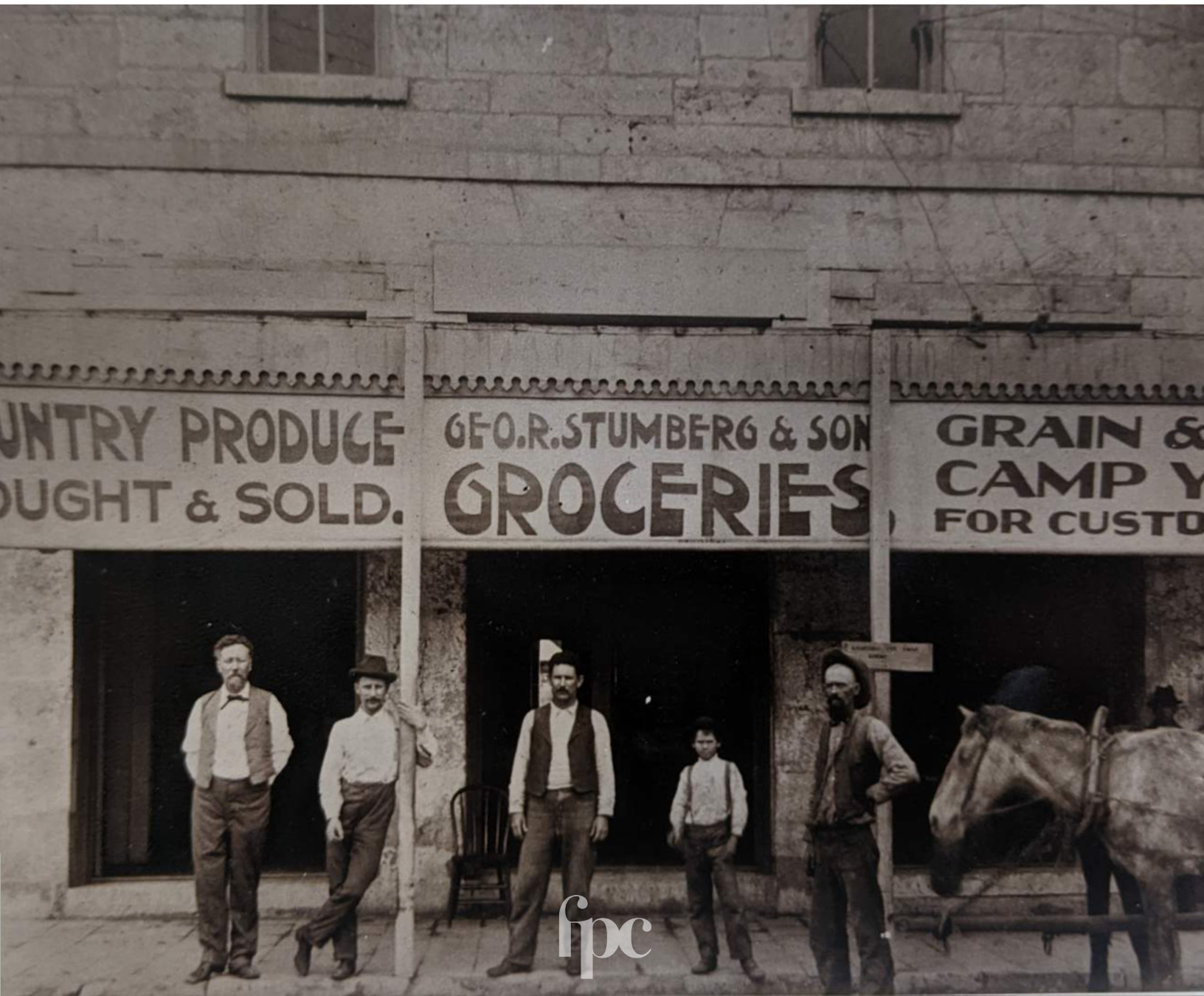


STUMBERG BLOCKS

212 S. Flores Street, San Antonio TX 78204
April 27, 2023





Ford, Powell & Carson, Inc.

Allison Chambers

Owner

Graystreet Partners

PROJECT DESCRIPTION



FORD POWELL CARSON

04/27/2023

HDRC Approval Application

212 S. Flores St – Stumberg Block

Office of Historic Preservation

1901 South Alamo

San Antonio, TX 78204

Project Description:

The Stumberg Block, established in 1870, is a collection of storefront buildings on the southeast corner of Nueva and South Flores Streets in downtown San Antonio, Texas. The Stumberg Block is designated as a City of San Antonio Historic Landmark and is located one block south of the boundary of the Main Plaza and Military Plaza Historic District. The buildings in this rehabilitation project are two of the four remaining buildings in the Stumberg Block including one- and two-story commercial buildings. These two connecting buildings originally operated as a general store, with a 2-acre camp yard located at the back of the store that provided space for 100 wagons. The buildings are in good condition and have had some minor alterations since their construction.

The one-story building located at 210-214 South Flores, built in c.1870, is a rectangular plan, commercial building with a flat roof and simply ornamented parapet. The main façade is a three-bay elevation and originally had exposed brick veneer, but was stuccoed in 1983. The wood storefront is asymmetrical, consisting of three entrances with display windows, and has a flat canopy. Entrances are double doors and two of them have transoms. The canopy lights were covered and the storefront bulkheads were replaced with glass blocks in 1983. Other features on the main façade include a metal belt course that runs above the canopy and four pilasters with stone capitals. The north elevation is an exposed irregular-coursed, ashlar limestone wall and there is an in-filled door opening. The rear façade consists of three wood and glass doors, flanked by windows on either side. The wood windows are four over four with segmental-arched brick lintels. The interior walls are made of limestone and are covered with plaster in some areas on the south wall. Four wood posts support the ceiling and wood joists are

exposed in many areas due to the previous removal of beadboard from the ceiling. Two doorways on the south wall connect this building to the two-story building at 216-218 South Flores Street.

The two-story limestone building, built in c.1870, is a rectangular plan, commercial building. The building has two wings and each one has a pitched roof. The southern wing was built first in c. 1870 as a one-story warehouse. In 1886, the second floor and northern wing were added. The main façade is of irregular-coursed, ashlar limestone units with a carved stone plaque at the center of the second floor that reads "GEO.R.STUMBERG ESTABLISHED 1870." The storefront on the main façade is asymmetrical and consists of two double doors with display windows, a single door at the south end, and transom windows with large masonry lintels above a flat canopy that runs the length of the storefront. The second floor on the main façade has four arched wood windows with curved stone lintels and projecting sills above a projecting belt course. The tall, narrow windows along with the projecting cornice with dentils and brackets give the building a simplified Italianate style. On the rear façade, each wing is divided into three bays with a door between two windows on the first floor and three windows on the second floor. At the first floor, wood windows are six over six and on the second floor, wood windows are four over four. The primary wall material on the rear and side elevations is also limestone.

The structure is a load bearing masonry wall perimeter with shallow footings. There is no basement known to exist at either structure. Columns exist on the second floor of the two story building directly over the loadbearing stone wall. The first floor is currently slab on grade. The floors of each space currently have different elevations with steep sloped elevation changes. The second floor structure is original wood framing as well as the existing wood roof structure and tongue and groove decking.

The owner is currently pursuing Historic Tax Credits and therefore the project scope accounts for the most comprehensive renovations that will be required by the Texas Historical Commission (THC). The scope area has already been approved for Part A of the Tax Credit process. Ford Powell & Carson (FPC) will adhere to THC and Office of Historic Preservation (OHP) recommendations in order to qualify for as many tax credits as possible for the project.

Structure:

It is proposed for the load of the new mechanical equipment and to update the loads to today's standards that the interior wood columns, beams, and trusses all be replaced with steel framing at the single store building. This will allow for higher live and dead loads on the roof. The columns will be placed in exact locations as the original and clad in wood to maintain that character. All salvageable

wood from the removal of the columns and beams will be claimed and reused in the project where appropriate and as needed.

It is proposed that the existing wood framing for the second-floor structure remain and be repaired and infilled as needed to meet the project's needs. The existing wood truss structure will remain, with an all new wood decking that is plumbed and shored up to today's standards.

Vertical Circulation:

The stairs in the north bay of the two-story building are not original and will be removed and replaced with an all steel exterior egress stair on the east elevation. The older interior wood stair on the south wall does not meet today's building code standards and clearances so it will be replaced with a steel and wood interior stair located along the central stone wall. A new elevator will be inserted into the north bay of the two-story building and should not require a penthouse. It should not be visible from the exterior of the building.

Exterior:

One-Story:

The West façade was originally red brick that has been stucco over. It is proposed to remove the existing stucco and repair the existing brick to remain. The metal belt-course will remain and be restored. It appears from historic photos that this façade has limestone coping stones. These stones will remain and be restored in-place. The brick façade will likely need to be sealed once the stucco is removed. Proposed "Prosoco H40 Water Repellent" equal or better. The North and East façade are exposed limestone walls. The East elevation contains the similar stucco at the base of the wall. This is also proposed to be removed and allow the natural limestone walls to breathe. The three facades will all be cleaned, re-pointed and repaired as needed with in-kind material.

The existing storefront on the West elevation is a non-historic aluminum system on a glass block bulkhead. It is proposed to remove both systems, including the associated three sets of wood double doors. These will be replaced with a wood storefront system that is clad in aluminum on the exterior. A "Pella Clad Wood Direct-Set" system or better/equal. The bulkheads will be painted wood that better fit the period of the building. The doors will be replaced with wood and glass door systems with associated transoms. The original transom windows have been infilled with stucco panels. These panels will be removed and if in fair condition, all wood transom windows will be restored. If they no longer exist or are damaged beyond repair, then they will be replaced with a similar system as the

proposed storefront directly below them. There was an original opening on the north elevation. This will be re-introduced as a wood storefront system to match the West elevation. The East elevation contains six double hung wood windows, all in poor condition and faced with iron security bars, built into a wood header beam. The security bars will be removed and refinished. The windows are to be removed and replaced with a double hung wood window system; “Pelle Reserve -Traditional, Wood Double-Hung Window” system or better/equal. The security bars will then be reinstalled but made removable for maintenance efforts on the window replacements. The door fenestrations on the east elevation are inconsistent with the masonry and window patterns. The doors are not original and will be removed. The fenestrations will be reworked to provide a pattern and alignment of what was most likely there.

The metal canopy system is unsound and will be replaced in its exact location, similar depth and structure/profile. The existing gutter and downspout system on the east elevation will be removed and replaced with a prefinished box gutter and round downspouts. The existing built-up roofing will be removed and replaced with a modified bitumen roofing system. The proposed roofing slope and elevation shall not change to avoid parapet profile modifications. Flashing systems shall terminate at the top of the coping stone and shall not be visible from the street view. It is proposed that the roofing mechanical equipment be placed on the southeast corner of the single-story building in order to avoid visibility from the main Flores street view. The equipment will be visible from the east parking area, so a modest perforated steel mechanical screen shall be installed as a visible shield and fall protection.

Two-Story:

The South, East and West facades of the two-story building will remain and will be completely cleaned with non-acidic masonry detergent and low-pressure spray. Each façade will also be repointed as needed with compatible mortar. A few limestone window sills have degraded beyond repair on the east façade and will need to be replaced with in-kind material. The south façade originally had two windows on the second floor, but due to building code, these will not be reopened. However, the existing brick masonry infill will be replaced with a honed cut limestone, recessed a min of 1.5” to create a shadow pocket. Any proposed limestone replacement will be done with in-kind material.

The existing west façade contains non-historic aluminum storefront systems and wood bulkheads. These will be removed and replaced with painted wood bulkheads that better fit the period of the building. The aluminum storefronts will be replaced with a wood storefront system that is clad in aluminum on the exterior. A “Pella Clad Wood Direct-Set” system or better/equal. The existing wood transoms on the west façade are to remain and be restored, following the Secretary of Interior

Standards. The double doors on the west elevation are not original and will be replaced with wood and glass doors to match the character and period of the building. The non original door on the east elevation will be replaced with a wood and glass door. The non-original existing wood windows on the west and east elevation are in poor condition and will be replaced with a double hung wood window system; “Pelle Reserve -Traditional, Wood Double-Hung Window” system or better/equal. The existing wood brick mold is thought to be original and shall remain and be restored at all window locations. Where it does not exist or is damaged beyond repair, it will be replaced to match the original.

The metal canopy system is unsound and will be replaced with exact location, similar depth and structure/profile. The existing metal cornice, will remain and be cleaned and refinished to its original color. The existing metal conductor heads are to remain and be restored, while the round downspouts will be replaced in-kind. The existing asphalt roofing will be removed and replaced with a new standing seam metal roof system. The proposed roofing elements shall not alter the existing roofing profile. Flashing systems shall terminate at the top of the coping stone and shall not be visible from the street view.

New construction Elements:

The buildings are to have all new systems, including electrical, lighting, mechanical, and plumbing. The building will also require a new fire alarm and sprinkler system. There is presently no sprinkler system in the building.

End of Project Description

CURRENT PHOTOGRAPHS



Stumberg Blocks: 212 S. Flores Street
Individual Landmark
TIRZ, Houston Street
Zoning, D





Image 1 – Stumberg Blocks Streetscape, Camera Facing Southeast, 12/2021



Image 2 – Stumberg Blocks Streetscape, Camera Facing Northeast, 12/2021



RESTORE HISTORIC
FACEBRICK

TRANSOMS TO BE
RESTORED

NEW WOOD BULKHEADS TO
REPLACE GLASS BLOCK

Image 3 – Building at 210-214 S Flores, Main Facade. Camera Facing Southeast. 12/2021



Image 4 – Building at 216-218 S Flores, Main facade. Camera Facing Southeast. 12/2021



EXISTING WOOD BRICK
MOLDING TO BE RESTORED

Image 5 – Building at 216-218 S Flores, Main facade. Camera Facing Northeast. 12/2021



Image 6 – Building at 216-218 S Flores, Storefront. Camera Facing South. 12/2021



Image 7 – Building at 210-214 S Flores, Storefront. Camera Facing Northeast. 12/2021



Image 8 – Building at 210-214 S Flores, Storefront. Camera Facing Northeast. 12/2021



Image 9 – Building at 210-214 S Flores, Storefront. Camera Facing South. 12/2021



Image 10 – Building at 210-214 S Flores, North Elevation. Camera Facing South. 12/2021



Image 11 – Building at 210-214 S Flores, North Elevation. Camera Facing Southwest. 12/2021

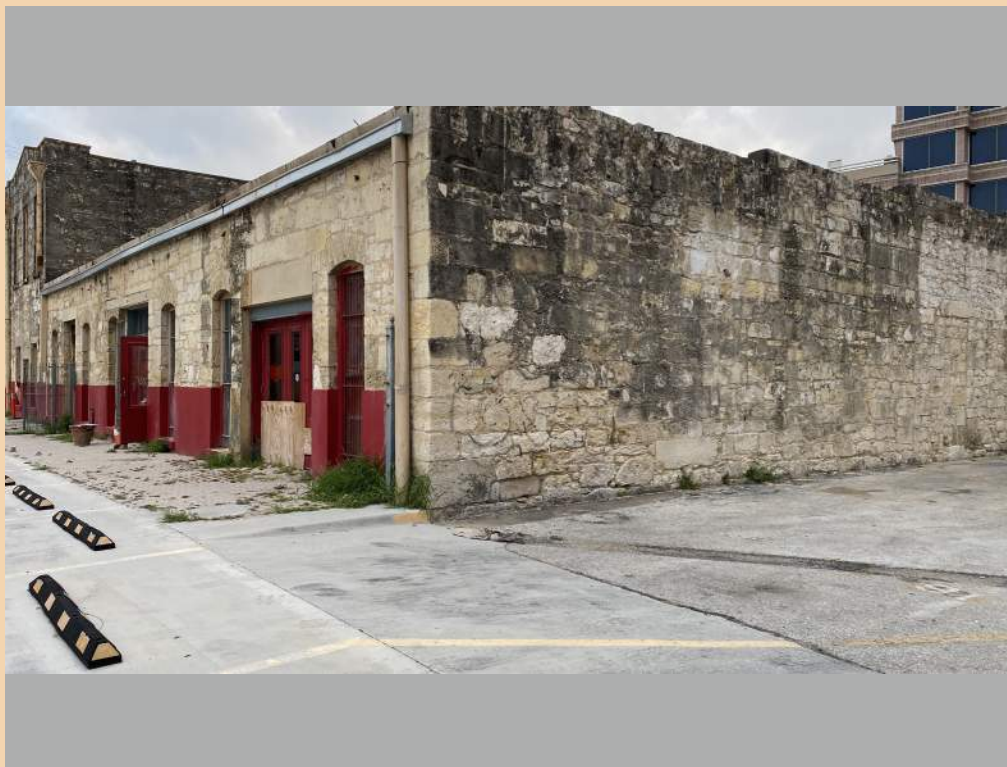


Image 12 – Building at 210-214 S Flores, North & East Elevations. Camera Facing Southwest. 12/2021



Image 13 – Building at 210-214 S Flores, East Elevation. Camera Facing Northwest. 12/2021

