXIST. POOL TO REMAIN 5' BLDG SETBACK PLANTER/GARDEN AREA **FLAT WORK** PROPERTY LINE RELOCATE AC CONDENSER 8' TALL WOOD HORIZONTAL 8' TALL WOOD HORIZONTAL 18'-7 1/2" FENCE W/STEEL SUPPORTS TO THIS AREA FENCE W/STEEL SUPPORTS

NEW WORK SITE PLAN



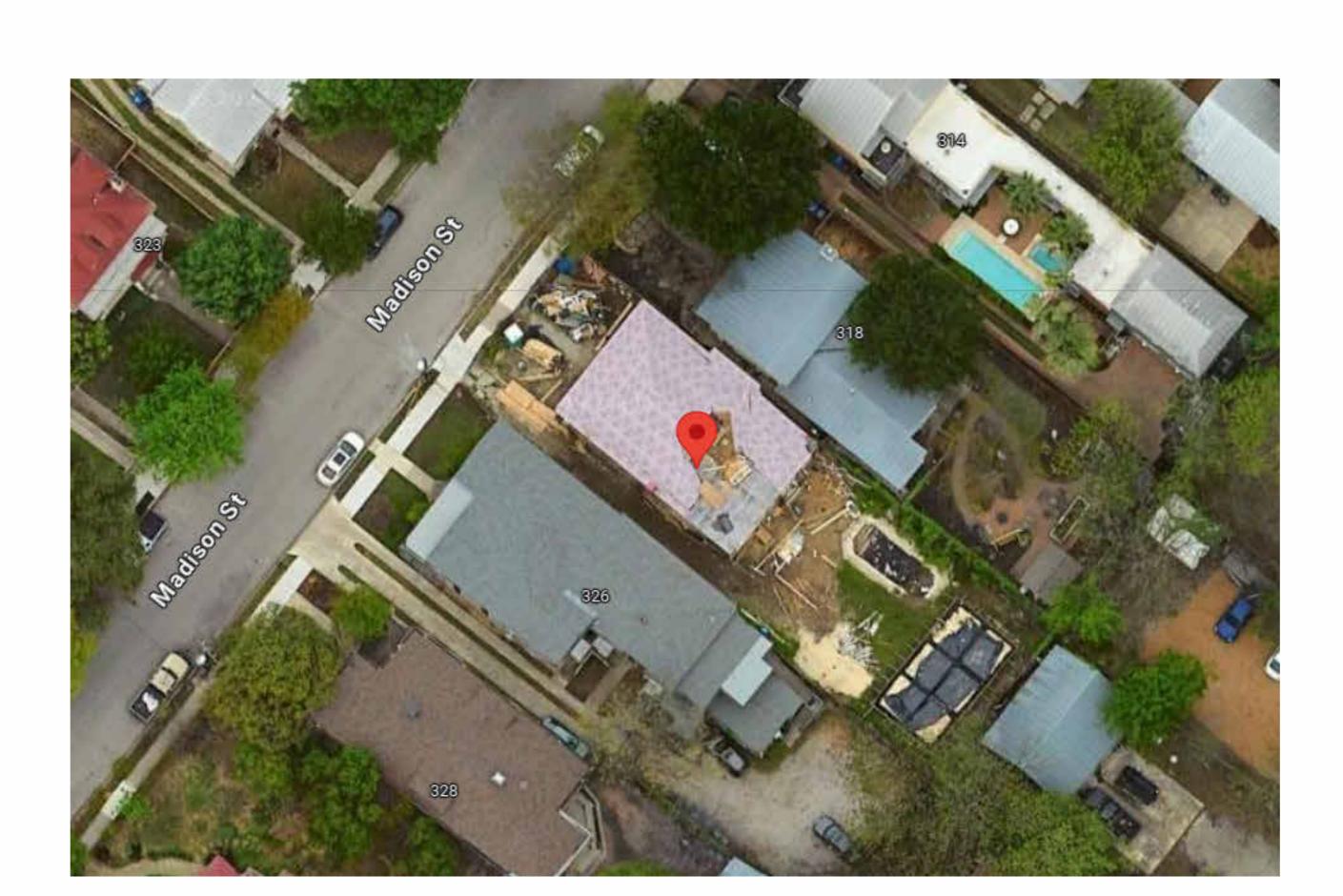
ARSENAL

LOCATION MAPS: 320 MADISON ST.

REV 2 1.6.2024

. MOVE GARAGE ADDITION TO BE

5'-5" FROM BACK OF PROPERTY LINE



SITE LOCATION MAP SCALE: NOT TO SCALE

320 MADISON ST.

RODRIGUEZ & DEVEL(

795 sq. ft 748 sq. ft. 40 sq. ft.

1,583 sq. ft.

GENERAL REQUIREMENTS

contractor shall verify all existing dimensions and conditions at the job site, any discrepancies and/or inconsistencies shall be brought to the attention of the BUILDER J STEWART CONSTRUCTION prior to the execution of the work.

any and all deviations and/or changes from the plans shall be approved by the BUILDER prior to

contractor shall verify locations of, and protect all existing utilities during all operations.

ordinances applicable to this project, contractor shall obtain and pay for all permits required in connection with the execution and completion of the project. contractor shall pay all taxes and fees required, contractor is responsible and liable for securing any and all inspections required.

provide any necessary preparation, blocking, substrata, etc. required to properly install and finish

fencing and any other necessary barriers around the entire area of operations. coordinate extent and location of fencing with owner

building codes and regulations.

be coordinated with the owner.

its original, or better condition any damage done to existing buildings, utilities, fences, pavement, curbs or

temporary utility services during construction.

complete construction of this project.

S204

SHEET NO.