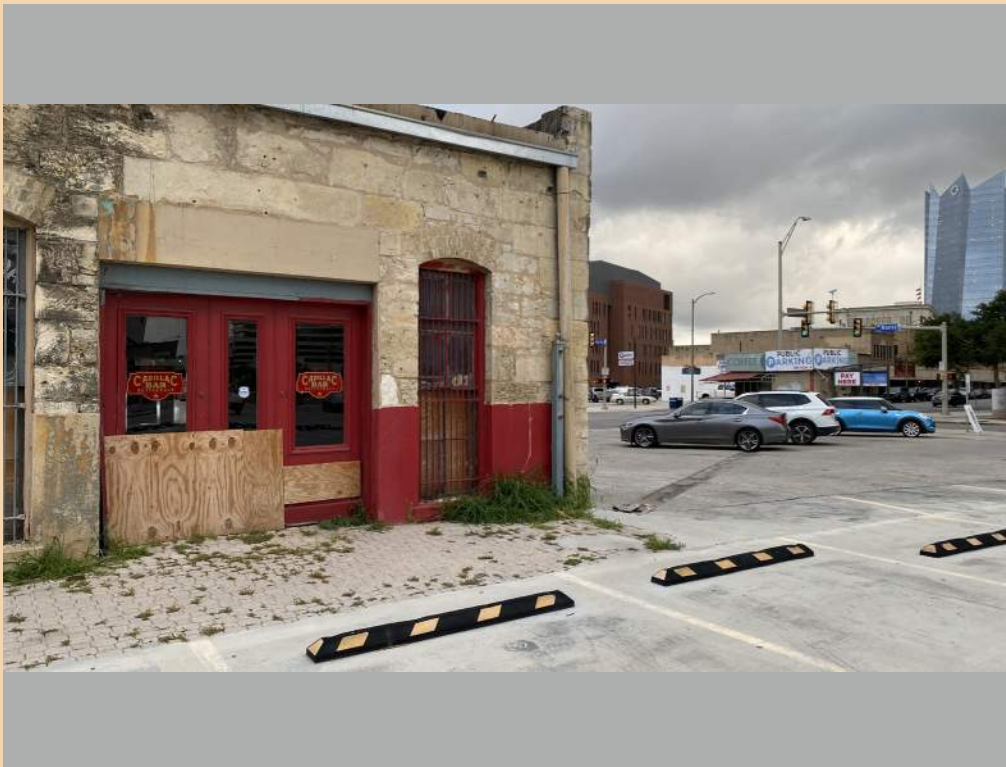


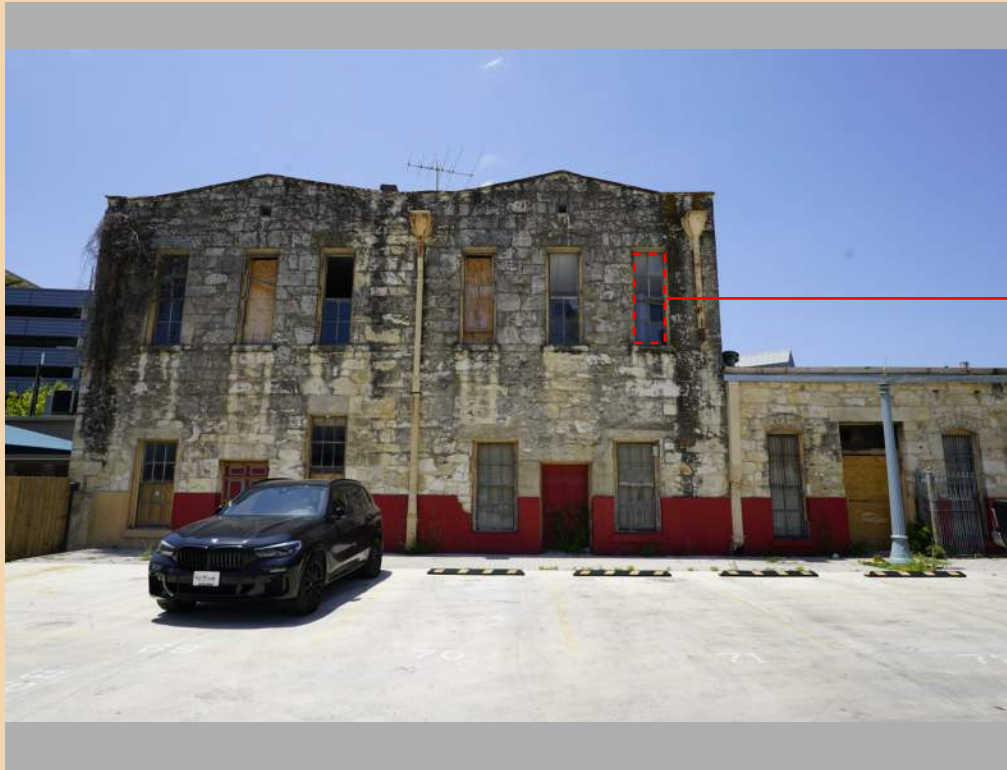
Image 14 – Building at 210-214 S Flores, East Elevation. Camera Facing Northwest. 12/2021



Image 15 – Building at 210-214 S Flores, East Elevation. Camera Facing Northwest. 12/2021



Image 16 – Building at 210-214 S Flores, East Elevation. Camera Facing North. 12/2021



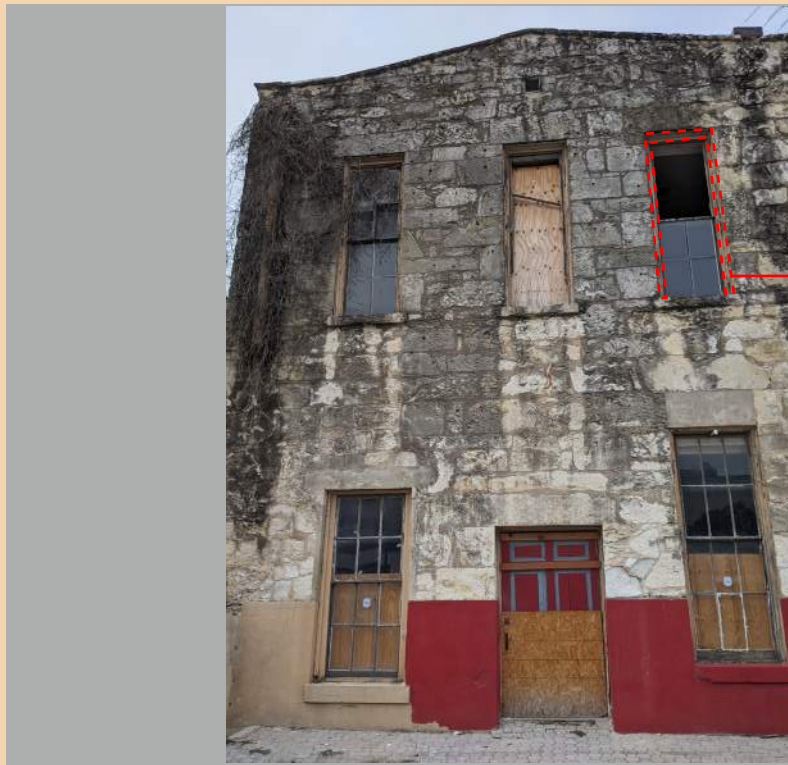
REPLACE WITH DOUBLE
HUNG WOOD WINDOWS,
MATCHING 4 OVER 4

Image 17 – Building at 216-218 S Flores, East Elevation. Camera Facing Northwest. 12/2021



REMOVE NON-HISTORIC
STUCCO COATING

Image 18 – Building at 216-218 S Flores, East Elevation. Camera Facing Northwest. 12/2021



EXISTING WOOD BRICK
MOLDING TO BE RESTORED

Image 19 – Building at 216-218 S Flores, East Elevation. Camera Facing Northwest. 12/2021



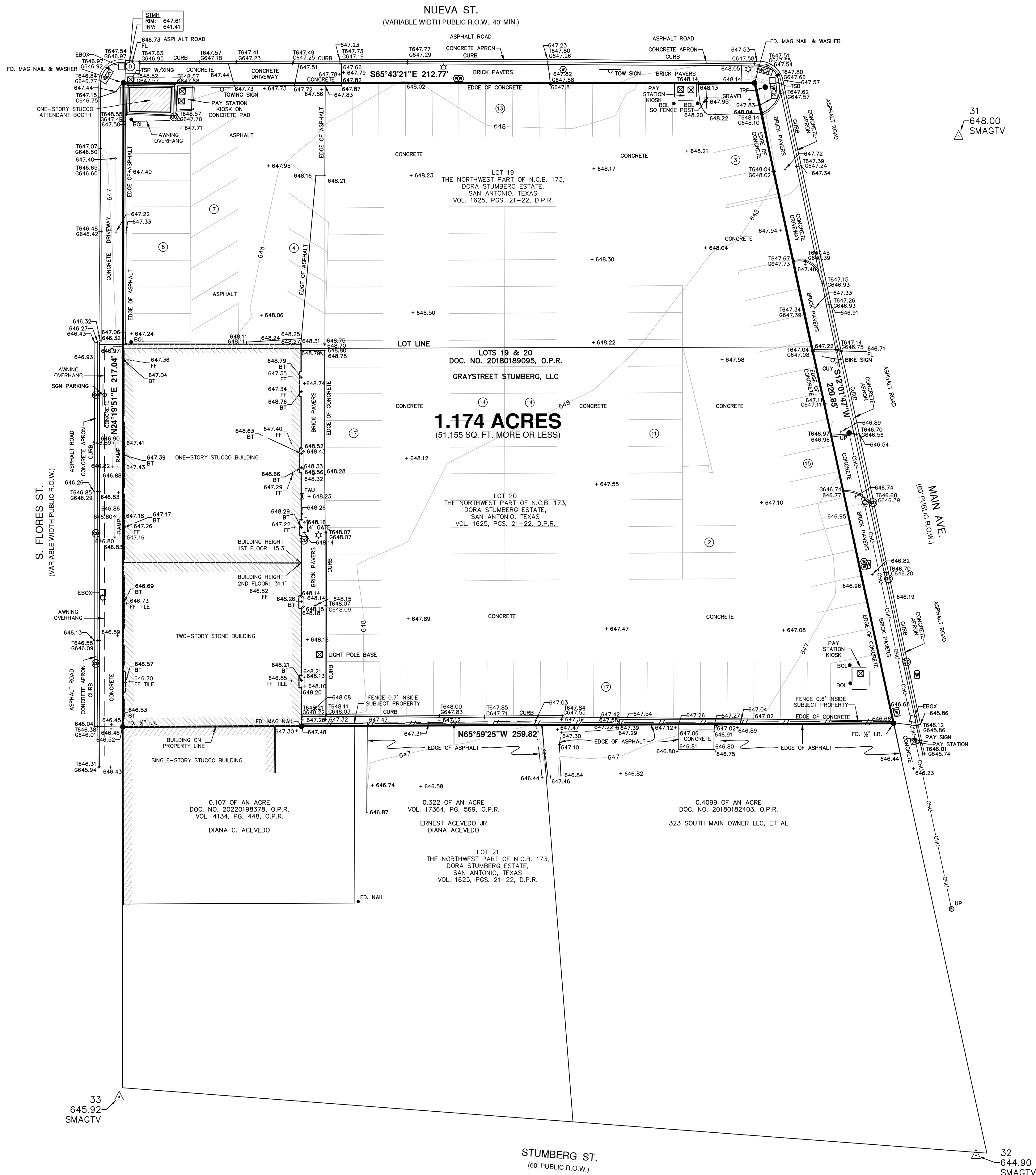
Image 20 – Building at 216-218 S Flores, North Elevation. Camera Facing Southwest. 12/2021

PLANS

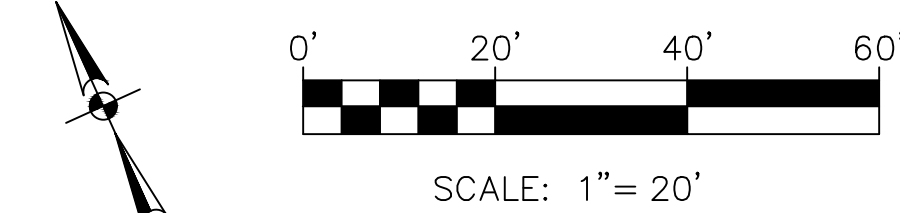
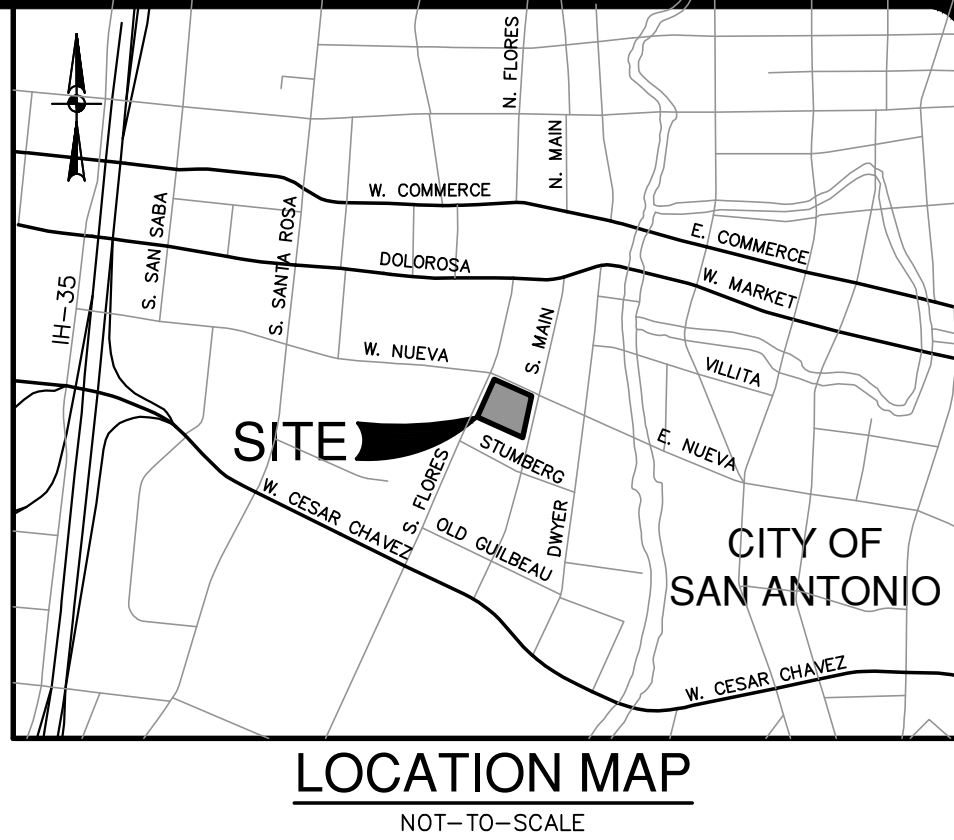
NOTES:

- 1) COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD 83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE, DISPLAYED IN SURFACE VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK USING A COMBINED SCALE FACTOR OF 1.00017.
- 2) THE ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 (GEOID 03).

REFERENCE: ---



HORIZONTAL AND VERTICAL CONTROL POINTS				
Point #	Northing	Easting	Elevation	Full Description
30	13,703,963.94	2,129,581.60	647.48	SET MAG NAIL (TRAV)
31	13,703,757.95	2,129,877.14	648.00	SET MAG NAIL (TRAV)
32	13,703,442.46	2,129,741.26	644.90	SET MAG NAIL (TRAV)
33	13,703,579.16	2,129,486.04	645.92	SET MAG NAIL (TRAV)



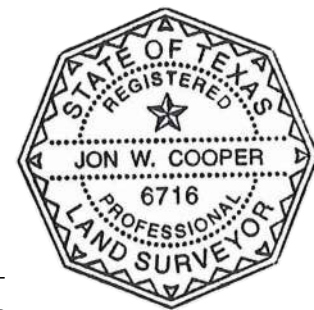
DEED/PLAT REFERENCE
D.P.R. DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS
O.P.R. OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS

LEGEND		PARKING TABULATION:	
FD.	FOUND	STANDARD:	125
I.R.	1/2" IRON ROD	COMPACT:	00
(PD)	PAPE-DAWSON CAP	HANDICAP:	00
FF	FINISHED FLOOR	TOTAL	125
BT	BUILDING THRESHOLD		
T000.00	TOP OF CURB		
G000.00	GUTTER		

SYMBOL LEGEND	
⊙	BOLLARD
⊖	CURB INLET
⊕	DRAIN METAL PLATE
⊗	SANITARY SEWER CLEANOUT
⊠	EBOX
+	GUY
⊙	GUY ANCHOR
⊙	LAMP POST
⊙	PARKING SPACES
⊙	ADVERTISING/ROAD/UTILITY SIGN WITH DESCRIPTION
⊙	STORM DRAIN MANHOLE
⊙	TRP
⊙	TSB
⊙	UTILITY POLE
⊙	WATER METER
⊙	WATER VALVE
⊙	SET 1/2" I.R.(PD)
⊙	FOUND

DATE OF PLAT OR MAP: MARCH 16, 2023

JON W. COOPER
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6716
JONCOOPER@PAPE-DAWSON.COM

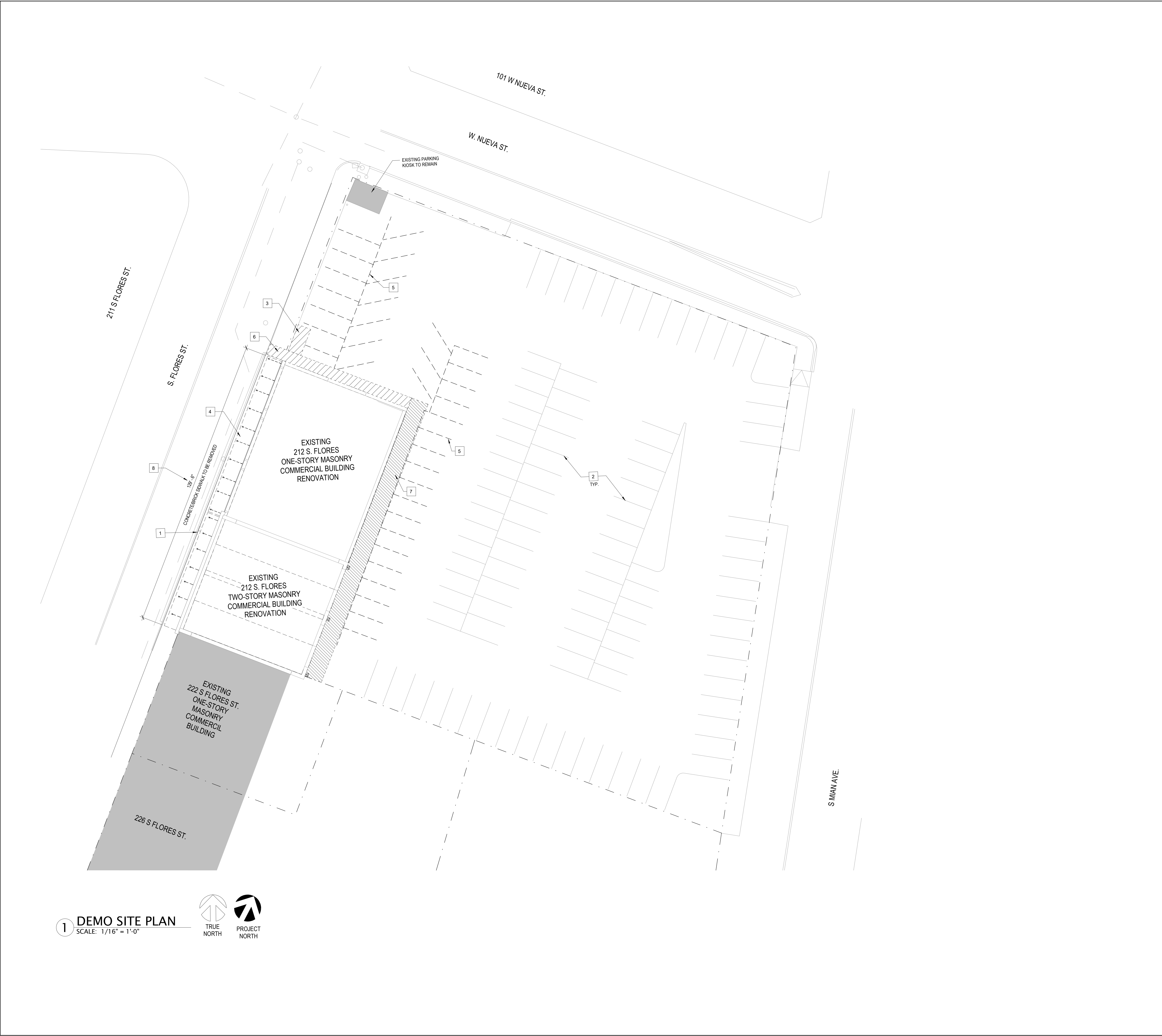


TOPOGRAPHIC SURVEY

LOTS 19 AND 20, THE NORTHWEST PART OF N.C.B. 173,
DORA STUMBERG ESTATE, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

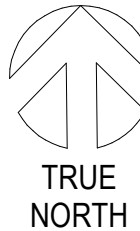
JOB NO.	13021-00
DATE	MARCH 2023
CHECKED	JWC
DRAWN	ERG
CIVIL JOB NO.	---
REFERENCE:	---
SHEET	1 OF 1

PROJECT NAME: 212 S. FLORES



1 DEMO SITE PLAN

SCALE: 1/16" = 1'-0"



GENERAL DEMOLITION NOTES


- A. REFER TO SHEET GD.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.
- B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
- C. AT NO TIME SHALL THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS CALLED OUT TO REMAIN DURING ALL CONSTRUCTION OPERATIONS.
- D. SPECIAL ATTENTION IS TO BE PAID BY THE CONTRACTOR AND SUBCONTRACTORS FOR THE SAFETY AND PRESERVATION OF ANY HISTORIC ARCHITECTURAL ITEMS POSSIBLY MISSING OR CURRENTLY ENTOMBED BY ANY NON-HISTORIC MATERIALS. ANY MATERIALS, ARCHITECTURAL ELEMENTS, OR HARDWARE BEING REMOVED FROM THE STRUCTURE DURING DEMOLITION, AS WELL AS DURING RESTORATION PROCESS, SHALL BE ASSESSED FOR THEIR VALUE, PROTECTED, AND POSSIBLY BE USED FOR REUSE. NOTIFY ARCHITECT FOR ANY SUCH OCCURRENCES.
- E. ALL ELECTRICAL CONDUITS, PANEL BOXES, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL BE REMAIN, AND PROTECTED DURING CONSTRUCTION.
- F. ALL HVAC RELATED EQUIPMENT, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL REMAIN AND P ROTECTED DURING CONSTRUCTION.
- G. PARTITIONS NOTED TO BE REMOVED BY NOTES OR PLAN LEGEND SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING ANY BRACING OR ASSOCIATED FRAMING TO STRUCTURE ABOVE.
- H. FOR ALL DEMOREMOVAL WORK, EXERCISE CAUTION TO PREVENT DAMAGE TO EXISTING ADJACENT FINISHES AND MATERIALS THAT ARE DESIGNATED TO REMAIN.
- J. DEMOLITION OPERATIONS MAY REVEAL ARCHITECTURAL, STRUCTURAL OR SUBGRADE CONDITIONS WHICH WERE PREVIOUSLY UNKNOWN. UNFORESEEN HISTORIC MATERIAL, DETAILS OR FEATURES MAY ALSO SURFACE DURING DEMOLITION OPERATIONS. STOP ALL WORK IN THIS AREA, PROTECT THE HISTORIC MATERIAL AND NOTIFY ARCHITECT FOR FURTHER INSTRUCTIONS.
- K. ALL EXTERIOR DEMOLITION OPERATIONS ARE DESCRIBED ON THE SITE PLAN SHEET AND ON THE EXTERIOR DEMOLITION ELEVATION SHEETS.
- L. ANY DAMAGES TO ITEMS DESIGNATED AS EXISTING TO REMAIN DONE BY THE CONTRACTOR OR ANY OF THEIR SUBCONTRACTORS, MUST BE REPAIRED OR RESTORED BY RESPECTS TO RETURN THE ITEM TO ITS CONDITION PRIOR TO THE START OF THE PROJECT. THIS WILL BE DONE AT NO ADDITIONAL CHARGES TO THE OWNER.
- M. ALL WINDOWS ARE TO BE REMAIN. REFER TO EXTERIOR ELEVATIONS FOR MORE INFORMATION ON PROPOSED WORK. TAKE CARE NOT TO DAMAGE ANY REMAINING HISTORIC MATERIAL AT OPENINGS.
- N. ALL DUCTING AND MECHANICAL EQUIPMENT ABOVE CEILING AND IN STRUCTURAL PLENUM SPACE IS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- P. NO KNOWN EVIDENCE OF HAZARDOUS MATERIAL IS PRESENT. OWNER IS TO ABATE ENTIRE PROPERTY PRIOR TO ANY DEMOLITION.
- Q. ALL PLUMBING FIXTURES AND PIPING ARE TO REMAIN IN TACT. ALL ELECTRICAL SYSTEMS ARE TO REMAIN IN TACT. AL MECHANICAL SYSTEMS ARE TO REMAIN IN TACT AND ARE OUT OF SCOPE.

KEYNOTES

1. EXISTING STREET LAMP POST TO REMAIN
2. EXISTING PARKING STRIPING TO REMAIN
3. AREA OF ASPHALT TO BE REMOVED AND PREPPED FOR NEW BIKE RACK CONCRETE SLAB
4. REMOVE EXISTING CANOPY, REFER TO DEMO ROOF PLAN
5. REMOVE EXISTING PARKING STRIPING
6. AREA OF ASPHALT TO BE REMOVED AND PREPPED FOR NEW CONCRETE WALKWAY
7. AREA OF EXISTING PAVERS AND CONCRETE TO BE REMOVED AND PREPPED FOR NEW CONCRETE WALKWAY
8. AREA OF EXISTING CONCRETE SIDEWALK TO BE REMOVED IN PREPARATION OF NEW C.I.P. ACCESSIBLE SIDEWALK.

DEMOLITION SITE PLAN LEGEND

- EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING BUILDING OR VERTICAL STRUCTURE TO REMAIN AND NOT IN SCOPE
- EXISTING NON-HISTORICAL MATERIAL OR ELEMENT TO BE REMOVED. REFER TO DEMOLITION NOTES
- EXISTING PROPERTY LINES
- EXISTING ASPHALT TO BE REMOVED
- EXISTING PAVERS TO BE REMOVED



FORD POWELL CARSON

420 BROADWAY, SUITE 100
SAN ANTONIO TX 78026

210.226.1246
www.fpcarch.com

GRAY STREET PARTNERS

STUMBERG BLOCK

RESTAURANT AND FINISH OUT

212 S. FLORES ST. SAN ANTONIO, TX. 78204

Architect: Adam Reed

This document dated 02/06/2023 is incomplete. Do not use for regulatory approval, permit, or construction

Revisions		
Mark	Date	Description

Drawn By:
Author:

Approved By:
Approver:

Project Number:
100702

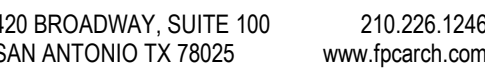
Project Issue Date:
02/06/2023

DEMOLITION SITE PLAN

CONSTRUCTION DOCUMENTS

SHEET

D001








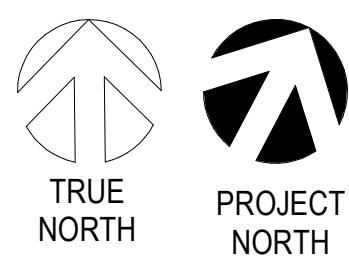
GRAY SI PARTNERS

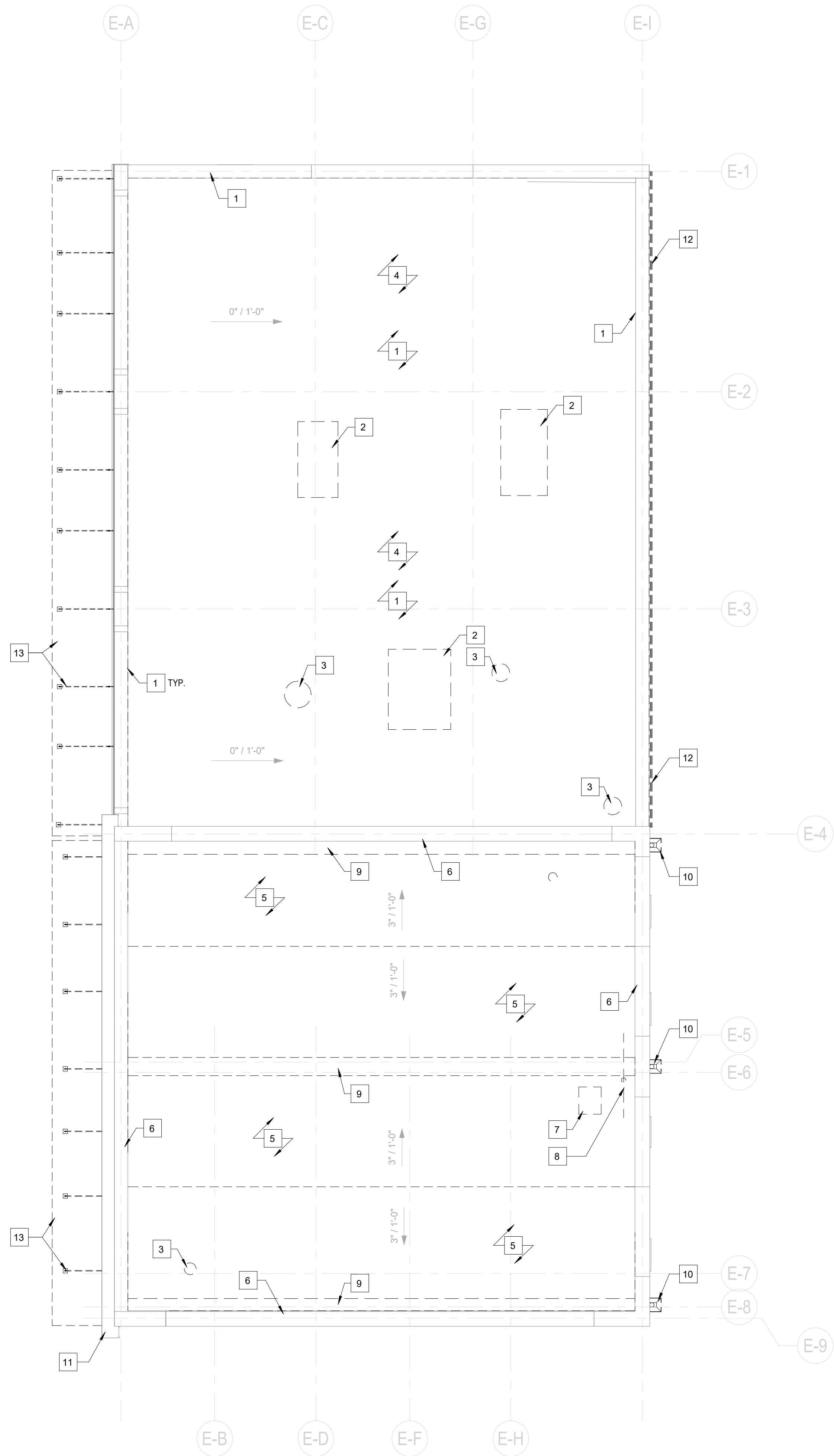
This document dated 02/06/2023 is incomplete. Do not use for regulatory approval, permit, or construction

Mark	Date	Description
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SHEET

	—	EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION
	—	EXISTING BUILDING OR VERTICAL STRUCTURE TO REMAIN AND NOT IN SCOPE
	—	PROPOSED NEW SITE ELEMENT OR FLAT WORK
	—	EXISTING PROPERTY LINES
	—	NEW CONCRETE WALKWAY OR SITE WORK





1 ROOF PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- A. REFER TO SHEET GD.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.
- B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
- C. AT NO TIME SHALL THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS CALLED OUT TO REMAIN DURING ALL CONSTRUCTION OPERATIONS.
- D. SPECIAL ATTENTION IS TO BE PAID BY THE CONTRACTOR AND SUBCONTRACTORS FOR THE SAFETY AND PRESERVATION OF ANY HISTORIC ARCHITECTURAL ITEMS POSSIBLY MISSING OR CURRENTLY ENTOMBED BY ANY NON-HISTORIC MATERIALS. ANY MATERIALS, ARCHITECTURAL ELEMENTS, OR HARDWARE BEING REMOVED FROM THE STRUCTURE DURING DEMOLITION, AS WELL AS DURING RESTORATION PROCESS, SHALL BE ASSESSED FOR THEIR VALUE, PROTECTED, AND POSSIBLY BE USED FOR REUSE. NOTIFY ARCHITECT FOR ANY SUCH OCCURRENCES.
- E. ALL ELECTRICAL CONDUITS, PANEL BOXES, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL BE REMAIN, AND PROTECTED DURING CONSTRUCTION.
- F. ALL HVAC RELATED EQUIPMENT, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL REMAIN AND P ROTECTED DURING CONSTRUCTION.
- G. PARTITIONS NOTED TO BE REMOVED BY NOTES OR PLAN LEGEND SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING ANY BRACING OR ASSOCIATED FRAMING TO STRUCTURE ABOVE.
- H. FOR ALL DEMOREMOVAL WORK, EXERCISE CAUTION TO PREVENT DAMAGE TO EXISTING ADJACENT FINISHES AND MATERIALS THAT ARE DESIGNATED TO REMAIN.
- J. DEMOLITION OPERATIONS MAY REVEAL ARCHITECTURAL, STRUCTURAL OR SUBGRADE CONDITIONS WHICH WERE PREVIOUSLY UNKNOWN. UNFORESEEN HISTORIC MATERIAL, DETAILS OR FEATURES MAY ALSO SURFACE DURING DEMOLITION OPERATIONS. STOP ALL WORK IN THIS AREA, PROTECT THE HISTORIC MATERIAL AND NOTIFY ARCHITECT FOR FURTHER INSTRUCTIONS.
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- M. ALL WINDOWS ARE TO BE REMAIN. REFER TO EXTERIOR ELEVATIONS FOR MORE INFORMATION ON PROPOSED WORK. TAKE CARE NOT TO DAMAGE ANY REMAINING HISTORIC MATERIAL AT OPENINGS.
- N. ALL DUCTING AND MECHANICAL EQUIPMENT ABOVE CEILING AND IN STRUCTURAL PLENUM SPACE IS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- P. NO KNOWN EVIDENCE OF HAZARDOUS MATERIAL IS PRESENT. OWNER IS TO ABATE ENTIRE PROPERTY PRIOR TO ANY DEMOLITION.
- Q. ALL PLUMBING FIXTURES AND PIPING ARE TO REMAIN IN TACT. ALL ELECTRICAL SYSTEMS ARE TO REMAIN IN TACT. AL MECHANICAL SYSTEMS ARE TO REMAIN IN TACT AND ARE OUT OF SCOPE.

KEYNOTES

1. REMOVE EXISTING BUILT UP ROOFING SYSTEM AND ALL ASSOCIATED FLASHING. REMOVE ALL ASSOCIATED PARAPET ROOFING MATERIAL AND COATINGS FROM STONE WALLS AND COPINGS. TAKE CARE NOT TO DAMAGE EXISTING HISTORIC LIMESTONE.
2. REMOVE EXISTING ROOF TOP MECHANICAL UNITS AND ALL ASSOCIATED PIPING AND ELECTRICAL EQUIPMENT.
3. REMOVE EXISTING ROOF TOP FANS/VENTS.
4. REMOVE EXISTING TONGUE AND GROOVE WOOD DECKING. REFER TO STRUCTURAL FOR MORE INFORMATION.
5. REMOVE EXISTING ASPHALT ROOF SHINGLE AND ANY ASSOCIATED UNDERLAYMENT.
6. REMOVE ALL EXISTING PARAPET WATERPROOFING MATERIAL AND ASSOCIATED COATINGS FROM INSIDE AND TOP OF PARAPET WALLS.
7. REMOVE EXISTING ROOF HATCH AND ASSOCIATED FLASHING.
8. REMOVE EXISTING ANTENNAS AND ASSOCIATED MOUNTING HARDWARE.
9. REMOVE EXISTING BUILT-IN GUTTER SYSTEM LINING AND ALL ASSOCIATED FLASHING.
10. EXSTING HISTORIC METAL CONDUCTOR HEAD TO BE SALVAGED AND STORED FOR REINSTALLATION.
11. EXISTING METAL CORNICE IS TO REMAIN AND BE PROTECTED.
12. EXISTING GUTTER AND ASSOCIATED DOWNSPOUTS TO BE REMOVED.
13. REMOVE EXISTING METAL CANOPY AND ALL ASSOCIATED, FRAMING AND TIE RODS. REFER TO STRUCTURAL.

DEMOLITION PLAN LEGEND

- EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING MASONRY WALL OR PARTITION TO REMAIN, PROTECT DURING CONSTRUCTION
- EXISTING NON-HISTORICAL MATERIAL OR ELEMENT TO BE REMOVED. REFER TO DEMOLITION NOTES
- EXISTING NON-HISTORIC INFILL MASONRY TO BE DISMANTLED AND REMOVED CAREFULLY

fpc

FORD POWELL CARSON

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GRAYSTREET PARTNERS

STUMBERG BLOCK

GRAY ST PARTNERS

RESTAURANT AND FINISH OUT

212 S. FLORES ST. SAN ANTONIO, TX. 78204

Architect: Adam Reed

This document dated 02/06/2023 is incomplete. Do not use for regulatory approval, permit, or construction

Revisions

Mark	Date	Description
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Drawn By:
 Author:

Approved By:
 Approver:

Project Number:
 100702

Project Issue Date:
 02/06/2023

DEMOLITION ROOF PLAN

CONSTRUCTION DOCUMENTS

SHEET

D102

GENERAL DEMOLITION NOTES

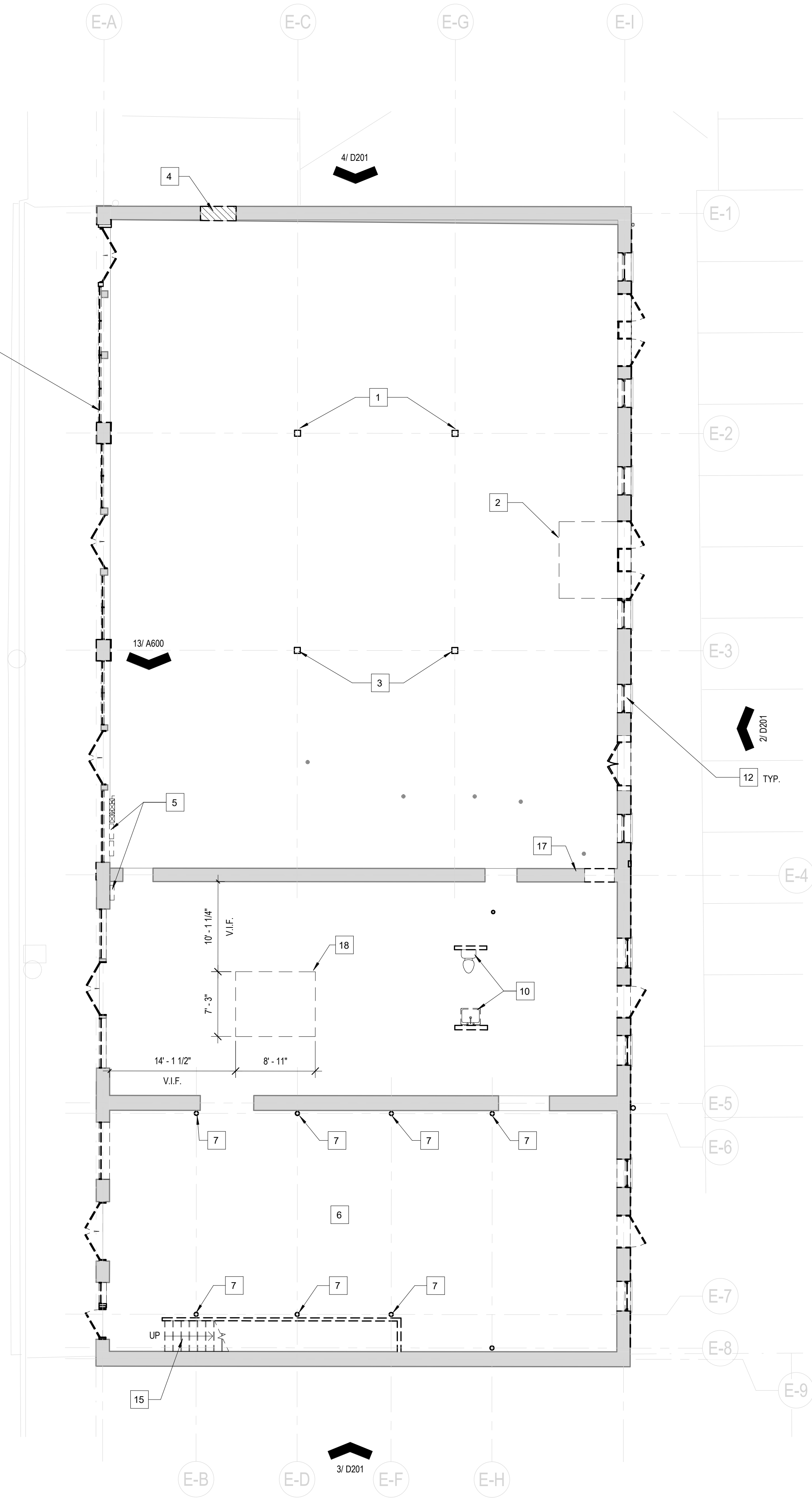
- A. REFER TO SHEET 00.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.
- B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
- C. AT NO TIME SHALL THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS CALLED OUT TO REMAIN DURING ALL CONSTRUCTION OPERATIONS.
- D. SPECIAL ATTENTION IS TO BE PAID BY THE CONTRACTOR AND SUBCONTRACTORS FOR THE SAFETY AND PRESERVATION OF ANY HISTORIC ARCHITECTURAL ITEMS POSSIBLY MISSING OR CURRENTLY ENTOMBED BY ANY NON-HISTORIC MATERIALS. ANY MATERIALS, ARCHITECTURAL ELEMENTS, OR HARDWARE BEING REMOVED FROM THE STRUCTURE DURING DEMOLITION, AS WELL AS DURING RESTORATION PROCESS, SHALL BE ASSESSED FOR THEIR VALUE, PROTECTED, AND POSSIBLY BE USED FOR REUSE. NOTIFY ARCHITECT FOR ANY SUCH OCCURRENCES.
- E. ALL ELECTRICAL CONDUITS, PANEL BOXES, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL BE REMAIN AND PROTECTED DURING CONSTRUCTION.
- F. ALL HVAC RELATED EQUIPMENT, FIXTURES, ATTACHMENT DEVICES, APPURTENANCES AND OTHER ASSOCIATED ITEMS SHALL REMAIN AND PROTECTED DURING CONSTRUCTION.
- G. PARTITIONS NOTED TO BE REMOVED BY NOTES OR PLAN LEGEND SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING ANY BRACING OR ASSOCIATED FRAMING TO STRUCTURE ABOVE.
- H. FOR ALL DEMOREMOVAL WORK, EXERCISE CAUTION TO PREVENT DAMAGE TO EXISTING ADJACENT FINISHES AND MATERIALS THAT ARE DESIGNATED TO REMAIN.
- J. DEMOLITION OPERATIONS MAY REVEAL ARCHITECTURAL, STRUCTURAL OR SUBGRADE CONDITIONS WHICH WERE PREVIOUSLY UNKNOWN. UNFORESEEN HISTORIC MATERIAL, DETAILS OR FEATURES MAY ALSO SURFACE DURING DEMOLITION OPERATIONS. STOP ALL WORK IN THIS AREA, PROTECT THE HISTORIC MATERIAL AND NOTIFY ARCHITECT FOR FURTHER INSTRUCTIONS.
- K. ALL EXTERIOR DEMOLITION OPERATIONS ARE DESCRIBED ON THE SITE PLAN SHEET AND ON THE EXTERIOR DEMOLITION ELEVATION SHEETS.
- L. ANY DAMAGES TO ITEMS DESIGNATED AS EXISTING TO REMAIN DONE BY THE CONTRACTOR OR ANY OF THEIR SUBCONTRACTORS, MUST BE REPAIRED OR RESTORED BY RESPECTS TO RETURN THE ITEM TO ITS CONDITION PRIOR TO THE START OF THE PROJECT. THIS WILL BE DONE AT NO ADDITIONAL CHARGES TO THE OWNER.
- M. ALL WINDOWS ARE TO BE REMAIN. REFER TO EXTERIOR ELEVATIONS FOR MORE INFORMATION ON PROPOSED WORK. TAKE CARE NOT TO DAMAGE ANY REMAINING HISTORIC MATERIAL AT OPENINGS.
- N. ALL DUCTING AND MECHANICAL EQUIPMENT ABOVE CEILING AND IN STRUCTURAL PLENUM SPACE IS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- P. NO KNOWN EVIDENCE OF HAZARDOUS MATERIAL IS PRESENT. OWNER IS TO ABATE ENTIRE PROPERTY PRIOR TO ANY DEMOLITION.
- Q. ALL PLUMBING FIXTURES AND PIPING ARE TO REMAIN IN TACT. ALL ELECTRICAL SYSTEMS ARE TO REMAIN IN TACT. ALL MECHANICAL SYSTEMS ARE TO REMAIN IN TACT AND ARE OUT OF SCOPE.

KEYNOTES

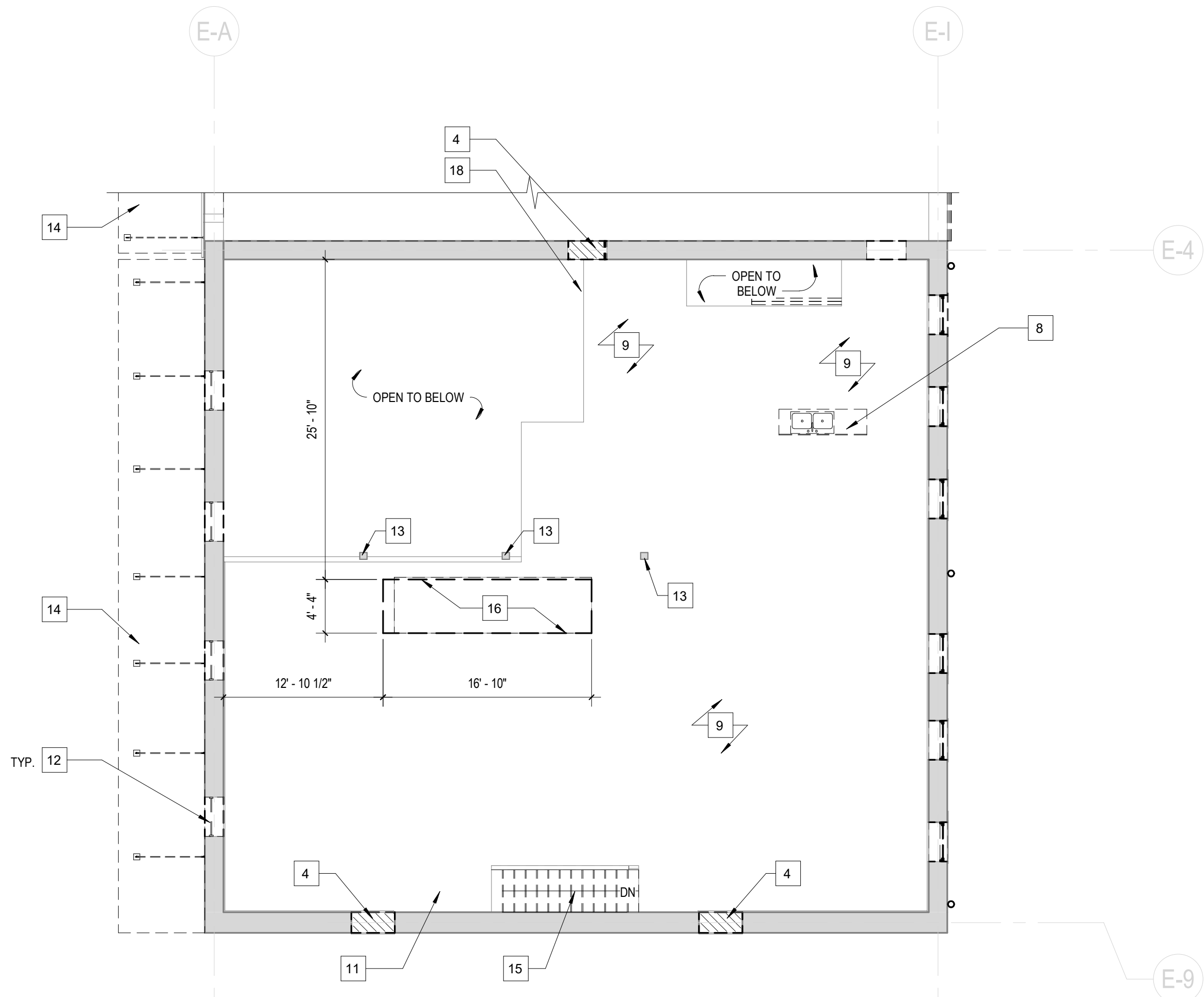
1. EXISTING PLASTER ENCLOSURE TO BE REMOVED FROM HISTORIC WOOD COLUMN. TAKE CARE NOT TO DAMAGE WOOD COLUMN TO REMAIN
2. REMOVE EXISTING CONCRETE RAMP
3. EXISTING WOOD COLUMNS TO REMAIN, PROTECT DURING CONSTRUCTION
4. REMOVE EXISTING NON-HISTORIC MASONRY INFILL IN PREPARATION OF ORIGINAL FENESTRATION AND NEW REPLICA WOOD WINDOW.
5. EXISTING ELECTRICAL PANELS, CONDUITS, STUB UPS AND ALL OTHER COMPONENTS TO THE ELECTRICAL SYSTEM ARE TO BE REMOVED. REFER TO ELECTRICAL DRAWINGS
6. REMOVE A 12" X 12" SQUARE AREA OF CONCRETE SLAB FOR OBSERVATIONS.
7. REMOVE STRUCTURAL STEEL PIPE COLUMNS. REFER TO STRUCTURAL DRAWINGS
8. PLUMBING CHASE TO BE REMOVED. ALL ASSOCIATED PIPING AND CONDUIT TO BE REMOVED. REFER TO PLUMBING DRAWINGS.
9. EXISTING NON-HISTORIC FLOORING FINISH MATERIAL TO BE REMOVED DOWN TO SUBSTRATE/DECKING, TYPICAL THROUGHOUT SECOND LEVEL.
10. PLUMBING FIXTURES TO BE REMOVED AND ALL ASSOCIATED PIPING. REFER TO PLUMBING DRAWINGS.
11. EXISTING MECHANICAL EQUIPMENT, ASSOCIATED PLATFORMS AND ALL COMPONENTS TO BE REMOVED.
12. REMOVE EXISTING WOOD WINDOW, TYPICAL.
13. ASSUMED STRUCTURAL COLUMN, TAKE CARE NOT TO DAMAGE OR DISTURB EXISTING COLUMN. REFER TO STRUCTURAL DRAWINGS.
14. EXISTING METAL CANOPY AND ASSOCIATED TIE RODS TO BE REMOVED.
15. EXISTING WOOD STAIR TO BE REMOVED.
16. EXISTING AREA OF FLOORING AND STRUCTURAL FRAMING TO BE REMOVED IN PREPERATION OF PROPOSED NEW STAIR.
17. EXISTING HISTORIC MASONRY WALL TO BE REMOVED IN PREERATION OF NEW DOOR OPENING. REFER TO STRUCTURAL DRAWINGS AND NEW FLOOR PLAN
18. AREA OF EXISTING CONCRETE SLAB TO BE REMOVED IN PREPERATION OF NEW ELEVATOR PIT.

DEMOLITION PLAN LEGEND

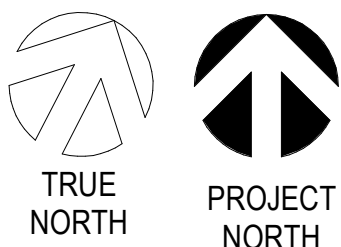
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- EXISTING NON-HISTORIC INFILL MASONRY TO BE DISMANTLED AND REMOVED CAREFULLY

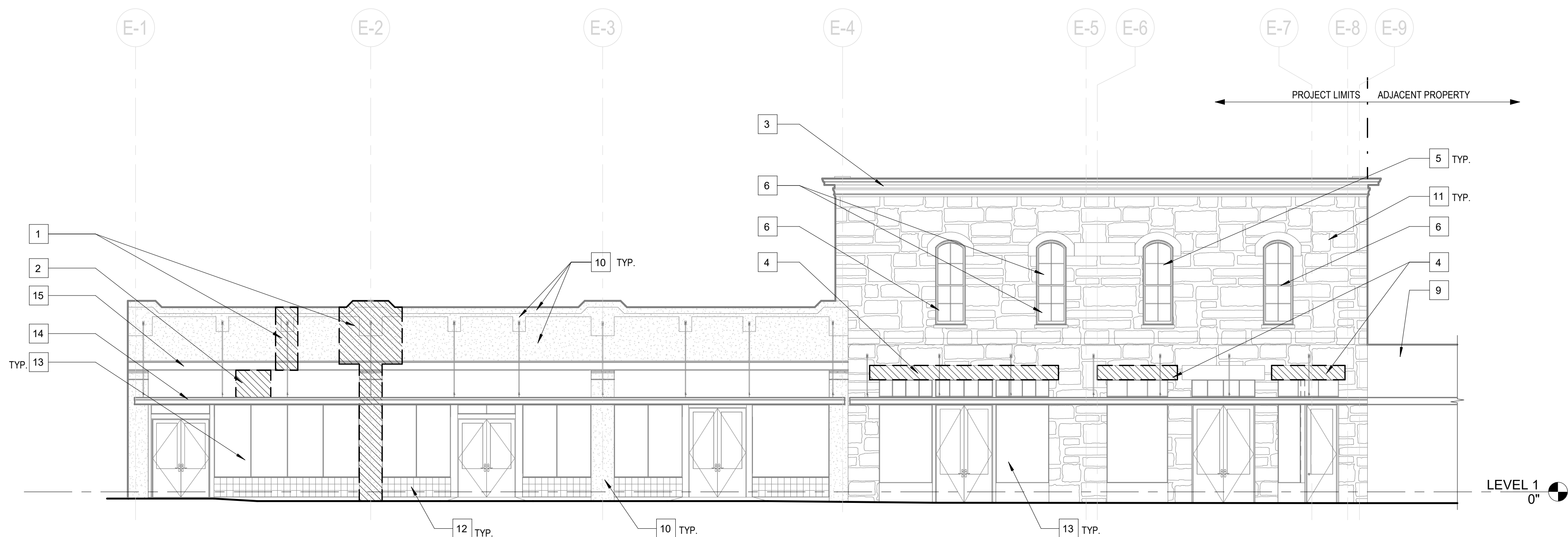


1 LEVEL 1 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

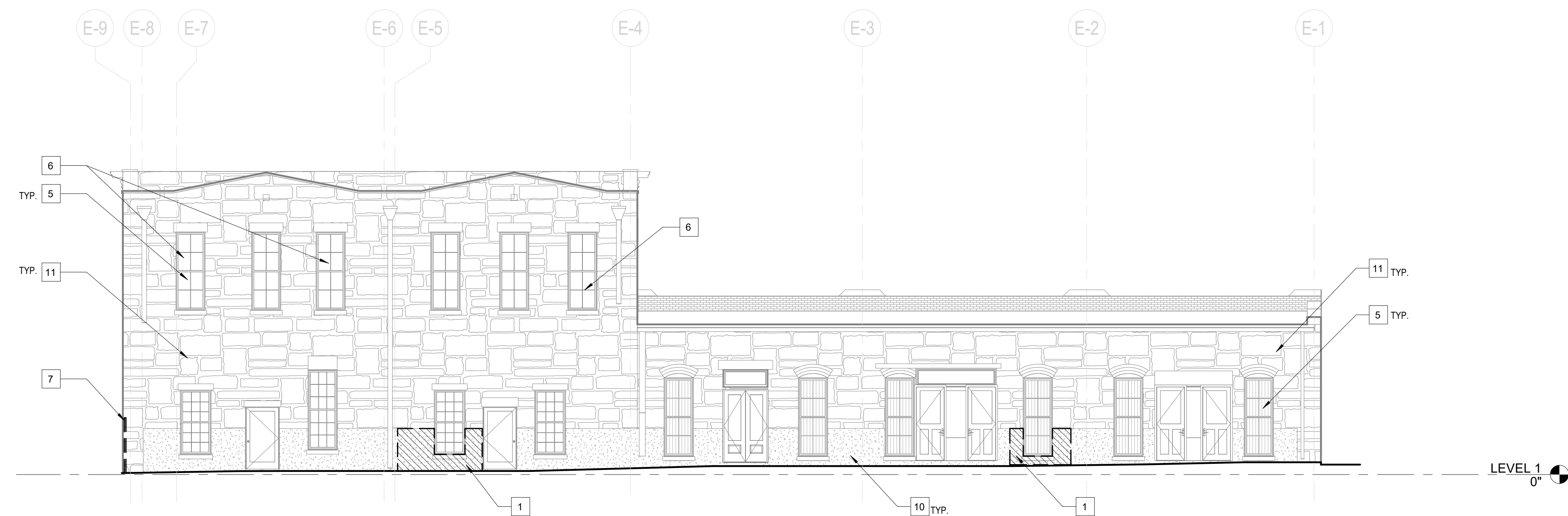


2 LEVEL 2 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

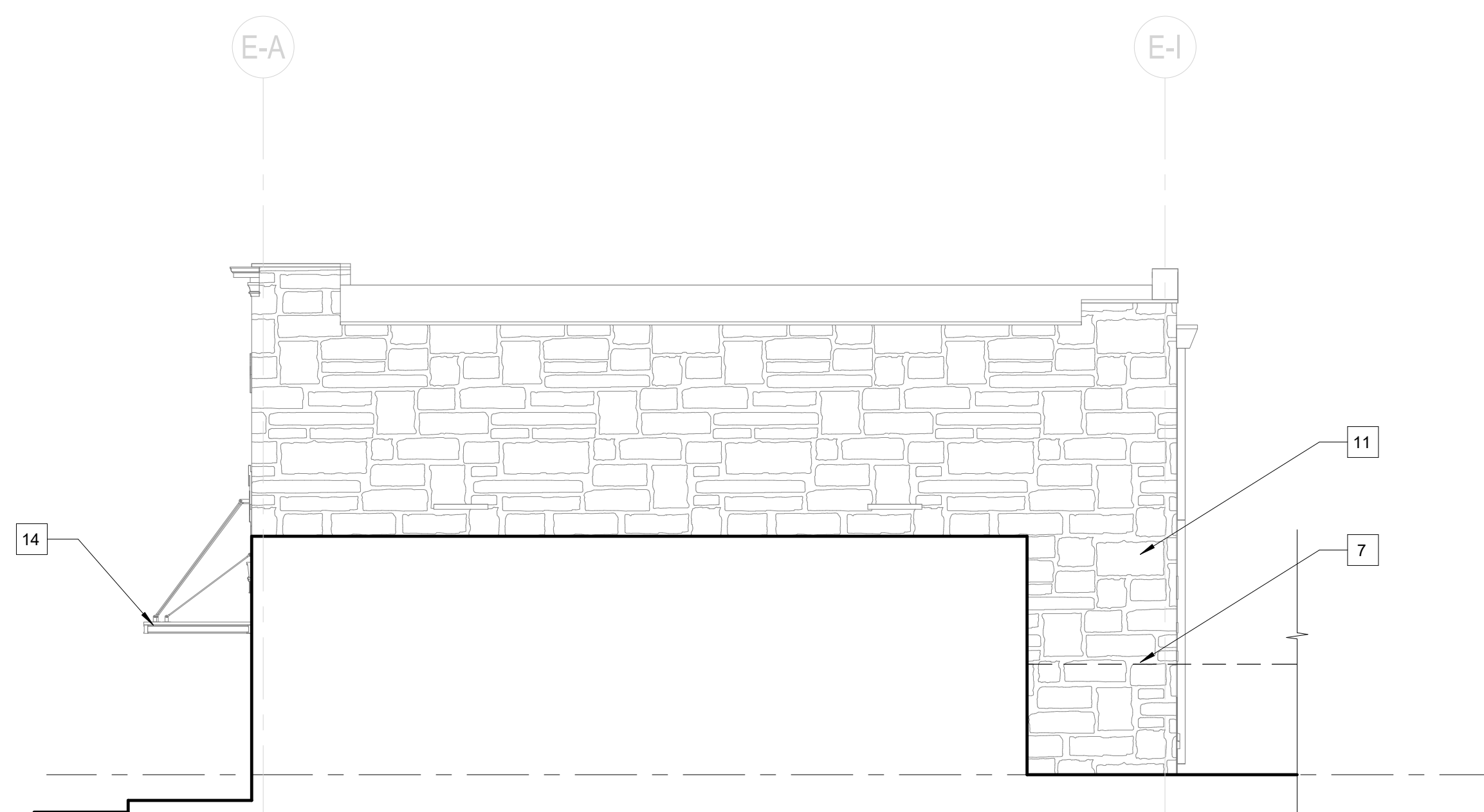




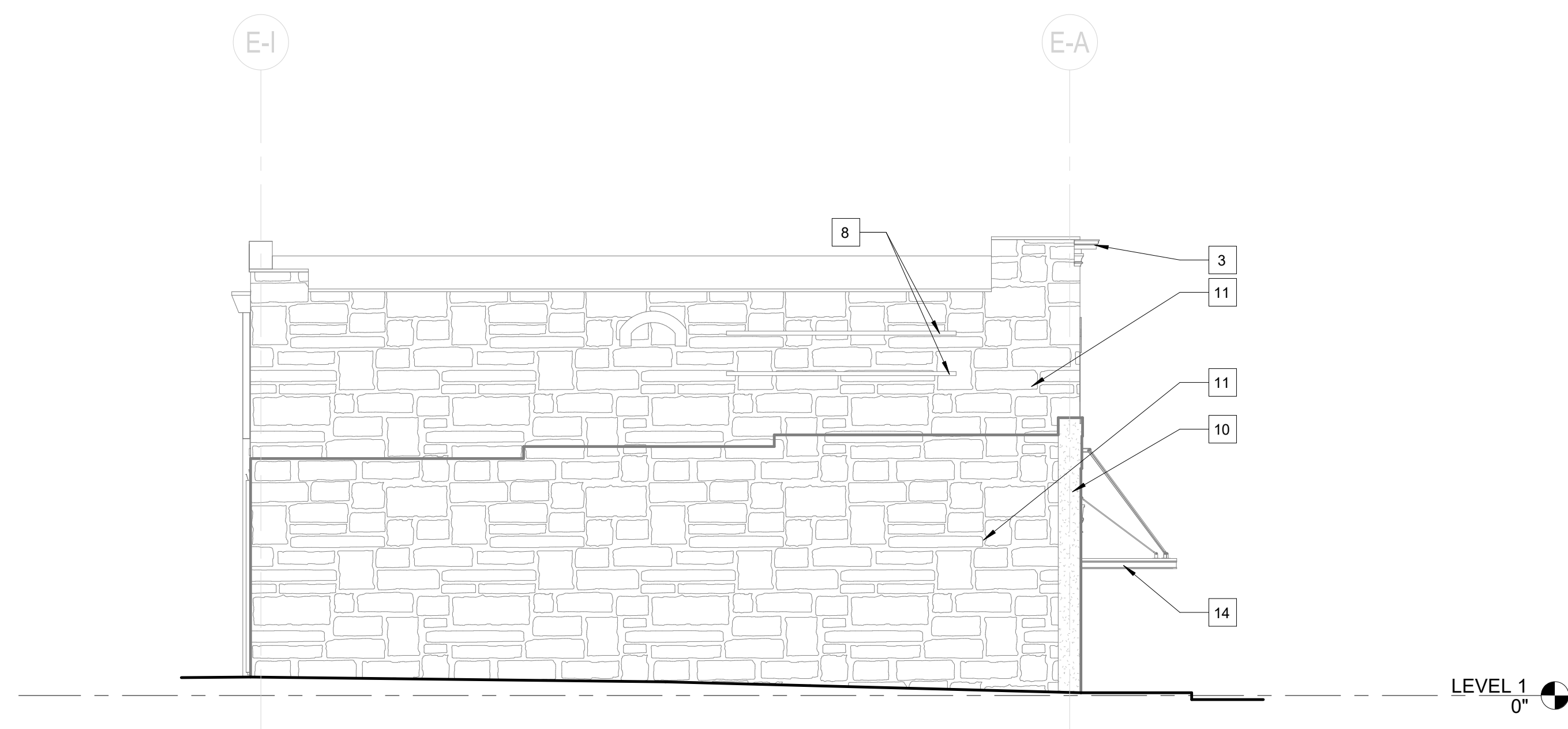
1 DEMO WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 DEMO EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 DEMO SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 DEMO NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

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KEYNOTES

- THIS AREA OF THE FACADE IS TO BE CAREFULLY STRIPPED OF ALL CONTEMPORARY CEMENTITIOUS SURFACE MATERIAL FOR OBSERVATIONS OF ORIGINAL HISTORICAL MATERIAL REMAINING. ALL WORK PERTAINING TO THIS SCOPE SHALL BE CONDUCTED BY A QUALIFIED MASONRY CONSERVATOR OR RESTORATION CONTRACTOR
- CAREFULLY REMOVE SELECT SURFACE MATERIAL FROM TRANSOM AREA AT THIS LOCATION ONLY. NOTIFY ARCHITECT OF ANY HIDDEN SUBSTRATE MATERIAL SUCH AS WINDOW SASHES OR GLAZING
- EXISTING METAL CORNICE TO REMAIN AND BE PROTECTED
- CAREFULLY REMOVE SELECT SURFACE MATERIAL FROM LINTEL AREA AT THIS LOCATION ONLY. NOTIFY ARCHITECT OF ANY HIDDEN SUBSTRATE MATERIAL SUCH AS STEEL OR MASONRY
- EXISTING WOOD WINDOWS TO REMAIN
- INSTALL TEMPORARY PLYWOOD PANELING AT THIS WINDOW LITE
- EXISTING WOOD PRIVACY FENCE, SHOWN DASHED FOR CLARITY
- EXISTING 2X WOOD MEMBERS ON FACE OF WALL, TO REMAIN.
- EXISTING ADJACENT BUILDING, NOT IN SCOPE
- EXISTING CONTEMPORARY CEMENTITIOUS SURFACE COATING OVER HISTORIC BRICK AND LIMESTONE MASONRY
- EXISTING HISTORIC LIMESTONE MASONRY
- EXISTING NON-HISTORIC GLASS BLOCK TO REMAIN
- EXISTING NON-HISTORIC WOOD AND GLAZING WALL TO REMAIN
- EXISTING NON-HISTORIC METAL CANOPY TO REMAIN
- EXISTING METAL BANDING TO REMAIN

DEMOLITION ELEVATION LEGEND

- | | |
|--|---|
| | EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING ALL PHASES OF CONSTRUCTION |
| | EXISTING MATERIAL OR ELEMENT TO BE REMOVED. REFER TO DEMOLITION NOTES |
| | EXISTING NON-HISTORIC SURFACE MATERIAL OR CLADDING TO BE DISMANTLED AND REMOVED CAREFULLY |

Architect: Adam Reed

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Revisions

Mark	Date	Description
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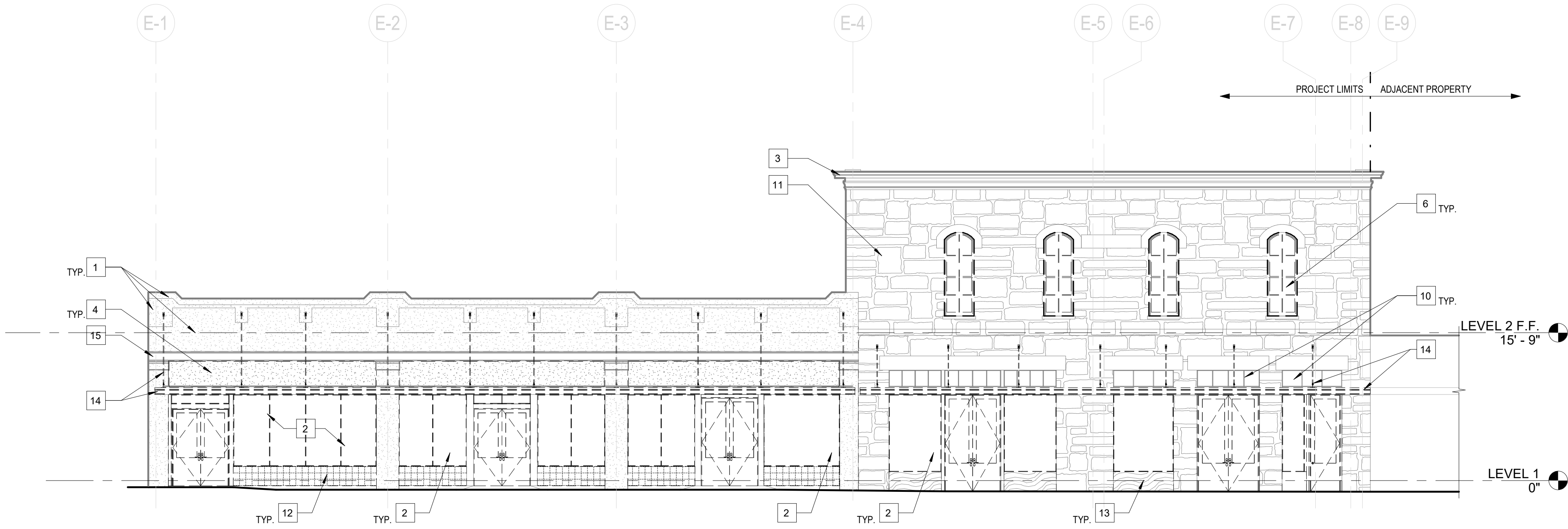
Drawn By:	Approved By:
VR	AC
Project Number:	Project Issue Date:
100702	10/19/2022

DEMOLITION BUILDING
ELEVATIONS

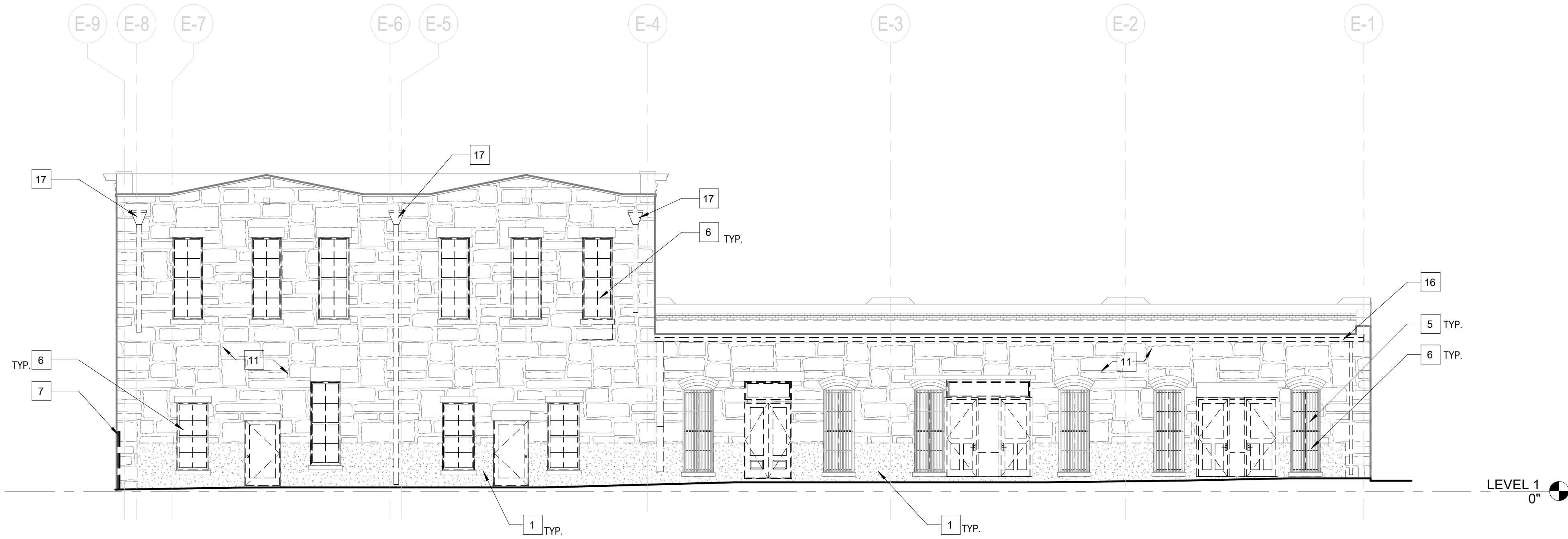
CONSTRUCTION DOCUMENTS

SHEET

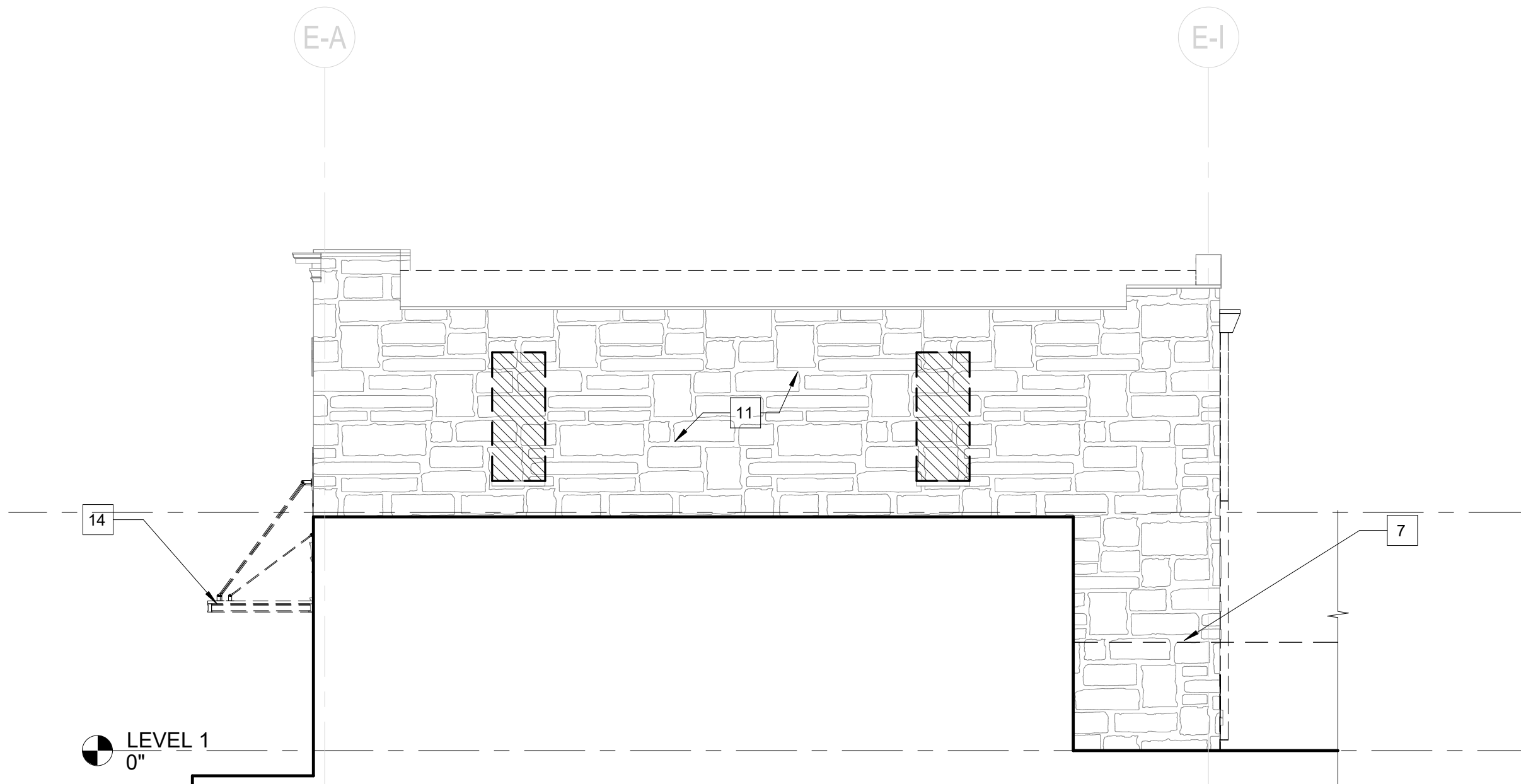
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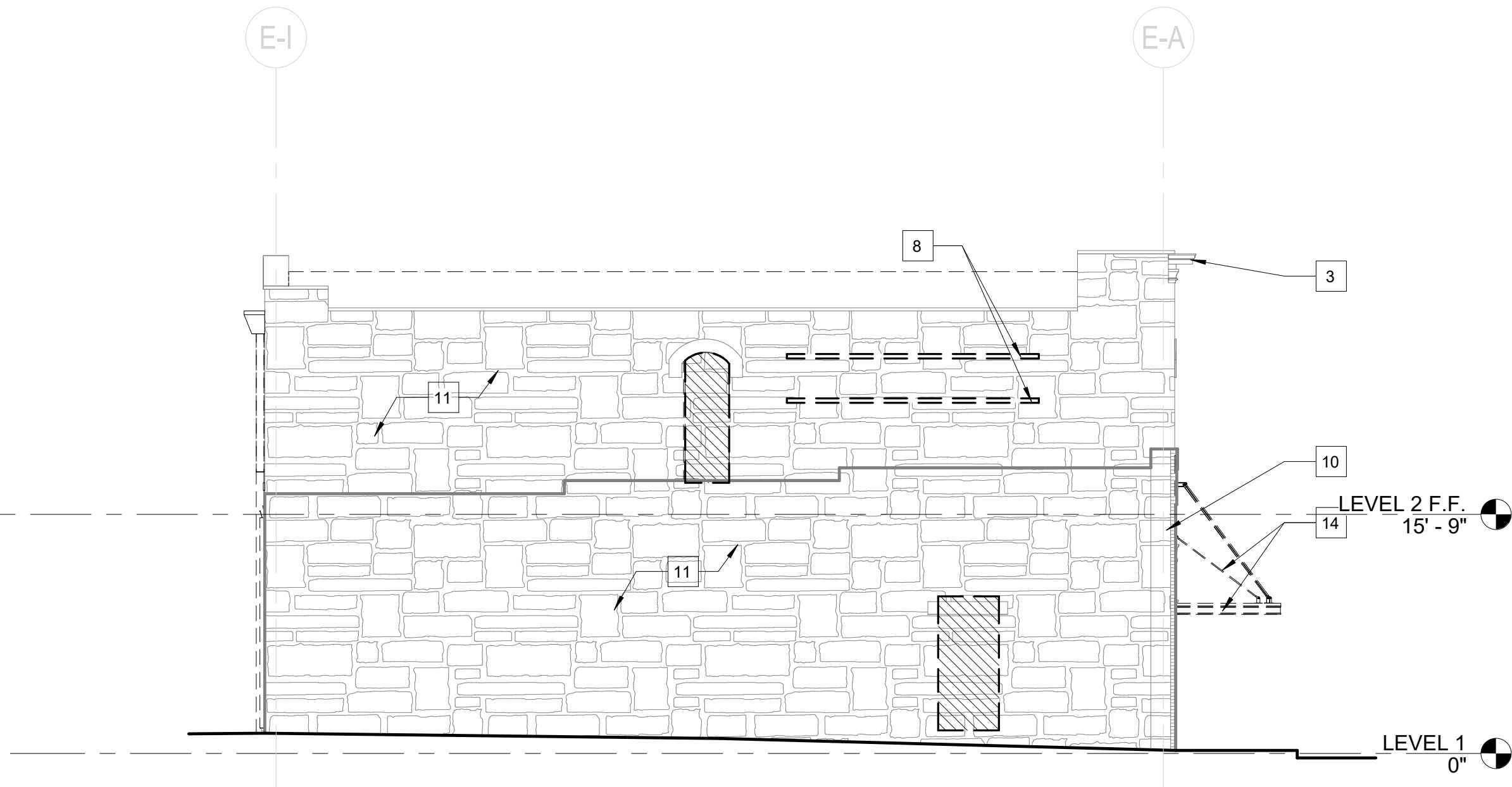
1 DEMO WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 DEMO EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 DEMO SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 DEMO NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

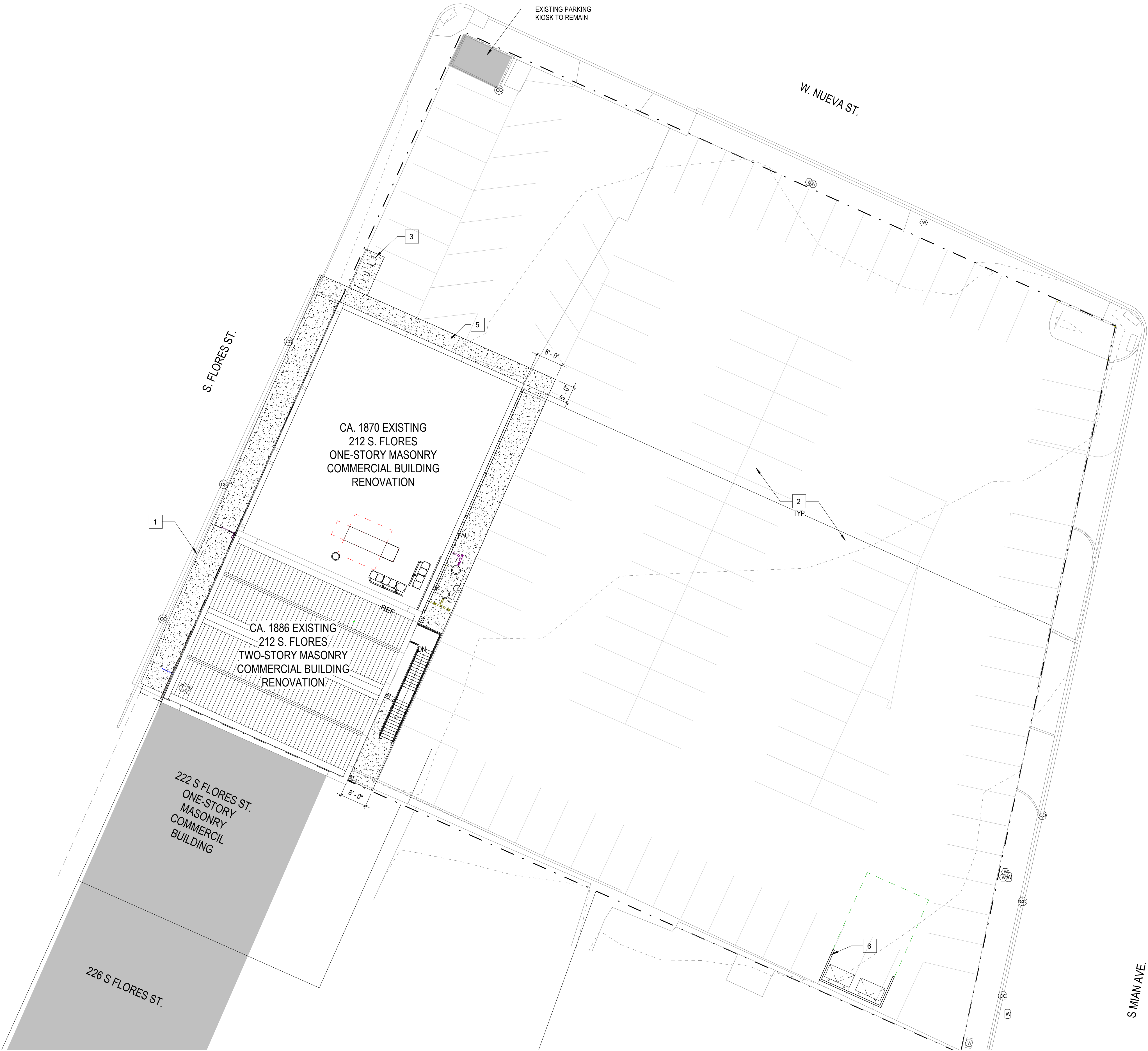
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- P. NO KNOWN EVIDENCE OF HAZARDOUS MATERIAL IS PRESENT. OWNER IS TO ABATE ENTIRE PROPERTY PRIOR TO ANY DEMOLITION.
- Q. ALL PLUMBING FIXTURES AND PIPING ARE TO REMAIN IN TACT. ALL ELECTRICAL SYSTEMS ARE TO REMAIN IN TACT. AL MECHANICAL SYSTEMS ARE TO REMAIN IN TACT AND ARE OUT OF SCOPE.

KEYNOTES

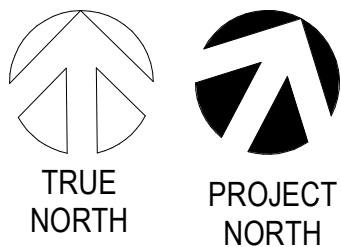
- REMOVE CAREFULLY ALL CONTEMPORARY CEMENTITIOUS SURFACE MATERIAL. ALL WORK PERTAINING TO THIS SCOPE SHALL BE CONDUCTED BY A QUALIFIED MASONRY CONSERVATOR OR RESTORATION CONTRACTOR.
- REMOVE EXISTING NON-HISTORIC GLASS AND WOOD DISPLAY WINDOWS.
- EXISTING METAL CORNICE TO REMAIN AND BE PROTECTED
- REMOVE TRANSOM INFILL PANELS AND ALL ASSOCIATED ELEMENTS, TAKE CARE NOT TO DAMAGE ANY HISTORIC SUBSTRATES, MATERIAL OR ELEMENTS.
- EXISTING STEEL SECURITY BARS TO BE DISMANTLED AND CAREFULLY REMOVED FOR SALVAGING ONLY. SEE DETAILS FOR REINSTALLATION AND COORDINATION WITH ALL NEW WORK.
- REMOVE EXISTING WOOD WINDOW CAREFULLY.
- EXISTING WOOD PRIVACY FENCE TO REMAIN, SHOWN DASHED FOR CLARITY
- REMOVE EXISTING 2X WOOD MEMBERS ON FACE OF WALL.
- EXISTING ADJACENT BUILDING, NOT IN SCOPE
- EXISTING HISTORIC WOOD TRANSOMS TO REMAIN, AND BE PROTECTED DURING DEMOLITION.
- EXISTING HISTORIC LIMESTONE MASONRY TO REMAIN.
- REMOVE EXISTING NON-HISTORIC GLASS BLOCK BULKHEAD
- REMOVE EXISTING NON-HISTORIC WOOD BULKHEAD.
- REMOVE EXISTING NON-HISTORIC METAL CANOPY AND ASSOCIATED ANCHOR TIES RODS, REFER TO STRUCTURAL.
- EXISTING METAL BANDING TO REMAIN TO REMAIN AND BE PROTECTED.
- REMOVED EXISTING METAL GUTTER AND ASSOCIATED DOWNSPOUTS.
- DISMANTLE, REMOVE AND RETAIN HISTORIC METAL CONDUCTOR HEAD AND DOWNSPOUT. STORE FOR RESTORATION AND REINSTALLATION.

DEMOLITION ELEVATION LEGEND

- | | |
|--|---|
| | EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING ALL PHASES OF CONSTRUCTION |
| | EXISTING MATERIAL OR ELEMENT TO BE REMOVED. REFER TO DEMOLITION NOTES |
| | EXISTING NON-HISTORIC INFILL MASONRY TO BE DISMANTLED AND REMOVED CAREFULLY |
| | EXISTING NON-HISTORIC CEMENTITIOUS SURFACE MATERIAL TO BE REMOVED CAREFULLY |



1 SITE PLAN
SCALE: 1/16" = 1'-0"



GENERAL NOTES

- A. REFER TO SHEET G0.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.
- B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
- C. NOT ALL KEYNOTES APPEAR IN EACH DRAWING. REFER TO INDIVIDUAL SHEET FOR SPECIFIC NOTES.
- D. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF FINISHED WALL UNLESS NOTED ON PLANS.
- E. REFER TO 'D' SHEETS FOR DEMOLITION.
- F. REFER TO SHEET A601 FOR PARTITION TYPES.
- G. REFER TO A600 FOR WINDOW SCHEDULE.
- H. REFER TO A600 FOR DOOR SCHEDULE.
- J. REFER TO A1.02 FOR REFLECTED CEILING PLANS.
- K. AT NO TIME SHOULD THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS, HISTORIC OR OTHERWISE, DURING ALL PHASES OF CONSTRUCTION OPERATIONS.
- L. PROTECT ALL EXISTING ADJACENT WALLS/DOORS WHERE NEW WORK IS TO OCCUR. PATCH AND REPAIR ANY DAMAGED AREAS RESULTING FROM DEMOLITION OR NEW WORK. MATCH ADJACENT FINISHES AND COLORS.
- M. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND THE CONTRACTOR SHALL REVIEW AND CORRELATE THE INTENT OF EACH PART IN THE EXECUTION OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT ON ANY ISTEMS OR ISSUES IN QUESTION PRIOR TO PROCEEDING WITH WORK.
- N. ALERT THE ARCHITECT OF ANY DISCREPENCIES OR BUSTS IN THE DIMENSIONS THAT MAY RESULT IN CLANCE OR SPACE PLANNING RESTRICTIONS BEFORE PROCEEDING WITH FRAMING THE AREA OF CONCERN.
- P. THESE DRAWINGS SHOW GENERAL AND SPECIFIC NEW CONSTRUCTION REQUIREMENTS. REFER TO CONSULTANT DRAWINGS FOR FURTHER INFORMATION APPLICABLE TO THESE PLANS.
- Q. LOCATE NEW DOORS SUCH THAT THE INSIDE FACE OF THE HINGE IS 4" FROM THE NEAREST INTERSECTING PARTITION UNLESS NOTED OTHERWISE.
- R. EXISTING MASONRY WALLS TO BE PREPARED AND CLEANED PRIOR TO NEW PLASTER APPLICATION. REMOVE ANY SCREWS, NAILS OR OTHER PROTRUDING OBJECTS FROM THE FACE OF THE EXISTING MASONRY. REFER TO SPECIFICATIONS AND PARTITION TYPES FOR MORE INFORMATION.

KEYNOTES

- 1. EXISTING STREET LAMP POST TO REMAIN
- 2. EXISTING PARKING STRIPING TO REMAIN
- 3. "U" SHAPED BICYCLE RACKS, PROVIDING 10 SPOTS, REQUIRED 9.
- 4. NEW METAL CANOPY, SHOWN DASHED FOR CLARITY, REFER TO ROOF PLAN
- 5. NEW CONCRETE WALKWAY, ASSURE MAX. 2% SLOPE
- 6. MASONRY DUMPSTER ENCLOSURE

SITE PLAN LEGEND

- [Empty box] EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION
- [Gray box] EXISTING BUILDING OR VERTICAL STRUCTURE TO REMAIN AND NOT IN SCOPE
- [Dashed box] PROPOSED NEW SITE ELEMENT OR FLAT WORK
- [Thin line] EXISTING PROPERTY LINES
- [Patterned box] NEW CONCRETE WALKWAY OR SITE WORK

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GRAYSTREET PARTNERS

GRAY ST PARTNERS

STUMBERG BLOCK

RESTAURANT AND FINISH OUT

212 S. FLORES ST. SAN ANTONIO, TX. 78204

Architect: Adam Reed

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Revisions		
Mark	Date	Description

Drawn By:	Approved By:
VR	AC
Project Number:	Project Issue Date:
100702	02/06/2023

SITE PLAN

OHP APPROVAL

SHEET

A001

GENERAL NOTES

A. REFER TO SHEET GD.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.

B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.

C. NOT ALL KEYNOTES APPEAR IN EACH DRAWING. REFER TO INDIVIDUAL SHEET FOR SPECIFIC NOTES.

D. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF FINISHED WALL UNLESS NOTED ON PLANS.

E. REFER TO 'D' SHEETS FOR DEMOLITION.

F. REFER TO SHEET A601 FOR PARTITION TYPES.

G. REFER TO A600 FOR WINDOW SCHEDULE.

H. REFER TO A600 FOR DOOR SCHEDULE.

J. REFER TO A1.02 FOR REFLECTED CEILING PLANS.

K. AT NO TIME SHOULD THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS, HISTORIC OR OTHERWISE, DURING ALL PHASES OF CONSTRUCTION OPERATIONS.

L. PROTECT ALL EXISTING ADJACENT WALLS/DOORS WHERE NEW WORK IS TO OCCUR. PATCH AND REPAIR ANY DAMAGED AREAS RESULTING FROM DEMOLITION OR NEW WORK. MATCH ADJACENT FINISHES AND COLORS.

M. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND THE CONTRACTOR SHALL REVIEW AND CORRELATE THE INTENT OF EACH PART IN THE EXECUTION OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT ON ANY ITEMS OR ISSUES IN QUESTION PRIOR TO PROCEEDING WITH WORK.

N. ALERT THE ARCHITECT OF ANY DISCREPANCIES OR BUSTS IN THE DIMENSIONS THAT MAY RESULT IN CLEARANCE OR SPACE PLANNING RESTRICTIONS BEFORE PROCEEDING WITH FRAMING THE AREA OF CONCERN.

P. THESE DRAWINGS SHOW GENERAL AND SPECIFIC NEW CONSTRUCTION REQUIREMENTS. REFER TO CONSULTANT DRAWINGS FOR FURTHER INFORMATION APPLICABLE TO THESE PLANS.

Q. LOCATE NEW DOORS SUCH THAT THE INSIDE FACE OF THE HINGE IS 4" FROM THE NEAREST INTERSECTING PARTITION UNLESS NOTED OTHERWISE.

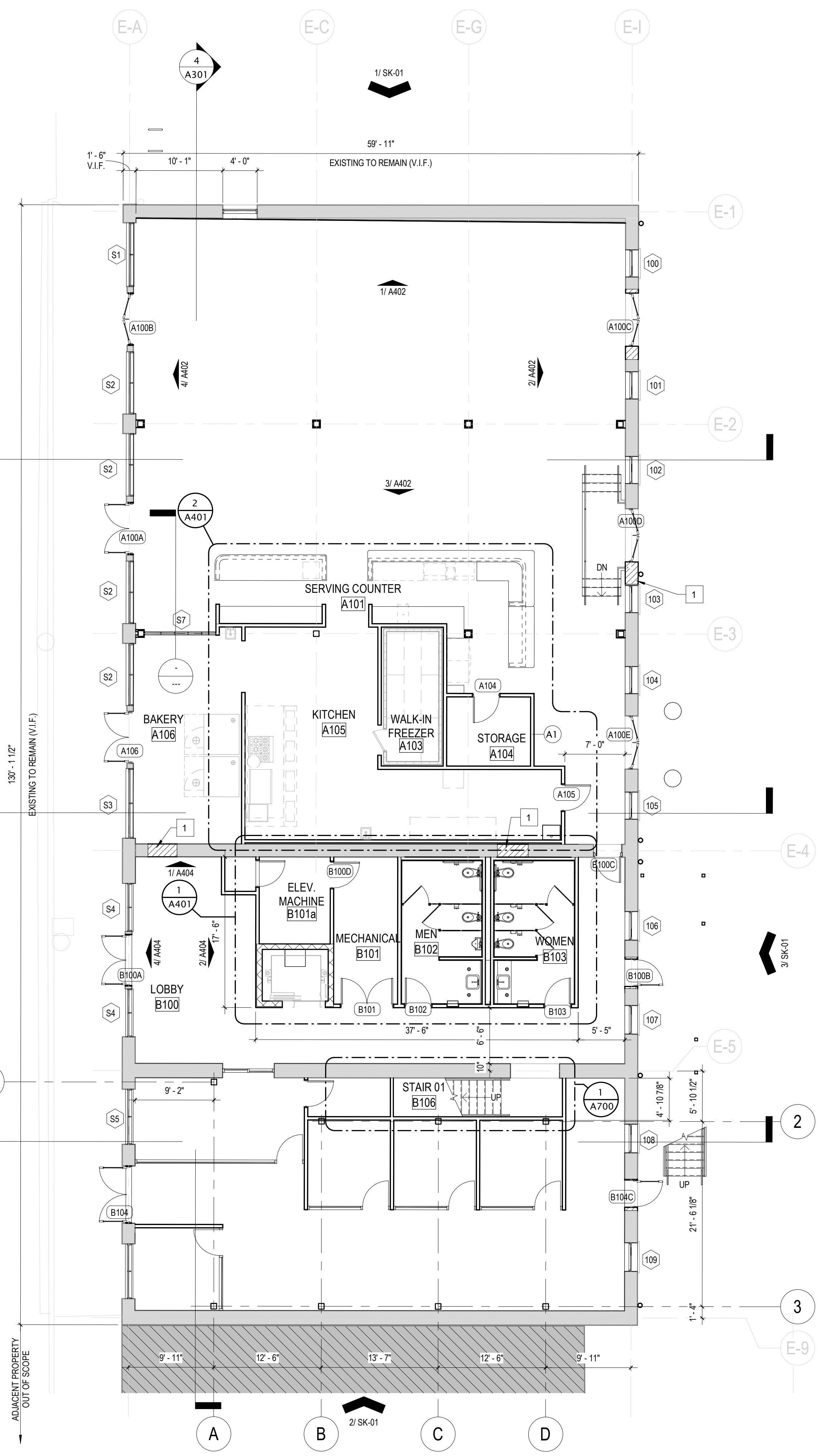
R. EXISTING MASONRY WALLS TO BE PREPARED AND CLEANED PRIOR TO NEW PLASTER APPLICATION. REMOVE ANY SCREWS, NAILS OR OTHER PROTRUDING OBJECTS FROM THE FACE OF THE EXISTING MASONRY. REFER TO SPECIFICATIONS AND PARTITION TYPES FOR MORE INFORMATION.

KEYNOTES

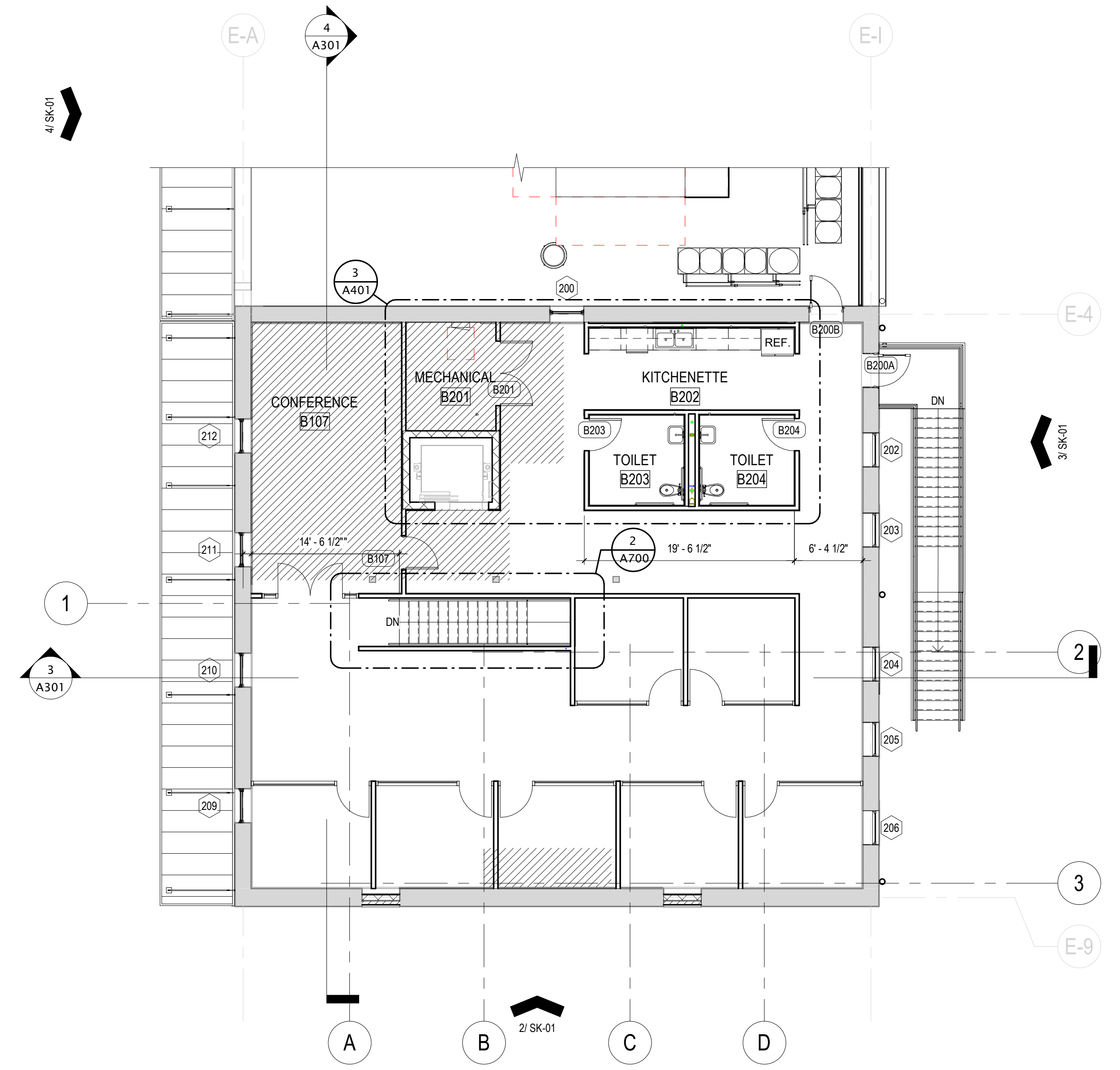
1. INSTALL MASONRY INFILL TO MATCH EXISTING TO REMAIN, IN-KIND.

RESTORATION PLAN LEGEND

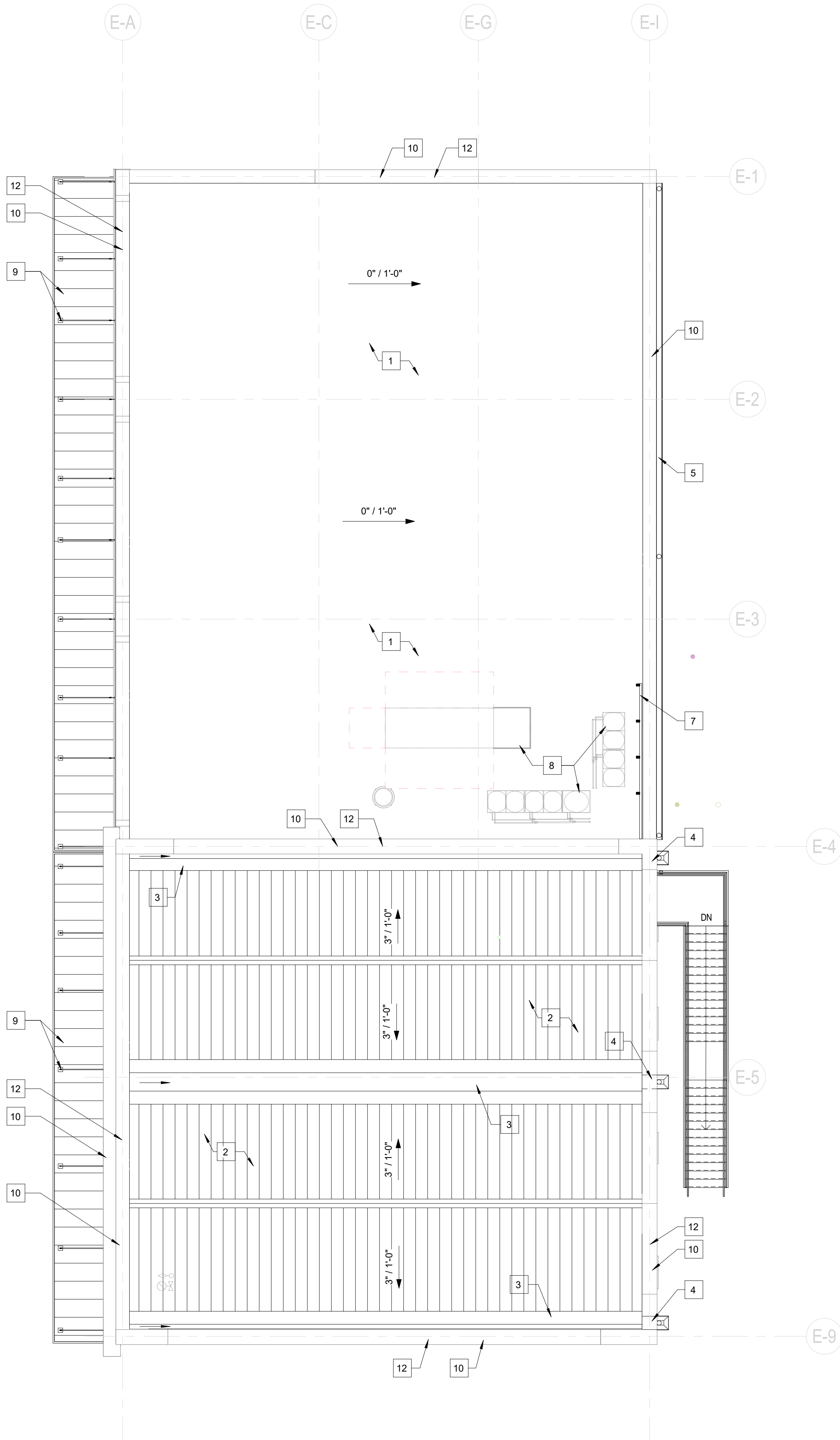
[Hatched Box]	EXISTING MATERIAL OR ELEMENT TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION
[Solid Gray Box]	EXISTING MASONRY WALL OR PARTITION TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION
[White Box]	NEW OR RECONSTRUCTED ELEMENT OR MATERIAL
[Cross-hatched Box]	CONCRETE MASONRY UNIT
[Diagonal Hatched Box]	MASONRY INFILL TO MATCH EXISTING IN-KIND
[Dotted Hatched Box]	NEW FLOOR STRUCTURE INFILL (REF. STRUCTURAL)
[Dark Hatched Box]	AREAS NOT IN SCOPE



1 LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 LEVEL 2 FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

- GENERAL NOTES
- A. REFER TO SHEET G0.01 FOR SYMBOL AND LIST OF ABBREVIATIONS.
- B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
- C. NOT ALL KEYNOTES APPEAR IN EACH DRAWING. REFER TO INDIVIDUAL SHEET FOR SPECIFIC NOTES.
- D. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF FINISHED WALL UNLESS NOTED ON PLANS.
- E. REFER TO 'D' SHEETS FOR DEMOLITION.
- F. REFER TO SHEET A601 FOR PARTITION TYPES.
- G. REFER TO A600 FOR WINDOW SCHEDULE.
- H. REFER TO A600 FOR DOOR SCHEDULE.
- J. REFER TO A1.02 FOR REFLECTED CEILING PLANS.
- K. AT NO TIME SHOULD THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS, HISTORIC OR OTHERWISE, DURING ALL PHASES OF CONSTRUCTION OPERATIONS.
- L. PROTECT ALL EXISTING ADJACENT WALLS/DOORS WHERE NEW WORK IS TO OCCUR. PATCH AND REPAIR ANY DAMAGED AREAS RESULTING FROM DEMOLITION OR NEW WORK. MATCH ADJACENT FINISHES AND AND COLORS.
- M. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND THE CONTRACTOR SHALL REVIEW AND CORRELATE THE INTENT OF EACH PART IN THE EXECUTION OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT ON ANY ITEMS OR ISSUES IN QUESTION PRIOR TO PROCEEDING WITH WORK.
- N. ALERT THE ARCHITECT OF ANY DISCREPANCIES OR BUSTS IN THE DIMENSIONS THAT MAY RESULT IN CLEARANCE OR SPACE PLANNING RESTRICTIONS BEFORE PROCEEDING WITH FRAMING THE AREA OF CONCERN.
- P. THESE DRAWINGS SHOW GENERAL AND SPECIFIC NEW CONSTRUCTION REQUIREMENTS. REFER TO CONSULTANT DRAWINGS FOR FURTHER INFORMATION APPLICABLE TO THESE PLANS.
- Q. LOCATE NEW DOORS SUCH THAT THE INSIDE FACE OF THE HINGE IS 4" FROM THE NEAREST INTERSECTING PARTITION UNLESS NOTED OTHERWISE.
- R. EXISTING MASONRY WALLS TO BE PREPARED AND CLEANED PRIOR TO NEW PLASTER APPLICATION. REMOVE ANY SCREWS, NAILS OR OTHER PROTRUDING OBJECTS FROM THE FACE OF THE EXISTING MASONRY. REFER TO SPECIFICATIONS AND PARTITION TYPES FOR MORE INFORMATION.

- KEYNOTES
1. MODIFIED BITUMEN ROOFING OVER COVER BOARD, OVER R-30 POLYISO RIGID INSULATION AND 3/4" PLYWOOD DECKING. REFER TO STRUCTURAL FOR MORE INFORMATION.
2. 22 GAUGE GALVALUME STANDING SEAM METAL ROOF, OVER HIGH TEMP MEMBRANE UNDERLAYMENT AND SLIP SHEET AS REQUIRED. OVER COVER BOARD AND RESTORED TONGUE AND GROOVE WOOD DECKING.
3. BUILT-IN GUTTER. INSTALL MODIFIED BITUMEN ROOFING MEMBRANE OVER HIGH TEMP MEMBRANE AND COVERBOARD.
4. STAINLESS STEEL THRU WALL SCUPPER SYSTEM, INTEGRATED INTO RESTORED CONDUCTOR HEAD
5. PREFINISHED SEAMLESS BOX GUTTER, COLOR TO BE DETERMINED.
6. NOT USED.
7. PRE-FINISHED PERFORATED MECHANICAL SCREEN
8. PROPOSED MECHANICAL EQUIPMENT. REFER TO MEP DRAWINGS.
9. NEW STEEL CANOPY AND TIE RODS. REFER TO DETAILS AND STRUCTURAL.
10. REPAIR AND REPLACE EXISTING HISTORIC LIMESTONE COPING AS NEEDED, ALONG ENTIRE PERIMETER OF BUILDING. ALL STONE REPLACEMENTS MUST MATCH EXISTING LIMESTONE IN COLOR, SIZE AND STYLE.
11. EXISTING HISTORIC METAL CORNICE. CLEAN, PREP AND REFINISH. REFER TO FINISH SCHEDULE FOR COLOR. REFASTEN ANY LOOSE SECTIONS. ONLY STAINLESS STEEL FASTENERS AND CLIPS.
12. INSTALL PMMA FLASHING. TYPICAL AT ALL LIMESTONE COPING. CONTINUE FLASHING OVER ROOFING MEMBRANE MINIMUM 4 INCHES. REFER TO DETAILS

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Revisions		
Mark	Date	Description

Drawn By: Author

Approved By: Approver

Project Number: 100702

Project Issue Date: 02/06/2023

TRUE NORTH

PROJECT NORTH

ROOF PLAN AND DETAILS

CONSTRUCTION DOCUMENTS

SHEET

A103

GENERAL NOTES

- A. REFER TO SHEET G0.01 FOR SYMBOLS LEGEND AND LIST OF ABBREVIATIONS.
B. THESE DRAWINGS ILLUSTRATE THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ASSEMBLY TYPES, AND DIMENSIONS OF ALL EXISTING BUILDING CONSTRUCTION PRIOR TO BEGINNING WORK.
C. NOT ALL KEYNOTES APPEAR IN EACH DRAWING, REFER TO INDIVIDUAL SHEETS FOR SPECIFIC NOTES.
D. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF THE PLASTER FINISH, OR FACE OF STUD, OR FACE OF MASONRY, UNLESS NOTED OTHERWISE.
E. REFER TO 'D' SHEETS FOR DEMOLITION.
F. REFER TO 'A600' FOR DOOR SCHEDULE.
G. REFER TO 'A600' FOR WINDOW SCHEDULE.
H. REFER TO 'A102' FOR REFLECTED CEILING PLANS.
J. AT NO TIME SHOULD THE BUILDING BE LEFT OPEN TO THE WEATHER DUE TO DEMOLITION OR REMOVAL OF ASSEMBLY PROCEDURES. PROTECT ALL ELEMENTS, HISTORIC OR OTHERWISE, DURING ALL PHASES OF CONSTRUCTION OPERATIONS.

GENERAL RESTORATION NOTES

- A. AT EACH FACADE ALL MASONRY IS TO BE CLEANED. CLEAN ALL DEBRIS AND BIOLOGICAL GROWTH FROM THE FACE OF THE BUILDING.
B. INSPECT MASONRY FOR BUG HOLES AND HOLES LEFT DURING DEMOLITION OPERATIONS. CLEAN OUT AND PATCH. FILL WITH APPROPRIATE PATCHING COMPOUND AND SMOOTH OFF TO MATCH SURFACE OF STONE OR BRICK BEING RESTORED. NO PATCHING MATERIAL SHALL SPREAD BEYOND THE EDGE OF THE HOLE BEING PATCHED.
C. INSPECT STONE WINDOW SILLS, HEADER, WINDOW AND DOOR SURROUNDS AND ALL DECORATIVE STONE FEATURES. CLEAN OUT ANY CRACKS, PATCH WITH PATCHING COMPOUND.
D. CLEAN OUT AND REPOINT ALL DETERIORATED MORTAR JOINTS. ALL CUTTING TO BE DONE BY HAND TOOL METHODS ONLY.
E. REMOVE ALL METAL ANCHORAGE DEVICES AND UNNECESSARY METAL DEVICES ON THE BUILDING MASONRY EXTERIOR. INSTALL NEW STAINLESS STEEL ANCHORAGE DEVICES TO RE-ATTACH NECESSARY ATTACHMENTS AT THE EXTERIOR LOCATIONS, ETC. ISOLATE DISSIMILAR METALS (GALVANIC ACTION).
F. ALL SHEET METAL ASSEMBLIES INDICATED TO BE RETAINED, SHALL BE CLEANED OF ALL RUST STAINING.

KEYNOTES

1. SEVERLY DAMAGED MORTAR JOINTS, RE-POINT ALL JOINTS IN THIS AREA. MORTAR IS TO MATCH EXISTING ORIGINAL.
2. SEVERLY DAMAGED/DELAMINATED LIMESTONE. PROVIDE REPLACEMENT OR DUTCHMAN REPAIR.
3. EXISTING HISTORIC METAL CORNICE. CLEAN, PREP AND REFINISH. REFER TO FINISH SCHEDULE.
4. RESTORE EXISTING TRANSOM WOOD WINDOWS.
5. REINSTALL HISTORIC SECURITY BARS. INSTALL WITH STAINLESS STEEL ANCHORS ONLY. SEE DETAILS FOR REINSTALLATION AND COORDINATION WITH ALL NEW WORK.
6. NEW PAINTED WOOD BULKHEAD, REFER TO DETAILS.
7. EXISTING MASONRY PARAPET, RE-POINT FULL EXTENT.
8. INSTALL NEW STONE WALL INFILL. FACE STONE IS TO BE CUT AND HONED FINISHED. MATCH EXISTING IN COLOR AND TYPE ONLY. SET BACK 2" FROM FACE OF STONE. REFER TO DETAILS AND STRUCTURAL.
9. REMOVE SURFACE COATINGS AND PAINTS AT THIS AREA OF MASONRY. ALL REMOVAL SHALL BE NON-ABRASIVE AND FOLLOW THE GUIDANCE OF NATIONAL PARK SERVICE PRESERVATION BRIEF NO. 1 "ASSESSING CLEANING AND WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY BUILDINGS"
10. REPLACE EXISTING BRICK MASONRY WITH COMPATIBLE LIMESTONE MASONRY AND MORTAR TO MATCH EXISTING.
11. RESTORE EXISTING METAL CONDUCTOR HEAD, PREP-PRIME AND PAINT. PROVIDE ALL NEW STAINLESS STEEL THRU-WALL SCUPPER AND FLASHING. FASTEN RESTORED CONDUCTOR HEAD ONLY WITH STAINLESS STEEL FASTENERS. COORDINATE WITH ARCHITECT ON FINAL COLOR.
12. INSTALL ALL NEW 5 INCH ROUND, GALVANIZED METAL DOWNSPOUT, PREP, PRIME AND PAINT, TO MATCH ORIGINAL CONDUCTOR HEAD.
13. INSTALL COPPER VENT SCREENS TO FIT EXISTING MASONRY OPENINGS.
14. REPLACE LIMESTONE WINDOW SILL, WITH IN-KIND MATERIAL. NEW STONE SILL IS TO MATCH EXISTIN IN PROFILE AND TEXTURE.
15. ASSUME FULL REPOINTING SCOPE AT ALL AREAS OF STUCCO REMOVAL.
16. INSTALL NEW STEEL LINTEL WITH LIMESTONE HEADER VENEER. REFER TO STRUCTURAL AND DETAILS.
17. INSTALL NEW LIMESTONE WALL INFILL TO MATCH EXISTING IN TYPE, COLOR, TEXTURE AND CONSTRUCTION.
18. PROPOSED MECHANICAL EQUIPMENT, REFER TO MEP DRAWINGS AND SPECS.
19. PERFORATED COATED MECHANICAL EQUIPMENT SCREEN.
20. RE-POINT ALL ARCHED BRICK HEADERS, THIS ELEVATION, TYPICAL.
21. GALVANIZED METAL STAIR AND RAILING, PREP, PRIME AND COAT. REFER TO FINISH SCHEDULE FOR COLOR.
22. PATCH, REPAIR OR REPLACE EXISTING LIMESTONE COPING AS NEEDED. ASSUME FULL 100% REPOINT.
23. ASSUMED TIMBER HEADER, STRUCTURAL TO PROVIDE STEEL REINFORCEMENTS AS NEEDED. TIMBER HEADER TO REMAIN AND BE REPAIRED AS NEEDED.
24. REPLACE DAMAGED LIMESTONE COPING STONE TO MATCH EXISTING.
25. INSTALL SALVAGED LIMESTONE AT MODIFIED OPENING. COORDINATE WITH STRUCTURAL.

ELEVATION LEGEND

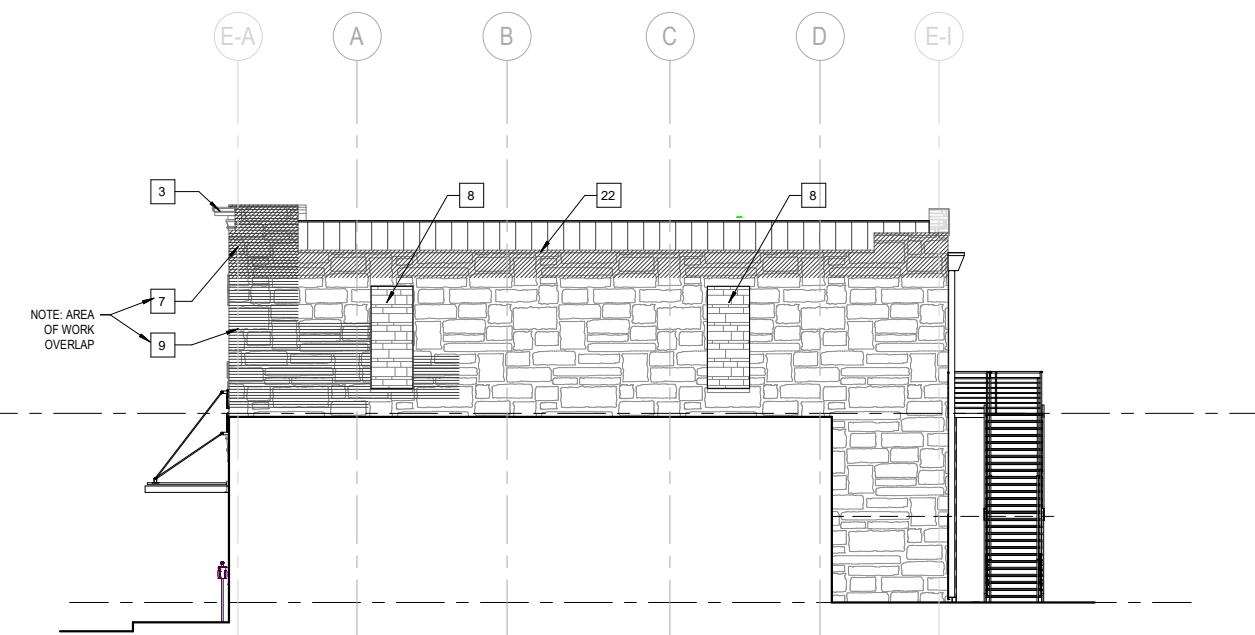
- EXISTING MATERIAL OR ELEMENT TO REMAIN, PROTECT DURING ALL PHASES OF CONSTRUCTION
NEW OR RESTORED MATERIAL OR ELEMENT
REPAIR DAMAGED STONE
AREA OF EXISTING MASONRY TO BE RE-POINTED
AREA PAINT REMOVAL ON MASONRY
AREA OF RESTORED FACE BRICK MASONRY
AREA OF MASONRY INFILL TO MATCH ORIGINAL IN-KIND



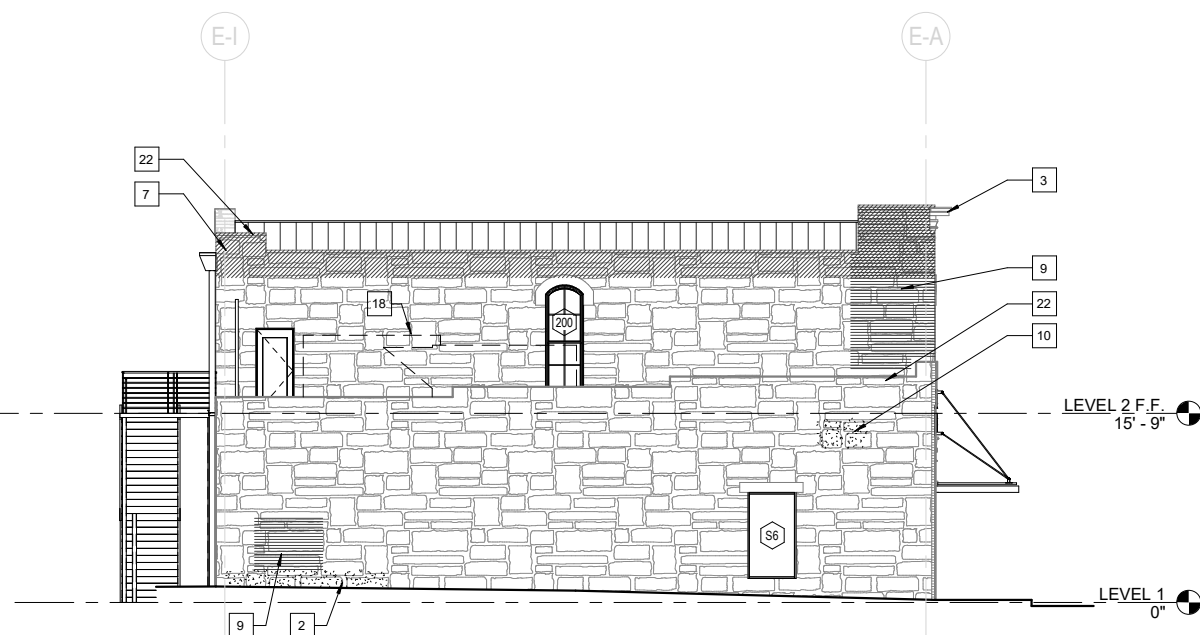
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



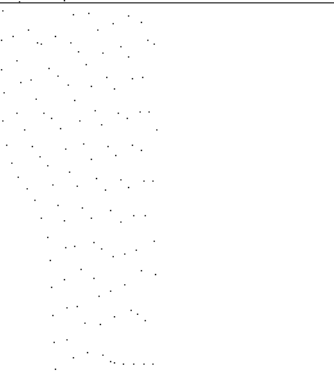
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



Architect: Adam Reed

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Revisions		
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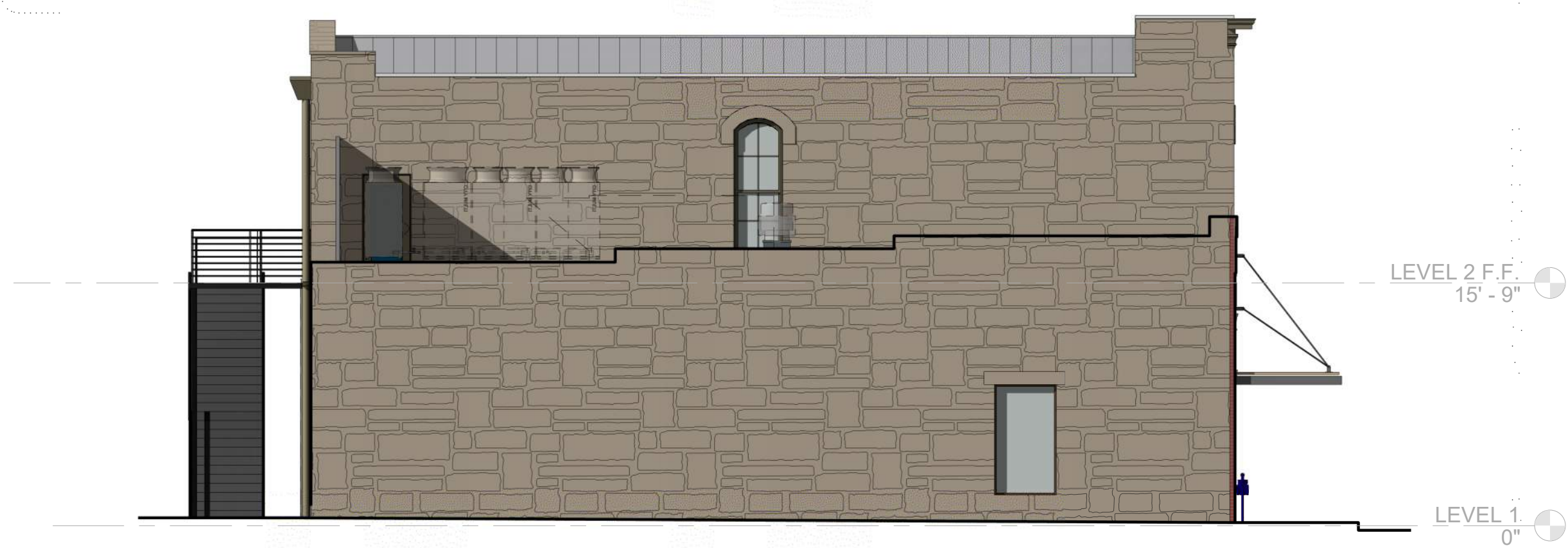
Drawn By:	Approved By:
Author	Approver
Project Number:	Project Issue Date:
100702	02/06/2023

COLORED ELEVATIONS

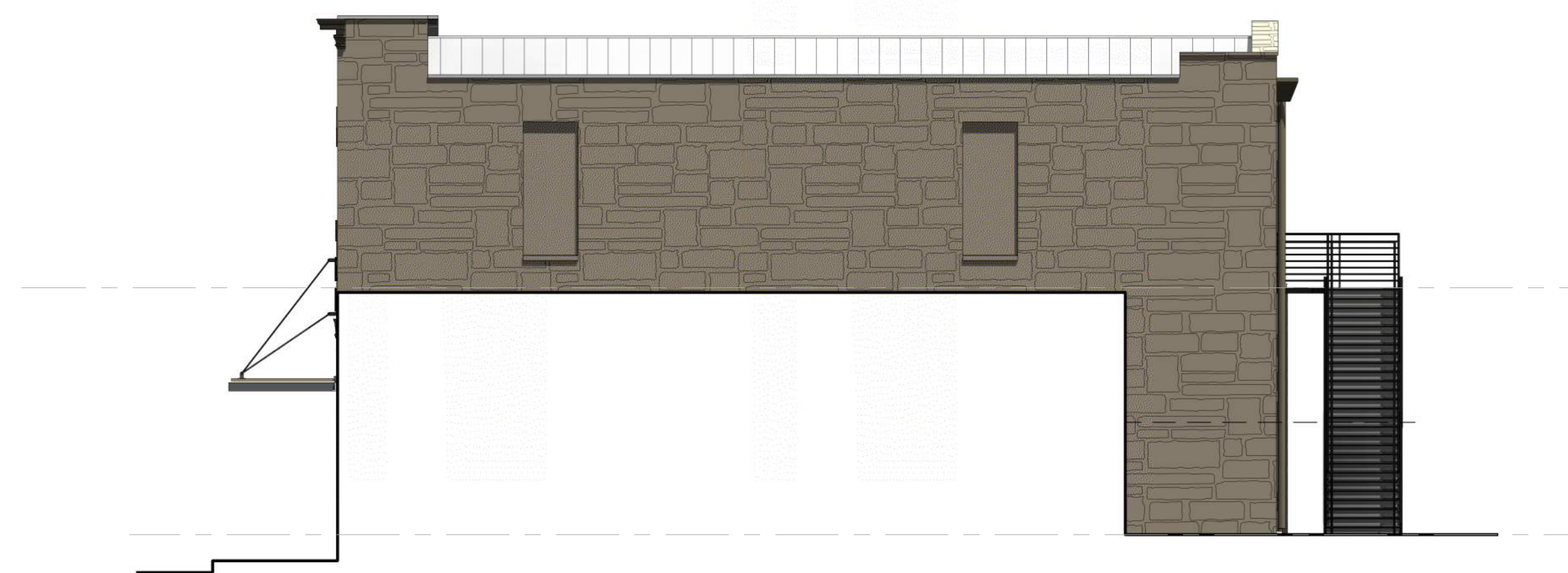
OHP APPROVAL

SHEET

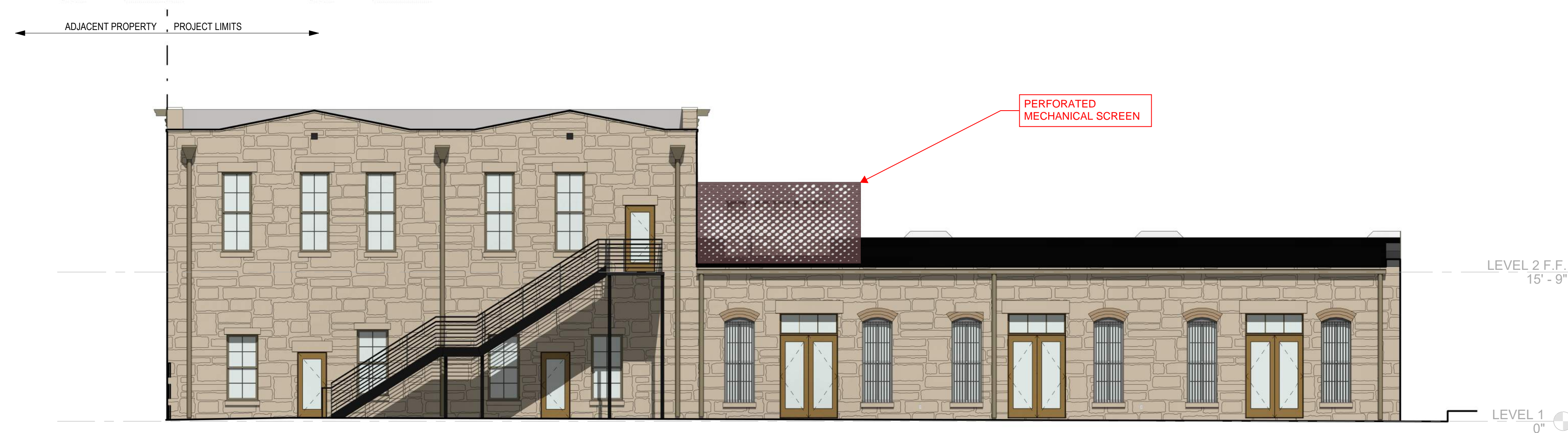
SK-01



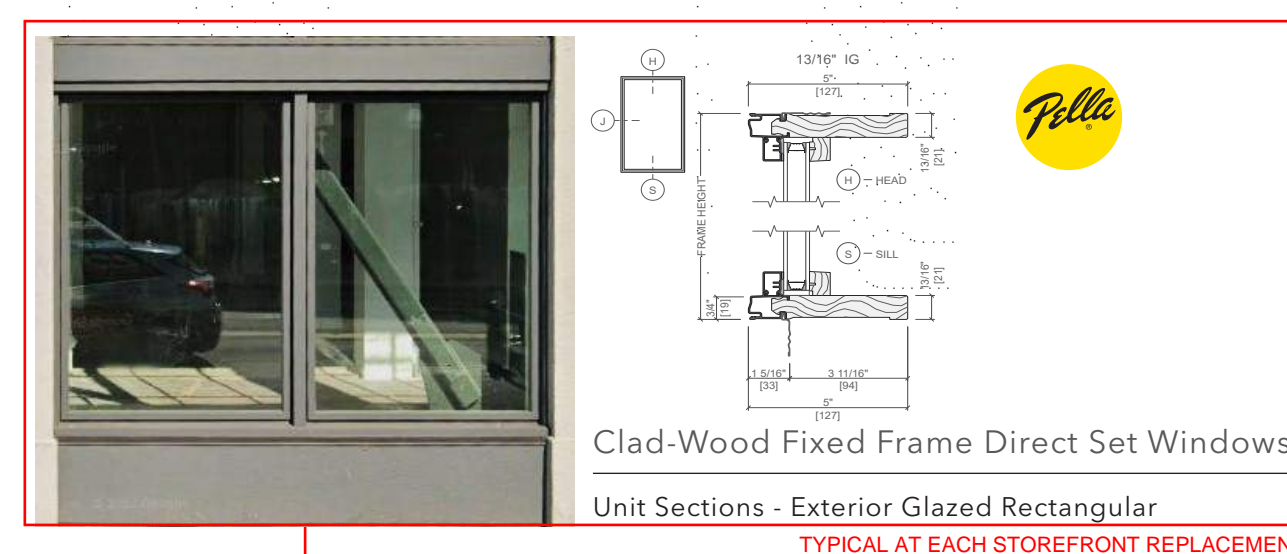
1 NORTH ELEVATION - PRESENTATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION - PRESENTATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION - PRESENTATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - PRESENTATION
SCALE: 1/8" = 1'-0"

Pella® Reserve™ Traditional Wood & Clad/Wood

Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior

- Historical details**
Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve - Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**
Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural interest**
Featuring the industry's only foam spacer solution, Pella's Integral Light Technology™ grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles - providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**
If you can dream it, we can build it with our most customizable product line: From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**
From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision.